

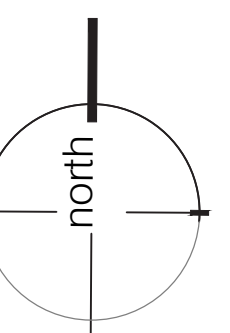
693-713 DAVIS DRIVE

SITE PLAN REVIEW COMMITTEE

FEBRUARY 1 2021

693-713 DAVIS DRIVE
Newmarket, ON

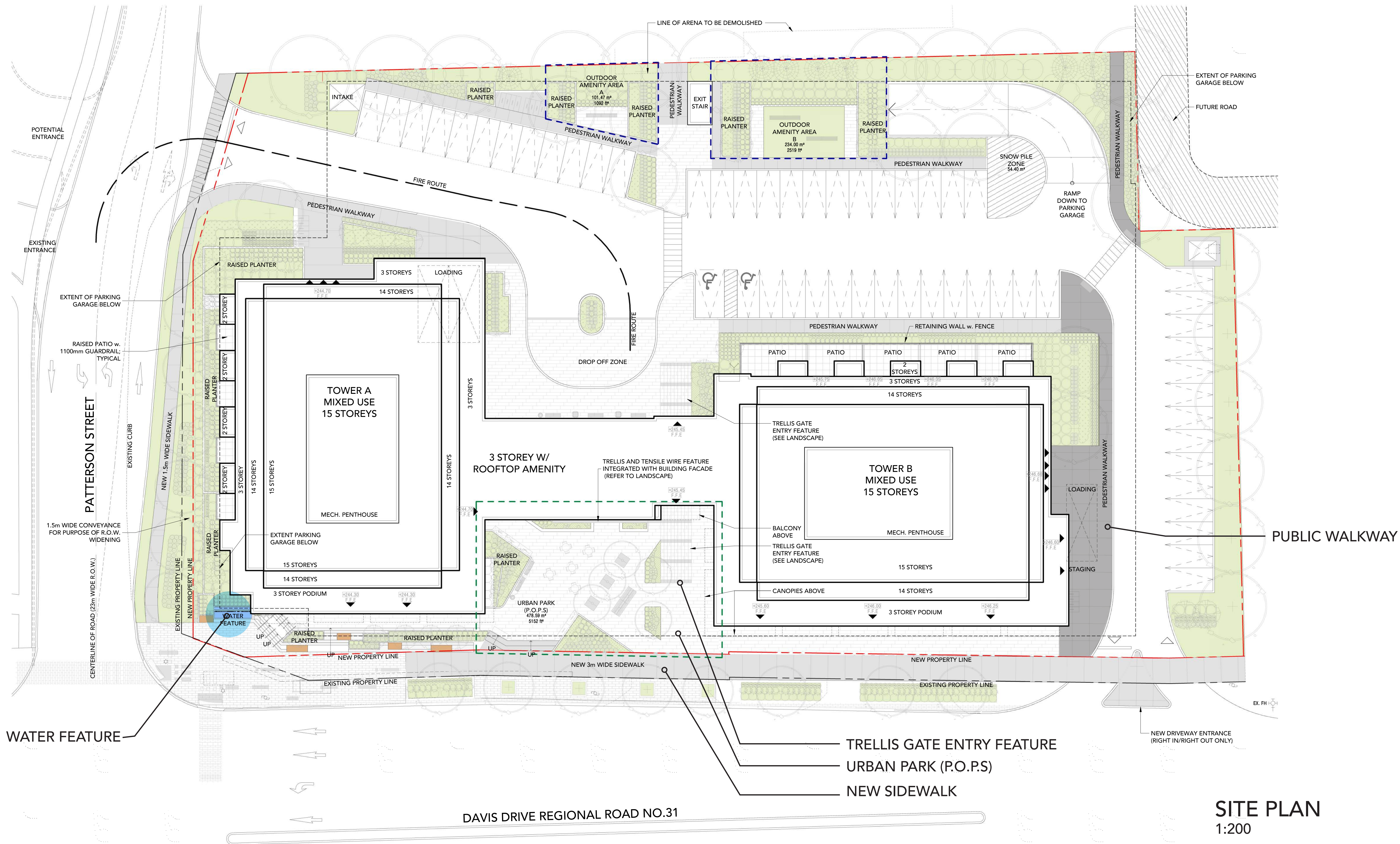




CONTEXT PLAN

693-713 DAVIS DRIVE
Newmarket, ON





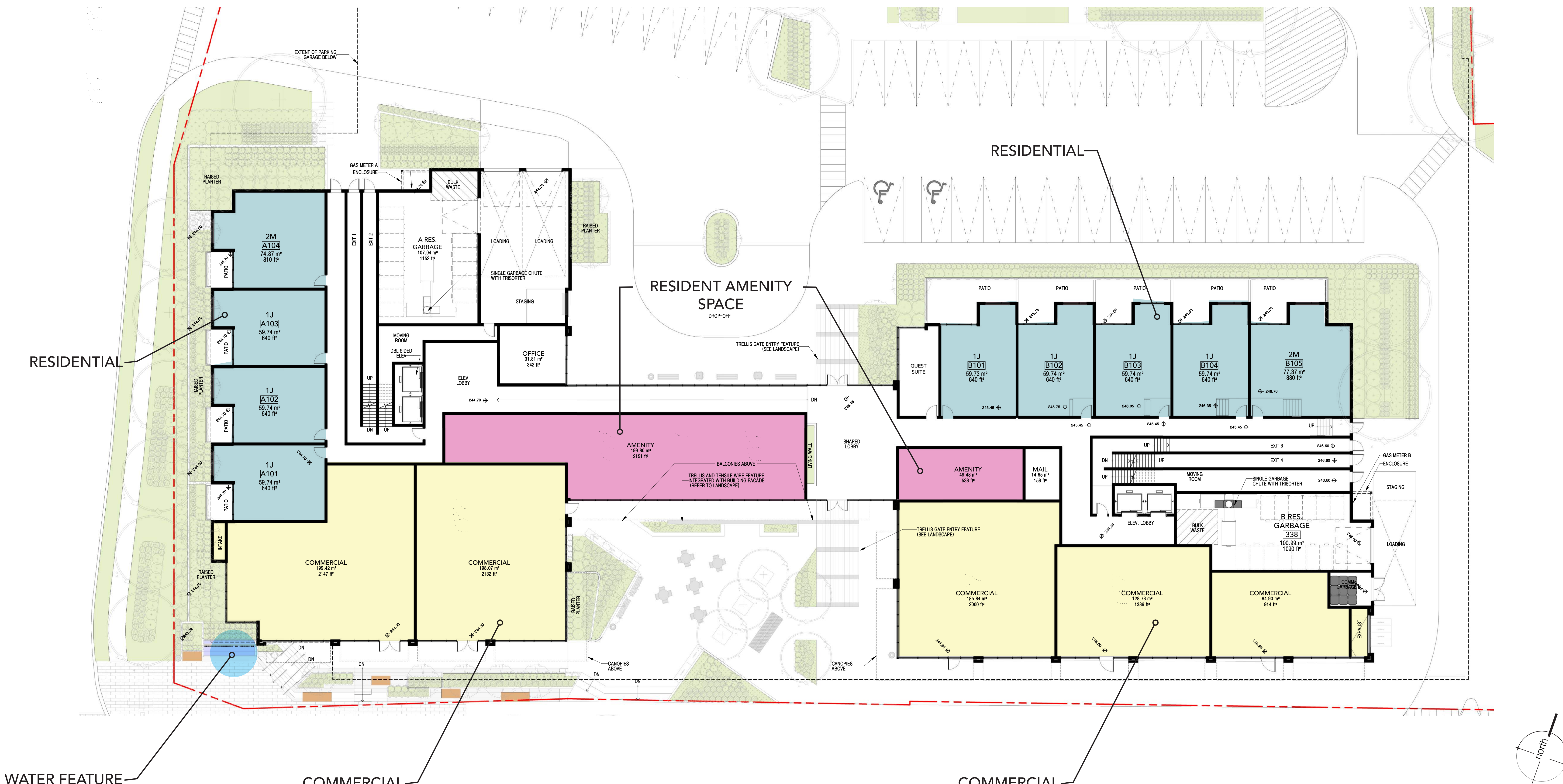
