

The Contractor shall verify all dimensions prior to construction of the work. All dimensions shall be indicated on the drawings and shall be indicated on the drawings and shall be indicated on the drawings.

NO.	DATE	DESCRIPTION
1	12/20/2015	ISSUE FOR REVIEW
2	12/20/2015	ISSUE FOR REVIEW
3	12/20/2015	ISSUE FOR REVIEW
4	12/20/2015	ISSUE FOR REVIEW
5	12/20/2015	ISSUE FOR REVIEW
6	12/20/2015	ISSUE FOR REVIEW
7	12/20/2015	ISSUE FOR REVIEW
8	12/20/2015	ISSUE FOR REVIEW
9	12/20/2015	ISSUE FOR REVIEW
10	12/20/2015	ISSUE FOR REVIEW

YORK REGION EMS #19

PROJECT: 445 HARRY WALKER PARKWAY SOUTH, NEWMARKET

THOMAS BROWN ARCHITECTS

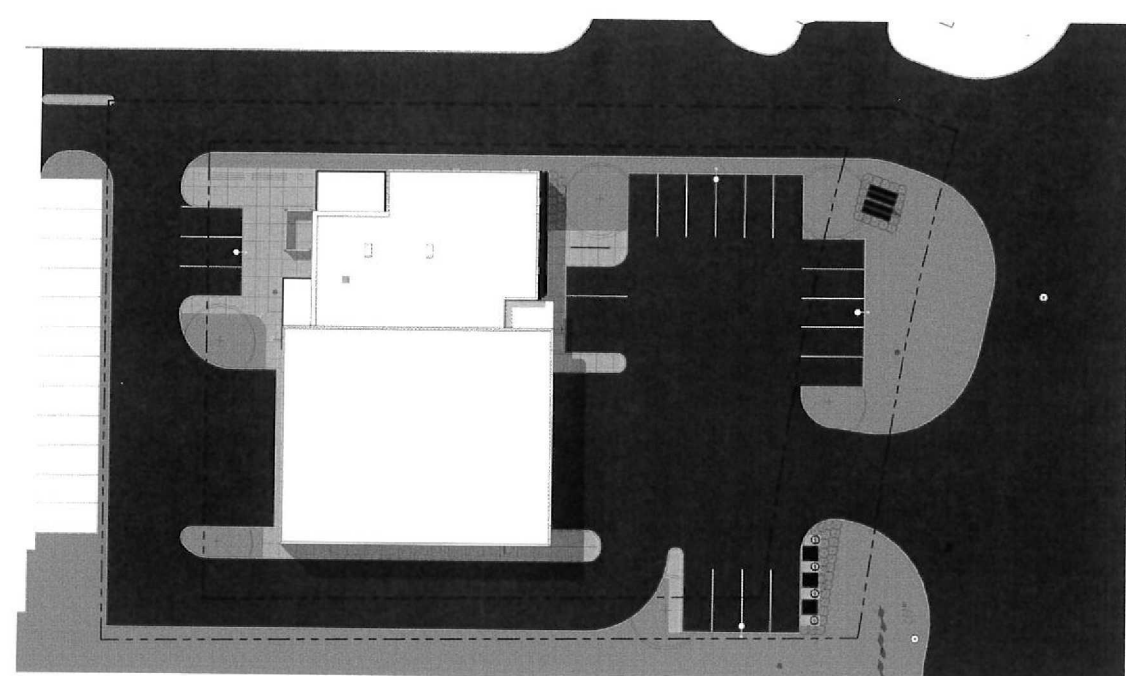
11111 Highway 100, Suite 100
Newark, NJ 07102
Tel: 973.261.1111
Fax: 973.261.1112
www.thomasbrownarchitects.com

