

The Architect does not retain the consultants and therefore is not responsible for the accuracy of the survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall verify and check all dimensions and conditions on site prior to starting any of the work and report any discrepancy to the Architect and consultants before proceeding. Construction must conform to all applicable Codes and Requirements of Authorities having Jurisdiction pertaining to this application.

No investigation has been undertaken or reported on by this office in regards to the environmental condition or pollution of this site.

This drawing is not to be scaled.

All dimensions and areas to be confirmed on site by Ontario Land Surveyor.

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no.	date	revisions	by
4	OCT 26, 2023	ZBLA - 2ND SUBMISSION	RO
3	AUG 11, 2023	CLIENT REVISIONS - BUILDING 2	RO
2	DEC 02, 2022	FOR ZONING BY-LAW AMENDMENT	RO
1	JAN 28, 2022	FOR CLIENT REVIEW / COORDINATION	RO

Legal Description:  
Part Lot 27 Plan 103 Whitchurch,  
Part 1 65R38306

City File Nos.:  
D14NP2003 Zoning By-Law Amendment

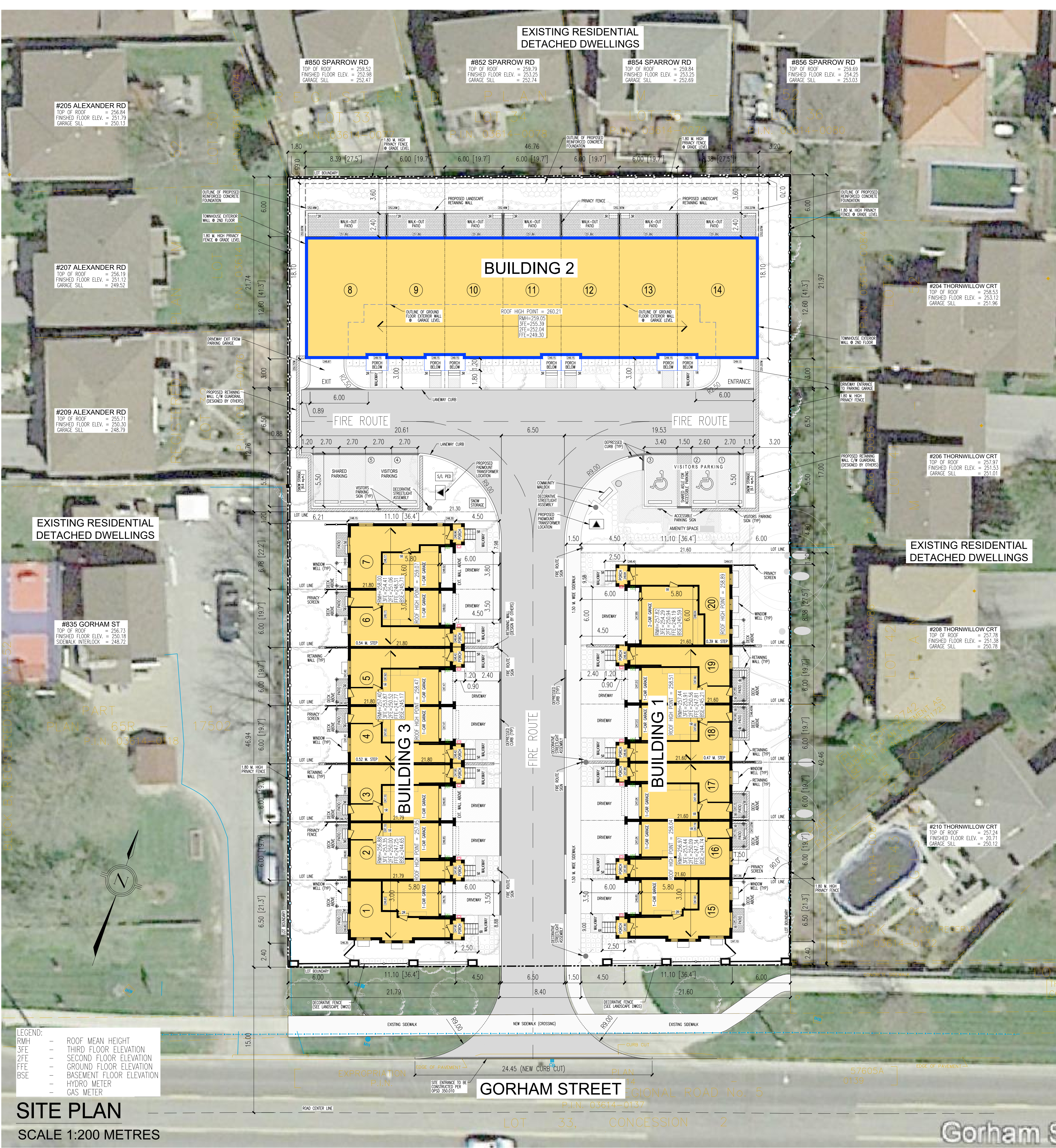


client:  
**THE GORHAM PARTNERSHIP**

project title  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
849 GORHAM STREET  
NEWMARKET, ON

**JOHN G. WILLIAMS LIMITED**  
ARCHITECT  