693-713 DAVIS DRIVE
Newmarket, ON

BRIARWOOD
DEVELOPMENT GROUP

CDG CANDEVCON LIMITED
CONSULTING ENGINEERS & PLANNERS

adesso design inc
landscape architecture

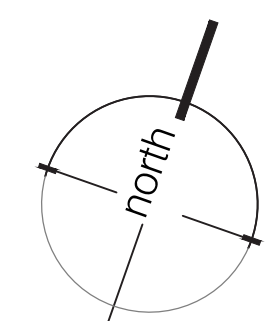
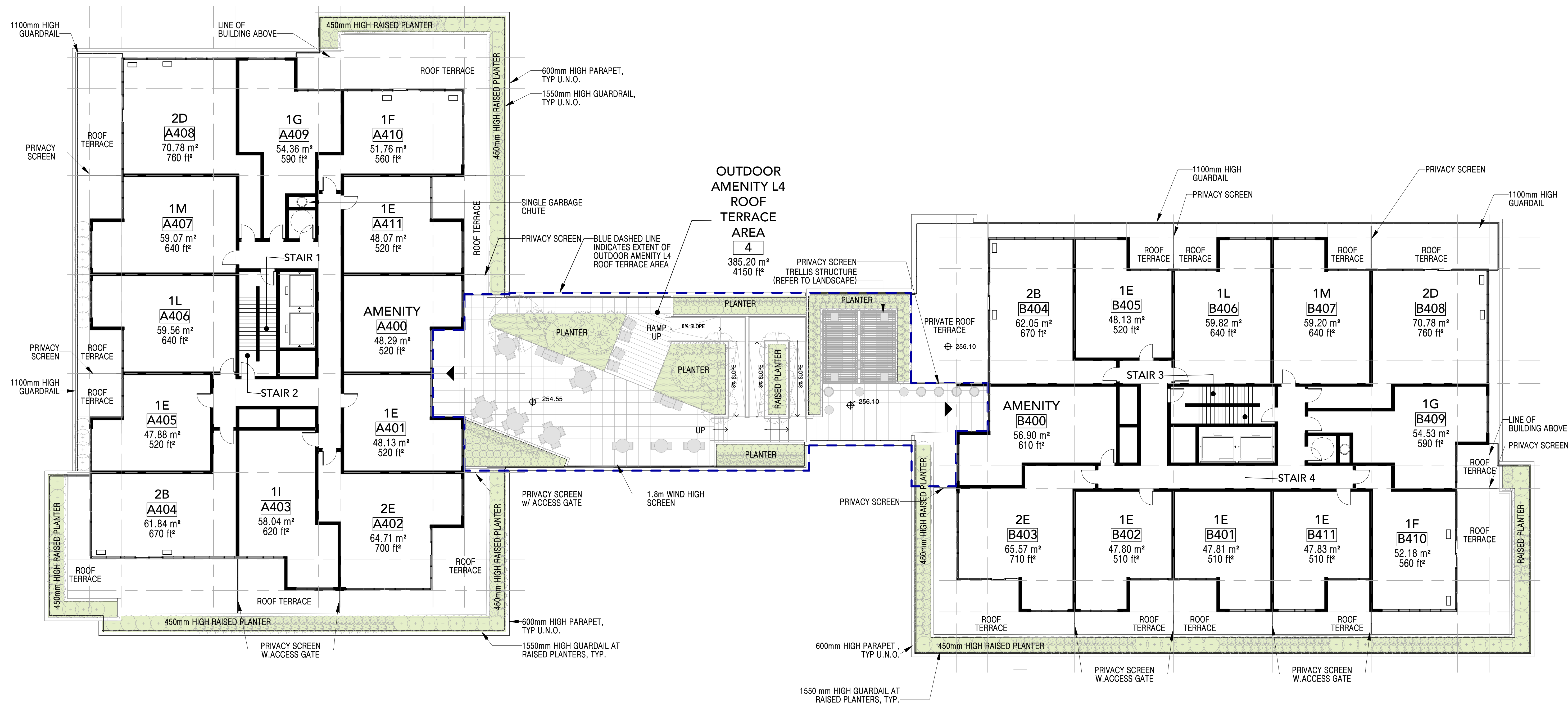
Kohn
Kohn Partnership Architects Inc.