PROFESSIONAL SEAL

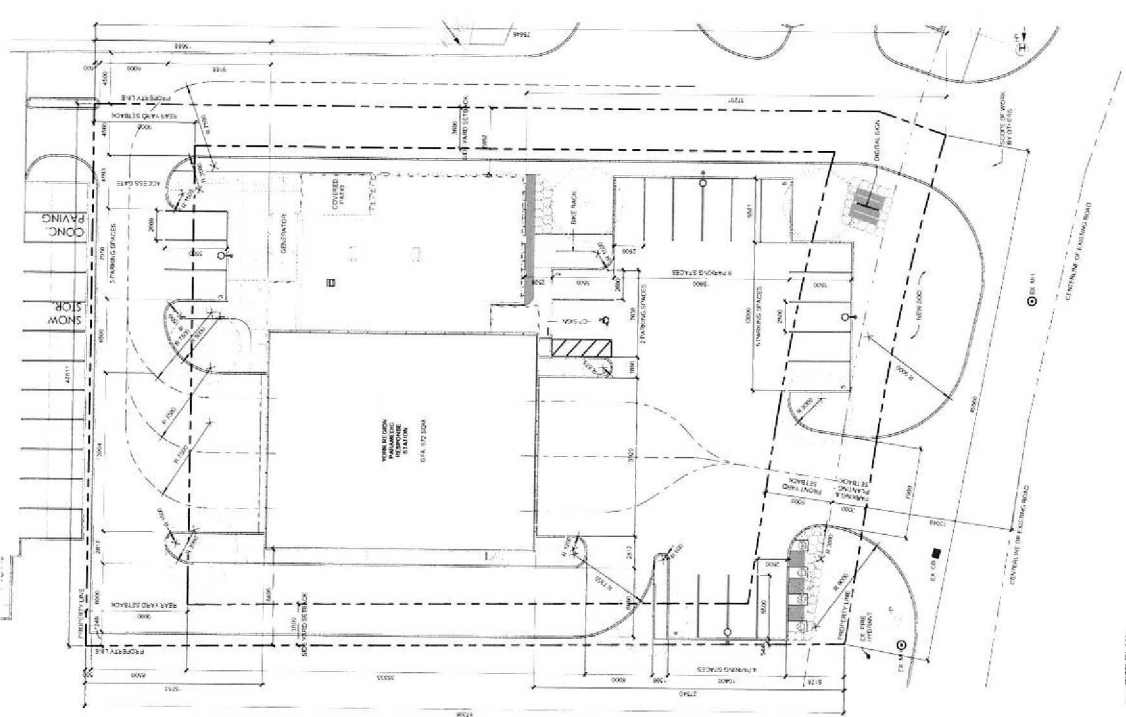
SITE PLAN DESIGN

DATE: DEC 4, 2015
SCALE: 1" = 200'
DRAWN BY: SRL
CHECKED BY: CBK
DESIGNED BY: TBA
PROJECT NO: SPA
PROJECT NO: 1417
DRAWING NO: A 1.2

DATE	SCALE	DRAWN BY	CHECKED BY	DESIGNED BY	PROJECT NO	DRAWING NO
DEC 4, 2015	1" = 200'	SRL	CBK	TBA	SPA	A 1.2



① SITE PLAN - RENDERED
1" = 200'



② SITE PLAN
1" = 200'

[illegible]

445 HARRY WALKER PARKWAY SOUTH, NEWMARKET

1562 *Neurolepis blattarum* Saito, 1956
 (Fig. 10, 11; Plate 3, Figs 10 & 11)
 (continued)

ASD/100



DATE	DEC.4 / 2015
SCALE	1 : 75
DRAWN BY	Author
CHECKED BY	Checker
DESIGNED BY	Designer
DESIGN STATUS	SPA
PROJECT No.	1417
DESIGN No.	A 1.3
REVISION	1

④ SPA - EAST BUILDING ELEVATION



The Contractor shall verify all dimensions prior to construction of the work. All joint and connection details shall be approved by the Architect and shall be submitted upon completion of the design.

ISSUE OR REVISION

NO.	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION	2015.12.04

YORK REGION EMS #19
445 HARRY WALKER PARKWAY SOUTH, NEWMARKET
PROJECT

THOMAS BROWN
ARCHITECTS

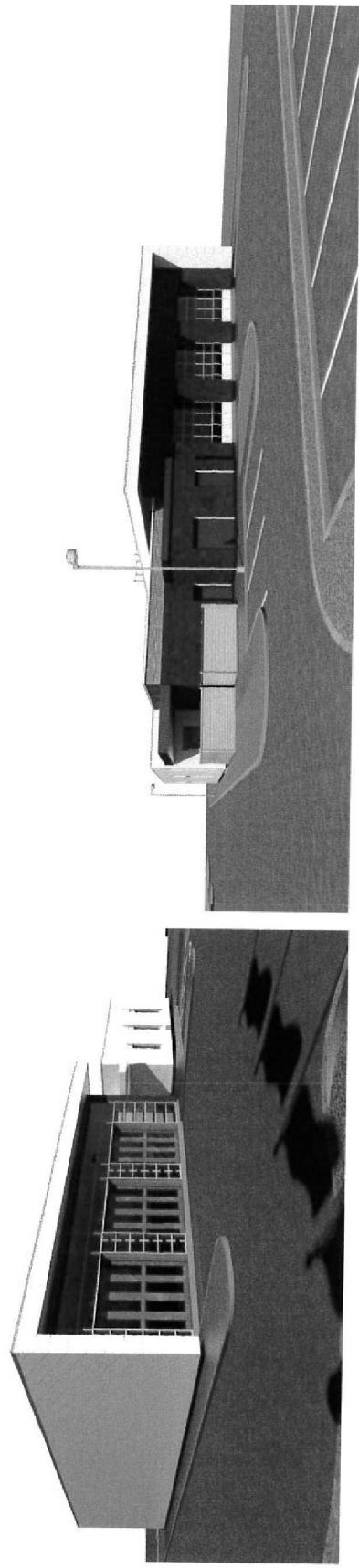
100 Hudson Avenue, Suite 200
Newark, NJ 07102
Phone: 973.261.1111
Fax: 973.261.1112
www.thomasbrownarchitects.com