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sheet title		CONCEPT SITE PLAN	
scale	1:200 METRES	project no.	W-2448
date	JANUARY 28, 2022	drawing no.	SP-01
drawn by	RO	checked by	AS
date plotted			
date printed			



### SITE STATISTICS / LOT CALCULATIONS

#### 849 GORHAM STREET, NEWMARKET

SUBJECT LAND	Area (Sq. M.)	Area (Ha.)	Area (Sq. Ft.)	Area (Acre)
	4,218.72	0.422	45,411.41	1.042
<b>TOTAL LOT AREA FOR DEVELOPMENT</b>	<b>4,218.72</b>	<b>0.42</b>	<b>45,411.41</b>	<b>1.04</b>

### LOT CALCULATIONS

#### 849 GORHAM STREET, NEWMARKET

	Area (Sq. M.)	Area (Sq. Ft.)	Percentage
LOT COVERAGE (BUILDING)	1,563.83	16,833.48	37.07%
HARD SURFACE (ROADWAYS, DRIVEWAYS, SIDEWALKS)	1,140.75	12,279.33	27.04%
LANDSCAPE & WALKWAYS	1,514.14	16,288.60	35.89%
<b>LOT AREA FOR DEVELOPMENT</b>	<b>4,218.72</b>	<b>45,411.41</b>	

### DENSITY

#### 849 GORHAM STREET, NEWMARKET

	TOTAL
NUMBER OF UNITS 3 STOREY TOWNHOUSE	20
NUMBER OF UNITS / FLOOR AREA	
BUILDING 1 (3 STOREY)	6 / 1,122.90 / 12,087.19
BUILDING 2 (3 STOREY)	7 / 1,268.43 / 14,740.90
BUILDING 3 (3 STOREY)	7 / 1,243.87 / 13,389.34
TOTAL	20 / 3,736.20 / 40,217.44
GROSS FLOOR AREA	
UNITS PER HECTARE	47.39
FLOOR SPACE INDEX (FSI)	0.89
AMENITY SPACE	
ON GRADE	821.17 / 8,839.29
BALCONY / ROOF TERRACE	71.00 / 765.23
TOTAL AMENITY SPACE	892.26 / 9,604.52