GROUND FLOOR PLAN

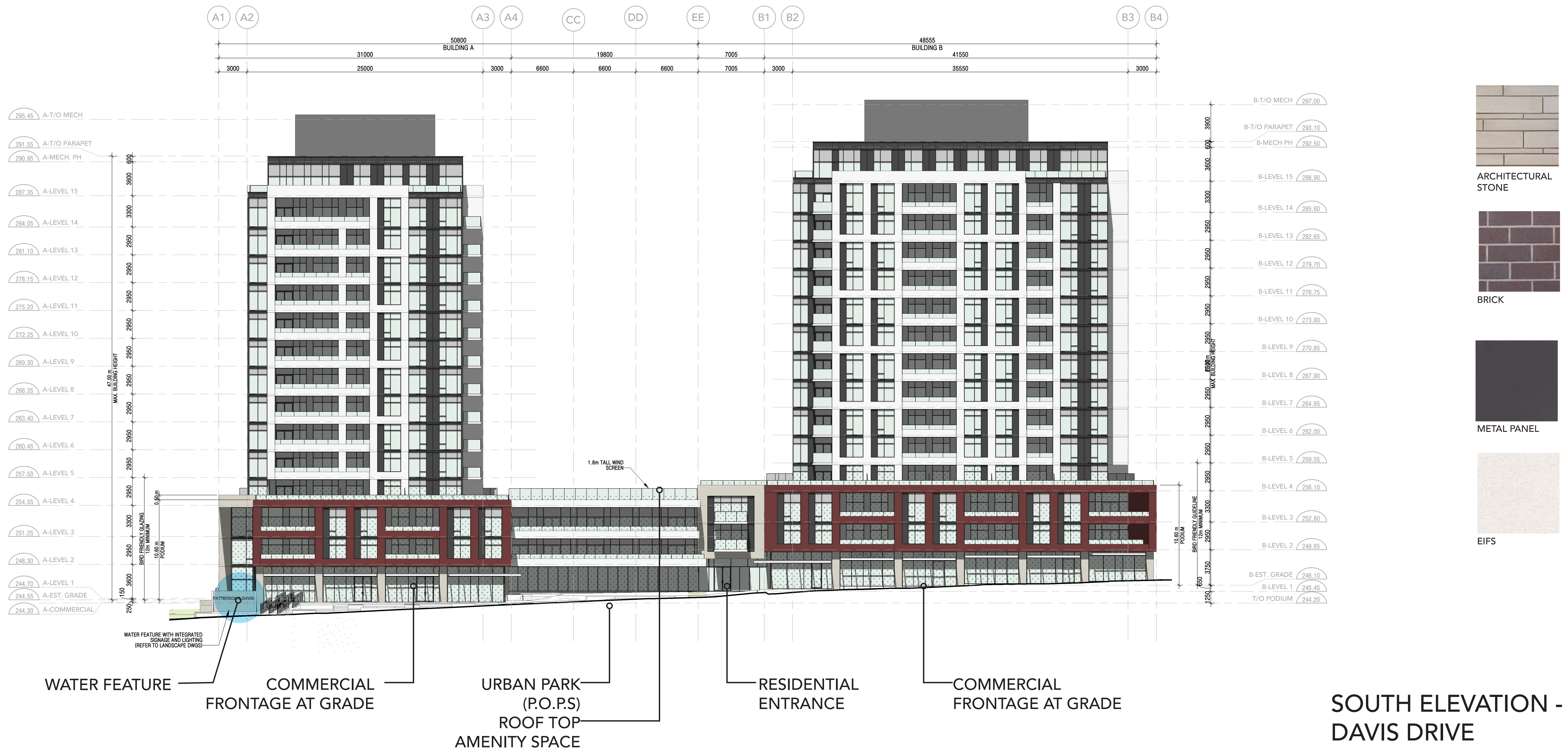
693-713 DAVIS DRIVE
Newmarket, ON





**LEVEL 4
ROOF TERRACE PLAN**

693-713 DAVIS DRIVE
Newmarket, ON



693-713 DAVIS DRIVE
Newmarket, ON





WEST ELEVATION -
PATTERSON STREET



EAST ELEVATION

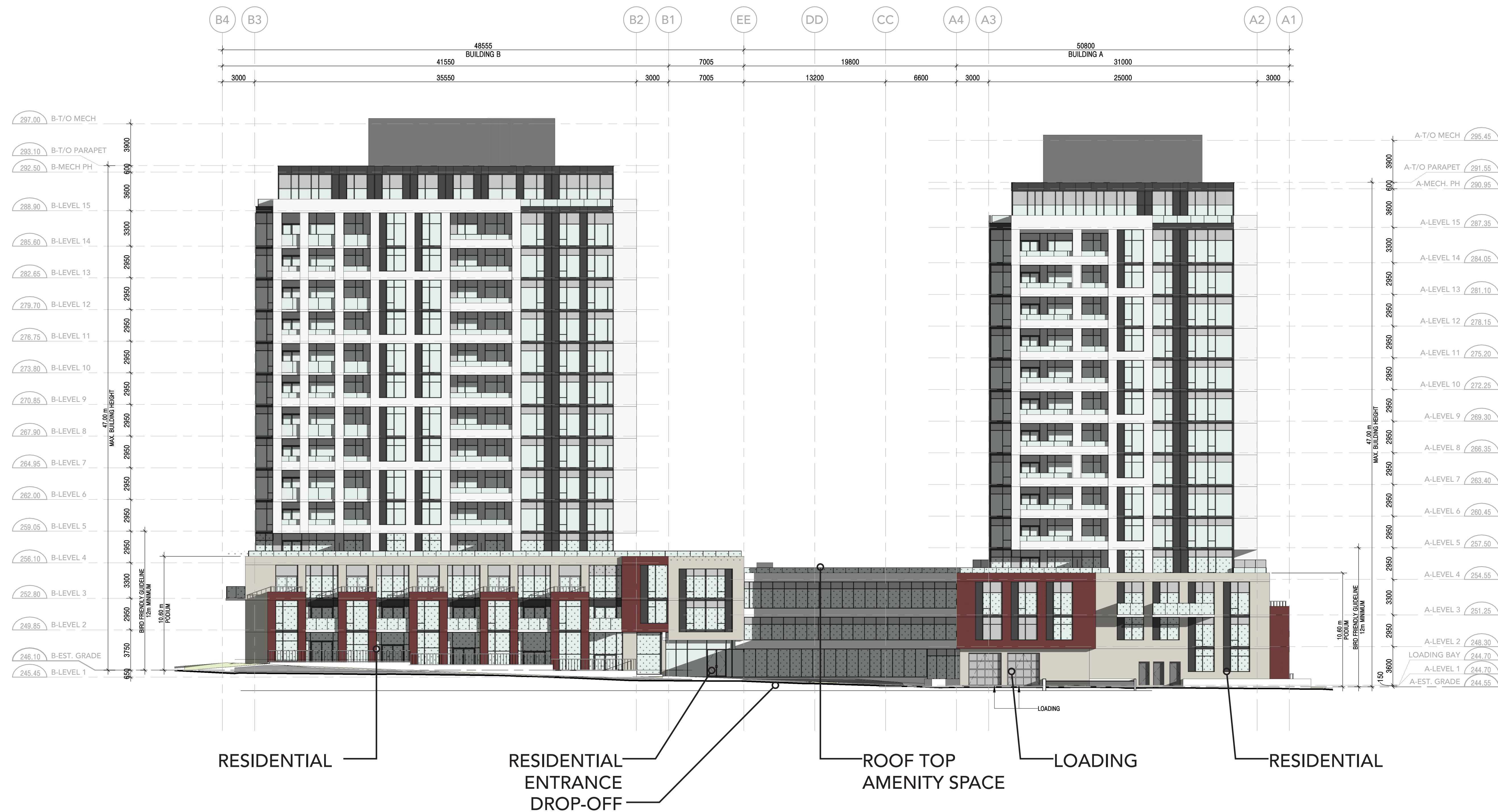
693-713 DAVIS DRIVE
Newmarket, ON

BRIARWOOD
DEVELOPMENT GROUP

CANDEVCON LIMITED
CONSULTING ENGINEERS & PLANNERS

adesso design inc
landscape architecture

Kohn
Kohn Partnership Architects Inc.