RENDERINGS

DATE	DEC 4 / 2015
SCALE	
DESIGNED BY	SRL
CHECKED BY	CBK
CONSTRUCTED BY	TBA
ENGINEERED BY	SPA
PROJECT NO.	1417
DRAWING NO.	A 1.4
REVISION	1

12/2/2015 3:54:12 PM



The Contractor shall verify all dimensions prior to construction of the work. All dimensions shall be taken from the centerline of the lot. All dimensions shall be taken from the centerline of the lot.

ISSUE OR REVISION

NO.	DATE	DESCRIPTION
1	12/2/2015	1.0
2	12/2/2015	2.0
3	12/2/2015	3.0
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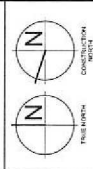
YORK REGION EMS #19

445 HARRY WALKER PARKWAY SOUTH, NEWMARKET

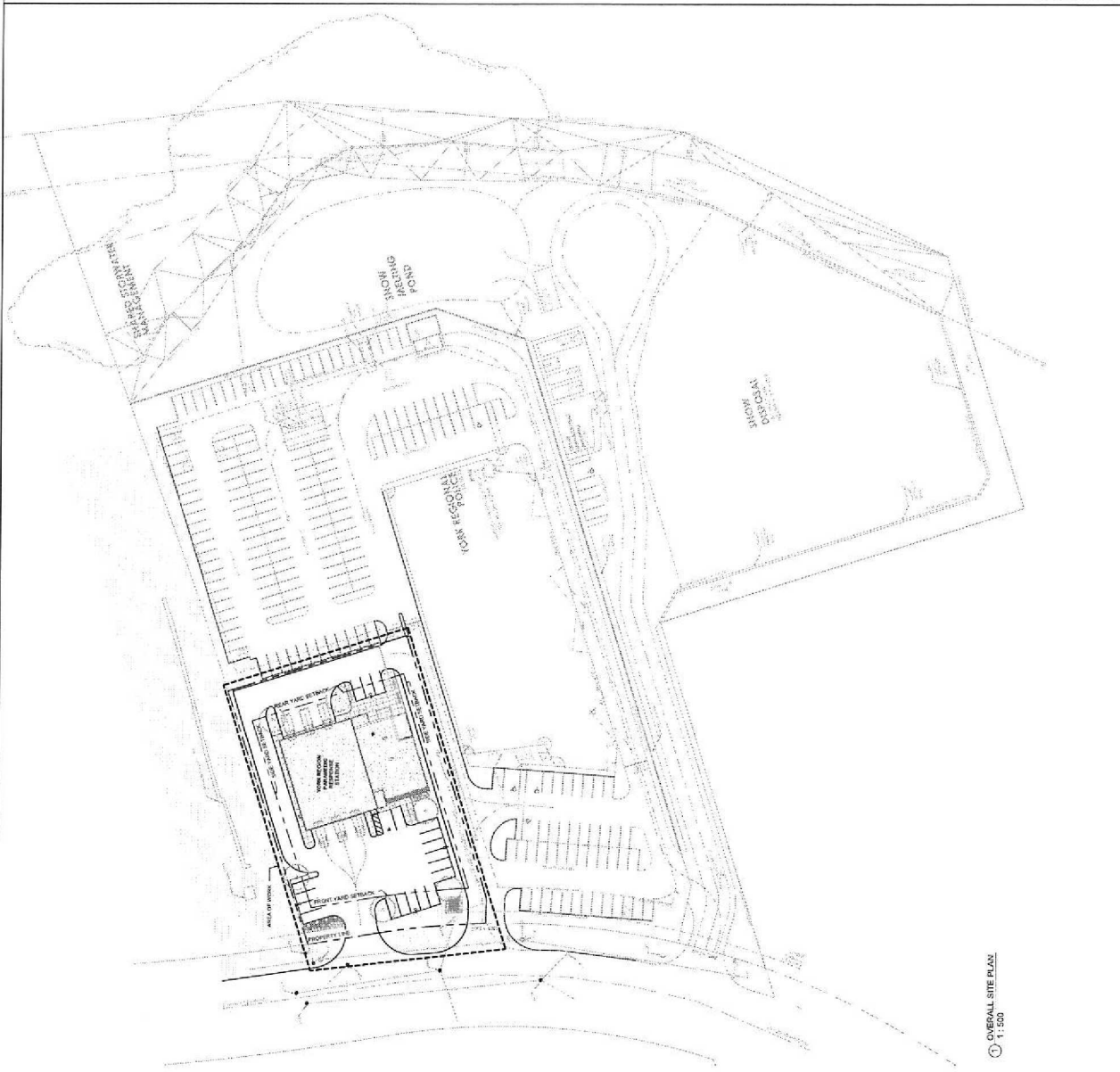
THOMAS BROWN ARCHITECTS
10000 SHEPPARD AVENUE EAST
SUITE 100
SCARBOROUGH, ONTARIO M1S 1T6
TEL: (416) 291-1111
WWW.TBARCHITECTS.COM