### DEVELOPMENT STANDARDS

#### 849 GORHAM STREET, NEWMARKET

	ZONING BYLAW 2010-40 (as amended)	PROPOSED
a) MINIMUM LOT AREA PER DWELLING UNIT	- 180 Square Meters	129 Square Meters
b) MINIMUM LOT FRONTAGE	- 6.0 Meters	6.0 Meters
c) MINIMUM FRONT YARD	- 4.5 Meters	4.5 Meters
d) MINIMUM REAR YARD	- 7.0 Meters	6.0 Meters
e) MINIMUM EXTERIOR SIDE YARD (Adjoining Private Rd)	- 1.2 Meters	1.2 Meters
f) MINIMUM EXTERIOR SIDE YARD (Adjoining Public Rd)	- 3.0 Meters	2.4 Meters
g) MINIMUM INTERIOR YARD	- 1.5 Meters	1.2 Meters
h) MINIMUM BUILDING SEPARATION	- 3.0 Meters	n/a
i) MAXIMUM LOT COVERAGE	- 50 %	55 %
j) MAXIMUM BUILDING HEIGHT	- 11.0 M. (3-Storeys)	11.0 M. (3-Storeys)
k) MAXIMUM OVERSEAW WIDTH	- 3.0 Meters	3.5/6.0 Meters
l) ENCLOSUREMENTS INTO REQUIRED YARDS (Fences, Postures)	- 2.4 Meters	2.5 Meters
m) PARKING REQUIREMENT		
- PRIVATE PARKING (Attached Garage not Included)	1.5 Parking Spaces per Unit (Min. Required 30 Spaces)	30 Spaces Provided
- VISITORS PARKING (including 1 Accessible Space)	0.25 Parking Spaces per Unit (Min. Required 5 Spaces)	5 Spaces Provided
TOTAL	35 Spaces Required	35 Spaces Provided
n) SNOW STORAGE (Outdoor Parking 5 or more Spaces)	Min. 5% (78 sq.m. x 0.05) = 3.90 sq.m.	12.7 sq.m.

### LOT AREAS

#### 849 GORHAM STREET, NEWMARKET

	Area (Sq. M.)	Area (Sq. Ft.)
<b>BUILDING 1</b>		
LOT 15	103.37	2,081.49
LOT 16	129.48	1,393.76
LOT 17	129.48	1,393.76
LOT 18	129.48	1,393.76
LOT 19	129.48	1,393.76
LOT 20	206.96	2,227.77
TOTAL	918.25	9,884.28
<b>BUILDING 2</b>		
LOT 8	221.57	2,385.04
LOT 9	130.67	1,406.57
LOT 10	130.83	1,408.29
LOT 11	130.99	1,410.01
LOT 12	131.14	1,411.83
LOT 13	131.30	1,413.35
LOT 14	255.89	2,754.47
TOTAL	1,132.30	12,189.34
<b>BUILDING 3</b>		
LOT 1	194.64	2,095.16
LOT 2	130.84	1,406.24
LOT 3	130.85	1,406.35
LOT 4	130.67	1,406.57
LOT 5	130.68	1,406.67
LOT 6	130.69	1,406.78
LOT 7	173.55	1,868.14
TOTAL	1,021.52	10,955.91
<b>TOTAL LOT AREA</b>	<b>3,072.16</b>	<b>33,069.54</b>

### Building Design Information

#### 849 GORHAM STREET, NEWMARKET

Address of Site	849 GORHAM STREET, NEWMARKET	
Site Plan Application No.	Residential Dwellings	
Proposed Building Use(s)	1,563.83 Sq. M. (Building 2 is 617 Sq. M. will require Fire Wall)	
Building Area (Buildings 1 to 3)	3,227.47	
BUILDING CLASSIFICATION	CBC Reference	
Classification	Group C, up to 3-Storeys	
Major Occupancies	Residential Occupancies	
Gross Floor Area (Buildings 1 to 3)	3,736.20 Sq. M.	
Building Height	3-Storeys	
Number of Storeys	1	
Accessories	No	
Building Used for Multiple Tenancies	Yes	
Sprinklered Building	No	
Will Barrier Free Access be Provided?	No	
SPATIAL SEPARATION REQUIREMENTS	9/10.14	
Wall	Construction Type	Req. Fire Resistant Rating
NORTH	Combustion/Combustible/Non-combustible	Not Required
EAST	Combustion/Combustible/Non-combustible	0.75 Hours
SOUTH	Combustion/Combustible/Non-combustible	Not Required
WEST	Combustion/Combustible/Non-combustible	0.75 Hours

**SITE PLAN**  
SCALE 1:200 METRES

**GORHAM STREET**  
REGIONAL ROAD No. 5  
P.I.N. 03614-0137