NORTH ELEVATION - REAR

693-713 DAVIS DRIVE
Newmarket, ON



THANK YOU

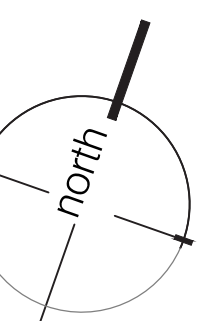
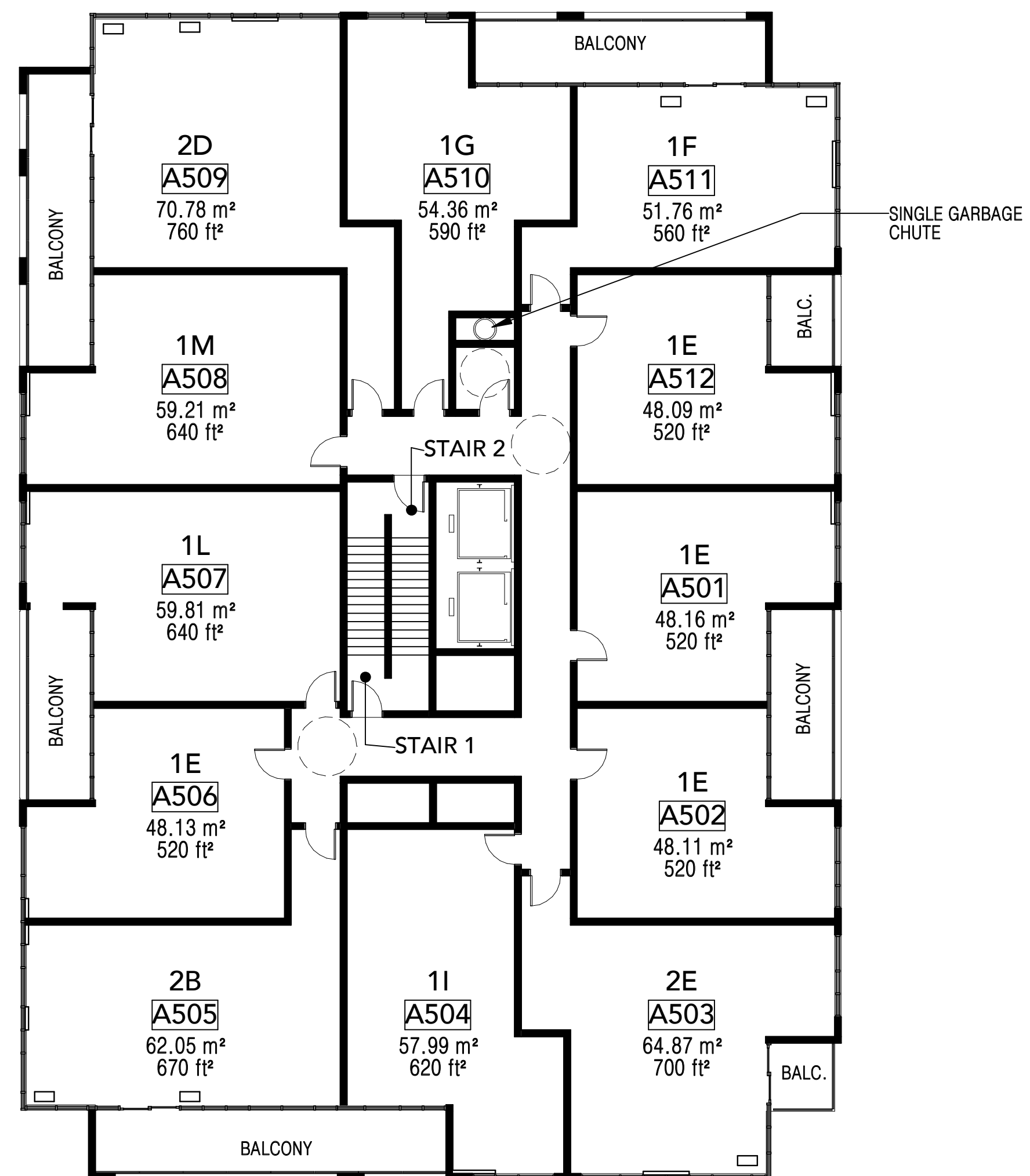
693-713 DAVIS DRIVE
Newmarket, ON



APPENDIX

693-713 DAVIS DRIVE
Newmarket, ON

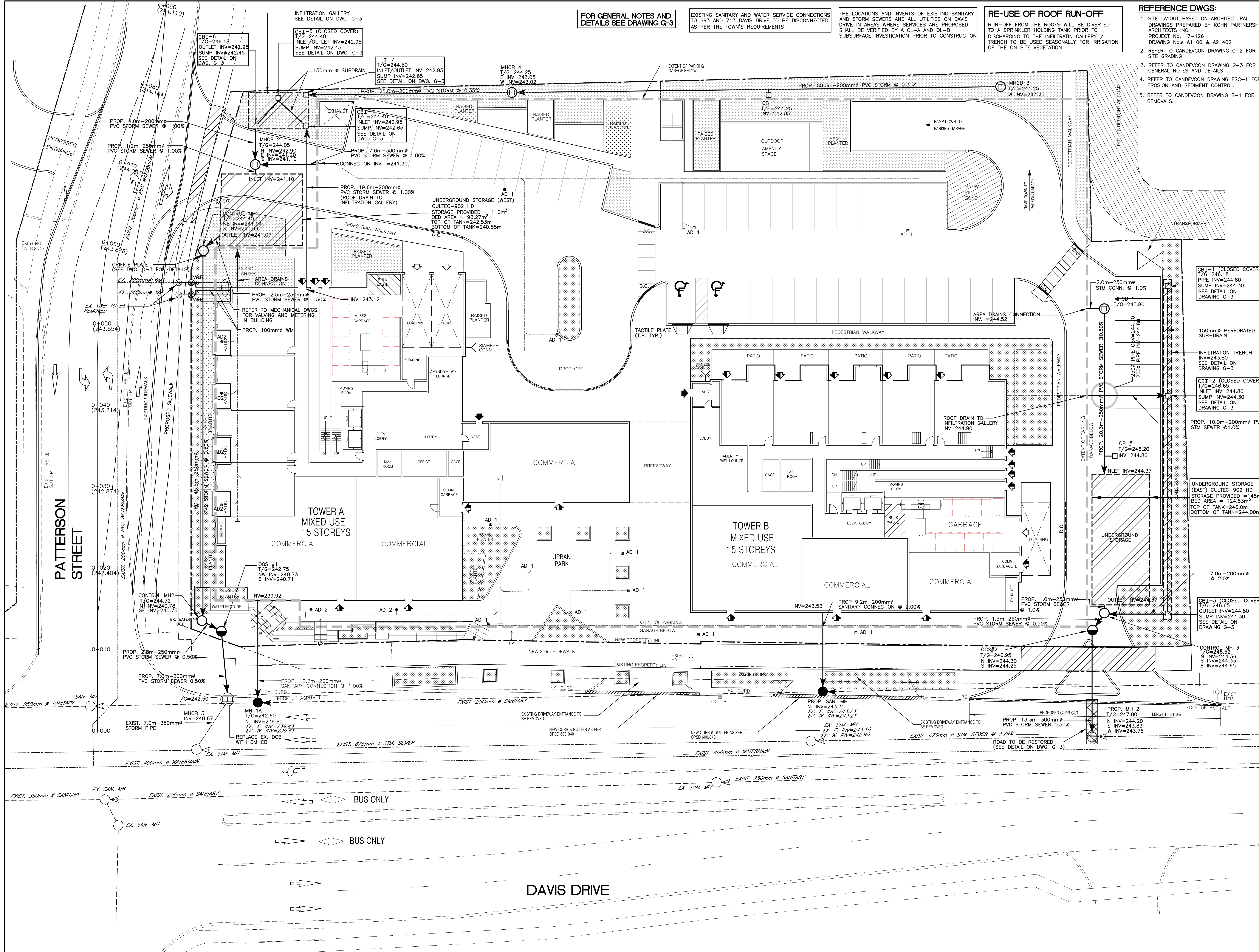




LEVEL 5-14
TYPICAL TOWER PLATE

693-713 DAVIS DRIVE
Newmarket, ON





FOR GENERAL NOTES AND DETAILS SEE DRAWING G-3

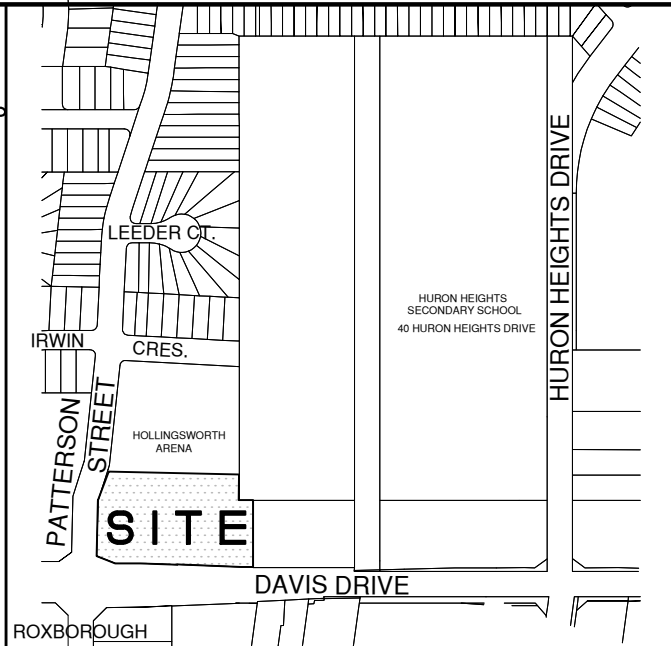
EXISTING SANITARY AND WATER SERVICE CONNECTIONS TO 693 AND 713 DAVIS DRIVE TO BE DISCONNECTED AS PER THE TOWN'S REQUIREMENTS

THE LOCATIONS AND INVERTS OF EXISTING SANITARY AND STORM SEWERS AND ALL UTILITIES ON DAVIS DRIVE IN AREAS WHERE SERVICES ARE PROPOSED SHALL BE VERIFIED BY A Q1-A AND Q1-B SUBSURFACE INVESTIGATION PRIOR TO CONSTRUCTION

RE-USE OF ROOF RUN-OFF
RUN-OFF FROM THE ROOFS WILL BE DIVERTED TO A SPRINKLER HOLDING TANK PRIOR TO DISCHARGING TO THE INFILTRATION GALLERY / TRENCH TO BE USED SEASONALLY FOR IRRIGATION OF THE ON SITE VEGETATION

REFERENCE DWGS:

1. SITE LAYOUT BASED ON ARCHITECTURAL DRAWINGS PREPARED BY KOHN PARTNERSHIP ARCHITECTS INC. PROJECT No. 17-126 DRAWING No.s A1 00 & A2 02
2. REFER TO CANDEVCON DRAWING G-2 FOR SITE GRADING
3. REFER TO CANDEVCON DRAWING G-3 FOR GENERAL NOTES AND DETAILS
4. REFER TO CANDEVCON DRAWING ESC-1 FOR EROSION AND SEDIMENT CONTROL
5. REFER TO CANDEVCON DRAWING R-1 FOR REMOVALS



KEY PLAN 1:6000

- LEGEND:
- PROPERTY LINE
 - PROPOSED CURB AS PER OPSD 600.110
 - PROPOSED BUILDING FOOTPRINT AT GRADE
 - EXTENT OF PARKING GARAGE BELOW GRADE
 - EXIST. CURB & GUTTER
 - MH 1A --- PROP. SANITARY MANHOLE
 - MHCB 1 --- PROP. MANHOLE CATCHBASIN
 - MH 1 --- PROP. STORM MANHOLE
 - PROP. OVERHEAD DOOR
 - PROP. SECONDARY ENTRANCE
 - PROP. PRINCIPAL ENTRANCE
 - AD 1B --- PROPOSED AREA DRAIN (WATTS FD 530 OR APPROVED EQUIVALENT)
 - AD 2B --- PROPOSED AREA DRAIN (WATTS FD 100-C-A OR APPROVED EQUIVALENT)
 - PROP. AREA DRAIN CONNECTION TO STORM SEWER (UNDERSIDE OF PARKING GARAGE SLAB. SEE MECHANICAL DRAWINGS.)
 - PROP. SOFT LANDSCAPE AREA
 - OGS --- OIL GRIT SEPARATOR
 - OVERLAND FLOW ROUTE

LEGAL INFORMATION:

PART OF LOT 1 CONCESSION 2 GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY TOWN OF NEWMARKET REGIONAL MUNICIPALITY OF YORK

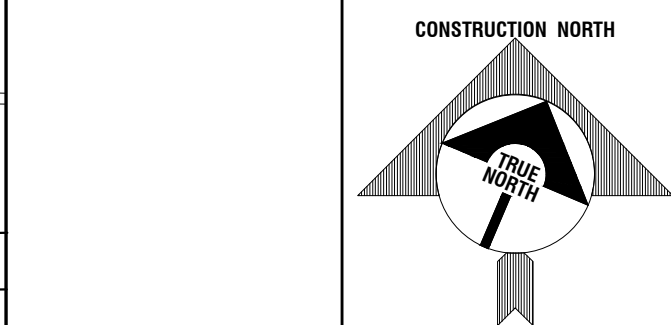
SURVEY INFORMATION:
TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY COMPLETED BY RUDY MAK SURVEYING LTD. FILE NO. 13498.

NO.	DESCRIPTION	DATE
1	REVISED TO ADDRESS TOWN'S COMMENTS DATED FEB-21-2020 AND REGION'S COMMENTS DATED FEB-25-2020	22.06.20

CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

9358 GOREWAY DRIVE
TEL. (905) 794-0800

BRAMPTON, ONTARIO L6P 0M7
FAX. (905) 794-0611



BRIARWOOD (NWMKT) INC.

PROPOSED MIXED USE DEVELOPMENT

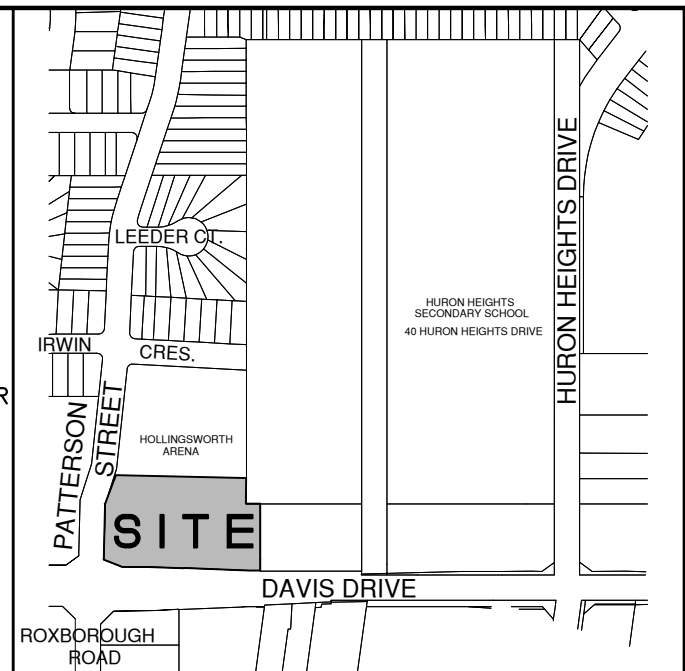
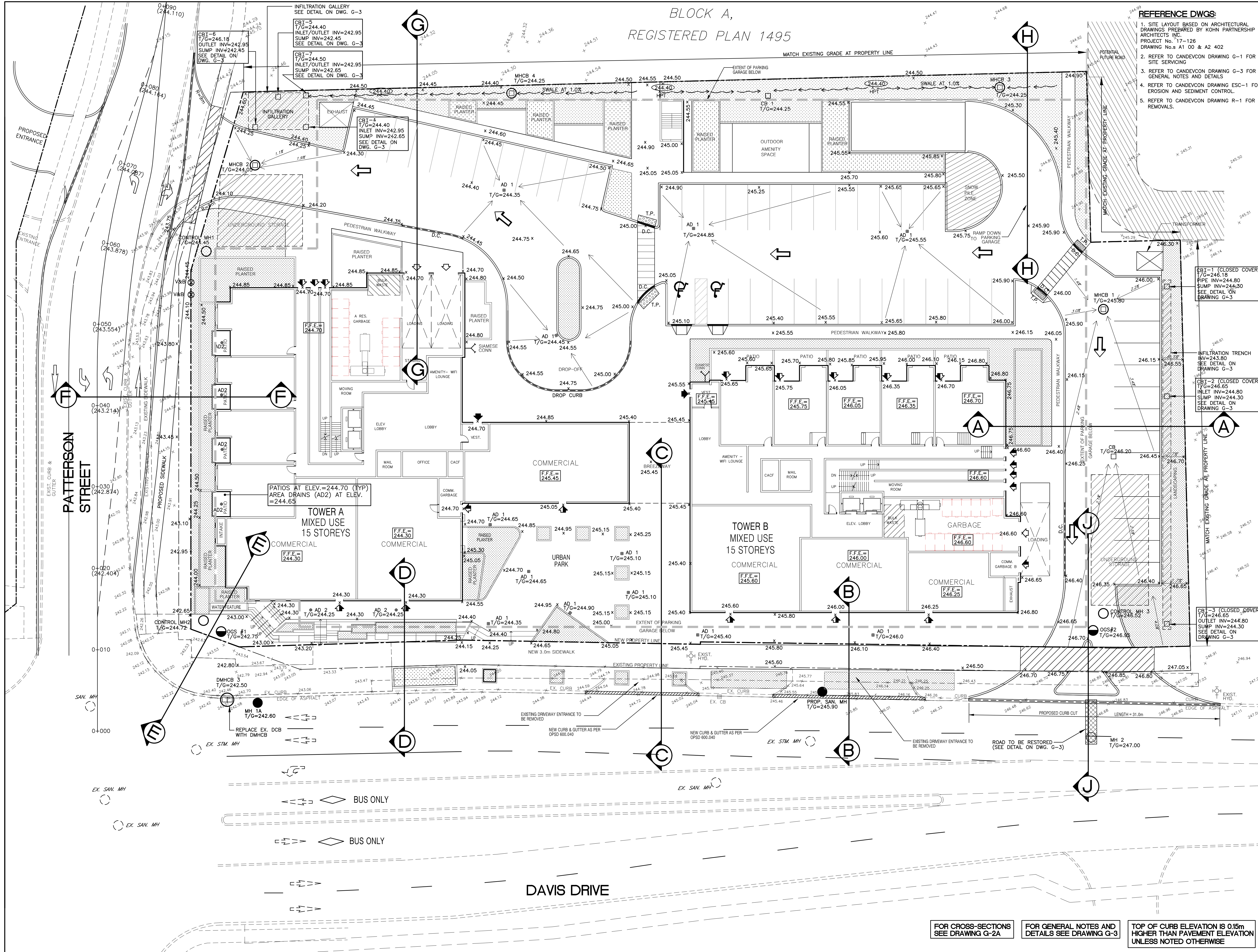
693-713 DAVIS DRIVE
TOWN OF NEWMARKET

SHEET TITLE:

SERVICING PLAN

TOWN FILE No.: D14-NP-19-17
REGION FILE No.: SP.19.N.0307 & ZBA.19.N.0134

DRAWN BY:	D.R.	PROJECT No.:	W19091
DESIGN/CHECK BY:	D.K.H.	DRAWING No.:	
SCALE:	1:200		
DATE:	OCT. 4th. 2019		



LEGEND:	
EXISTING ELEVATION	PROPOSED ELEVATION
PROPOSED SLOPE	PROPOSED CURB AS PER OPSD 600.110
PROPOSED BUILDING FOOTPRINT AT GRADE	EXTENT OF PARKING GARAGE
EXIST. CURB & GUTTER	PROP. SANITARY MANHOLE
PROP. MANHOLE CATCHBASIN	PROP. STORM MANHOLE
PROP. CATCHBASIN	PROP. OVERHEAD DOOR
PROP. SECONDARY ENTRANCE	PROP. PRINCIPAL ENTRANCE
PROP. SOFT LANDSCAPE AREA	PROPOSED AREA DRAIN (WATTS FD 330 OR APPROVED EQUIVALENT)
PROPOSED AREA DRAIN (WATTS FD 100-C-A OR APPROVED EQUIVALENT)	OVERLAND FLOW
PROP. TACTILE PLATE (TYP)	PROP. SWALE WITH INVERT

LEGAL INFORMATION:
PART OF LOT 1
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF EAST GWILLIMBURY
TOWN OF NEWMARKET
REGIONAL MUNICIPALITY OF YORK

SURVEY INFORMATION:
TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY
COMPLETED BY RUDY MAK SURVEYING LTD.
FILE NO. 13498.

NO.	DESCRIPTION	DATE
1	REVISED TO ADDRESS TOWN'S COMMENTS DATED FEB-21-2020 AND REGION'S COMMENTS DATED FEB-25-2020	22.06.20

CDG CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS
9358 GORHAM DRIVE
TEL. (905) 794-0800
BRAMPTON, ONTARIO L6P 0M7
FAX. (905) 794-0811

CONSTRUCTION NORTH

BRIARWOOD (NWMKT) INC.

PROPOSED MIXED USE DEVELOPMENT

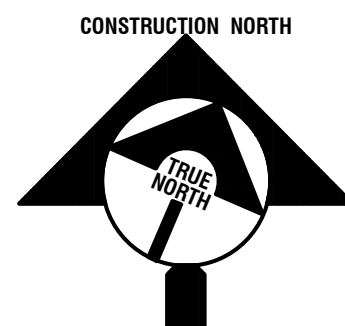
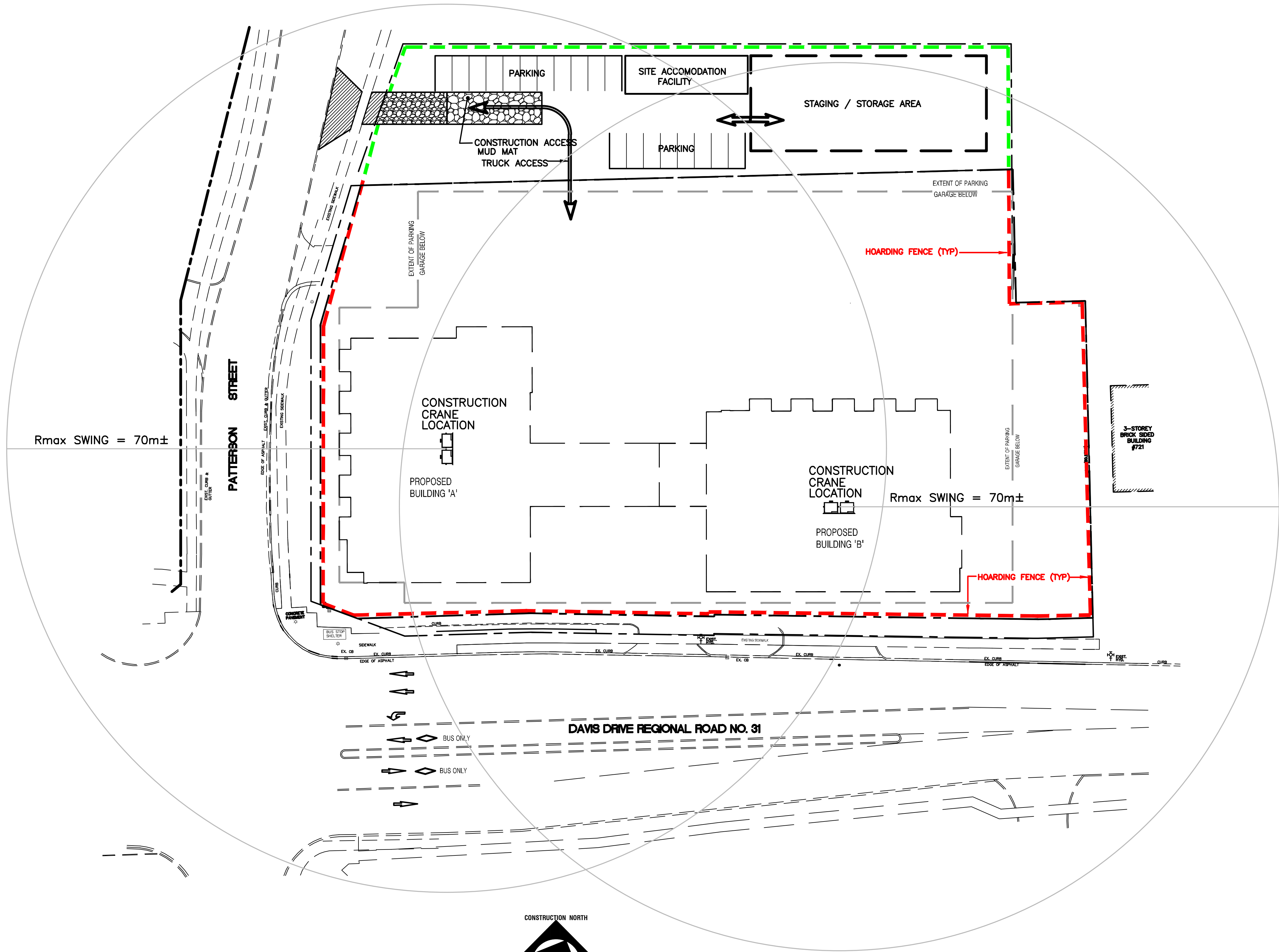
693-713 DAVIS DRIVE
TOWN OF NEWMARKET

SHEET TITLE:	
GRADING PLAN	
TOWN FILE No.: D14-NP-19-17	REGION FILE No.: SP.19.N.0307 & ZBA.19.N.0134
DRAWN BY: D.R.	PROJECT No.: W19091
DESIGN/CHECK BY: D.K.H.	DRAWING No.:
SCALE: 1:200	DATE: OCT. 4th, 2019

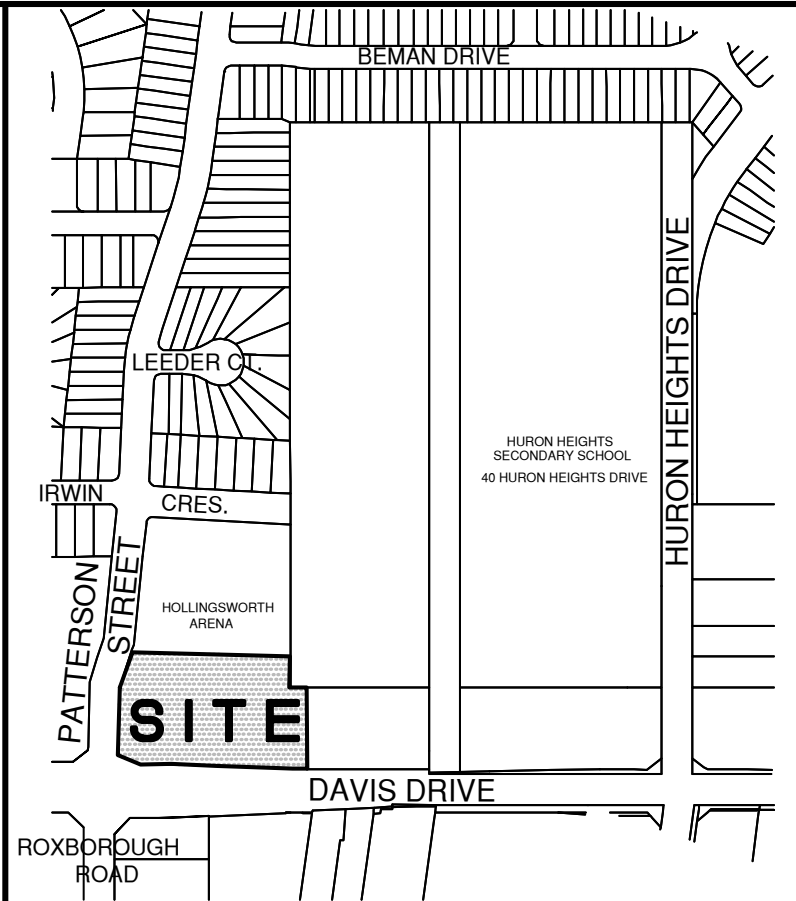
FOR CROSS-SECTIONS
SEE DRAWING G-2A

FOR GENERAL NOTES AND
DETAILS SEE DRAWING G-3

TOP OF CURB ELEVATION IS 015m
HIGHER THAN PAVEMENT ELEVATION
UNLESS NOTED OTHERWISE



SITE PLAN
1:750



KEY PLAN 1:6000

- LEGEND:**
- PROPERTY LINE
 - HOARDING FENCE

LEGAL INFORMATION:
PART OF LOT 1
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF EAST
GWILLIMBURY
TOWN OF NEWMARKET
REGIONAL MUNICIPALITY OF YORK

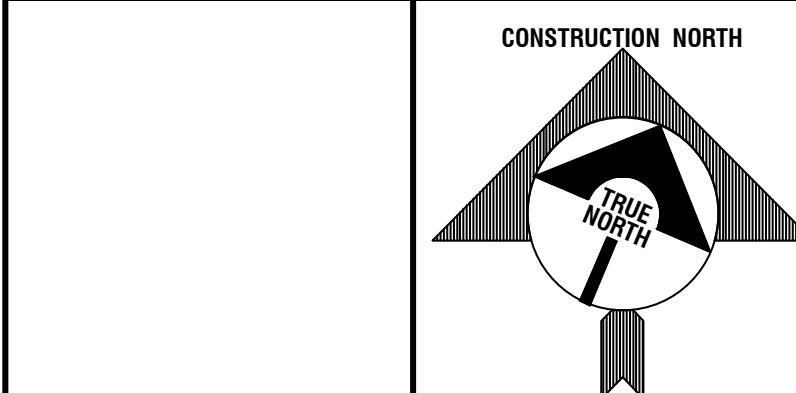
SURVEY INFORMATION:
TOPOGRAPHICAL INFORMATION TAKEN
FROM SURVEY COMPLETED
BY RUDY MAK SURVEYING LTD.
FILE No. 13498.

△		
△		
△		
△	REVISED TO ADDRESS TOWN'S COMMENTS DATED FEB-21-2020 AND REGION'S COMMENTS DATED FEB-25-2020	22.06.20
NO.	DESCRIPTION	DATE

REVISIONS

CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

8358 GOREWAY DRIVE TEL. (905) 784-0800
BRAMPTON, ONTARIO L6P 0M7 FAX (905) 784-0811



BRIARWOOD (NWMKT) INC.

**PROPOSED MIXED USE
DEVELOPMENT**

**693-713 DAVIS DRIVE
TOWN OF NEWMARKET**

SHEET TITLE: CONSTRUCTION MANAGEMENT PLAN	
TOWN FILE No.: D14-NP-19-17	REGION FILE No.: SP.19.N.0307 & ZBA.19.N.0134
DRAWN BY: D.R.	PROJECT No.: W19091
DESIGN/CHECK BY: D.K.H.	DRAWING No.
SCALE: AS NOTED	CMP-1
DATE: OCT. 4th. 2019	

SEQUENCE OF CONSTRUCTION:

- INSTALL HOARDING
- INSTALL EROSION AND SEDIMENT CONTROL
- SITE PREPARATION - DEMOLITION
- REMOVAL OF ASPHALT
AND GRASSED AREAS
- EXCAVATION AND SHORING FOR UNDERGROUND
GARAGE
- CONSTRUCTION OF GARAGE
- CONSTRUCTION OF ABOVE GROUND BUILDINGS
- SITE SERVICES
- LANDSCAPING AND RESTORATION

GENERAL NOTES

- ROADS TO BE SWEEPED AND CLEANED FOLLOWING
THE COMPLETION OF WORK EACH DAY

**FOR EROSION AND SEDIMENT
CONTROL REFER TO DWG. ESC-1**