OVERALL SITE PLAN



DATE	DEC 4 / 2015
SCALE	1:500
DRAWN BY	SRL
CHECKED BY	CBK
DESIGNED BY	TBA
DATE	12/2/2015
PROJECT NO.	1417
PROJECT NAME	SPA
PROJECT LOCATION	A 1.1
PROJECT NUMBER	1



OVERALL SITE PLAN
1:500

SITE STATISTICS DATA									
ITEM	REQUIREMENTS	PROVIDED	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS	REMARKS
1	Overall Building & Site Area	14,120.00	14,120.00						
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99	Overall Building & Site Area	14,120.00	14,120.00						
100	Overall Building & Site Area	14,120.00	14,120.00						

MUNICIPAL SETBACKS

1	Front Yard Setback	2.0m
2	Side Yard Setback	0.5m
3	Rear Yard Setback	0.5m
4	Side Yard Setback	0.5m
5	Rear Yard Setback	0.5m

LEGEND

— 100% COTTON T-SHIRT

— 100% COTTON T-SHIRT

— 100% COTTON T-SHIRT

**Harrington
McAvan Ltd**
FMS2 19714 0078107
Markham, Ontario L3R 9V8
Tel: 905-479-0227 Fax: 905-479-0225
www.hmcav.com
A Canadian Corporation

LANDSCAPE PLAN

1408

ISSUED FOR APPROVAL	15-38	1
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Technical drawing of a wooden bench. The side view (top) shows a bench with a seat height of 450 mm, a seat width of 450 mm, and a seat depth of 450 mm. The end view (bottom) shows a bench with a seat height of 450 mm, a seat width of 450 mm, and a seat depth of 450 mm. The drawing is labeled 'WOODEN BENCH' and '1:1'.

[illegible]

1000

10/10/10

G. W.

7 MEET/ STUDY TABLE

MEET/ STUDY TABLE

12 CHAIRS

DOOR

WINDOW

[illegible][illegible]

The Contractor shall verify all dimensions prior to any construction and shall be responsible for any errors and omissions in the reporting of the same.	
DATE	
ISSUE OR REVISION	
No.	DESCRIPTION
1	
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9	
10	

445 HARRY WALKER PARKWAY SOUTH, NEWMARKET

YORK REGION EMS #19

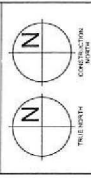
PROJ. 007

THOMAS BROWN ARCHITECTS

1177 Highway 404, Unit 100
Newmarket, Ontario L3Y 4P4
Tel: 905.882.1177
www.thomasbrown.ca

PROFESSIONAL SEAL

EXISTING SITE SURVEY



DATE	DEC 4 / 2015
SCALE	
DRAWN BY	SRL
CHECKED BY	CBK
DESIGNED BY	TBA
ENGINEER	SPA
PROJECT NO.	1417
SHEET NO.	A 1.0

13/02/015 2:45:22 PM

**PART OF LOT 31
CONCESSION 3
GEOGRAPHIC TOWNSHIP OF WHITCHURCH
PART OF LOT 3 AND PART OF BLOCK 6
PLAN 65M-3804
TOWN OF NEWMARKET
REGIONAL MUNICIPALITY OF YORK**

LODGE & PURCELL LTD. SCALE 1:750

NOTES:
1. THIS SURVEY WAS CONDUCTED ON THE 15th DAY OF DECEMBER 2015.
2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY ACT, R.S.O. 1990, CHAPTER S.5.
3. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY REGULATIONS, R.R.O. 1990, CHAPTER S.6.
4. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY ACT, R.S.O. 1990, CHAPTER S.5.
5. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY REGULATIONS, R.R.O. 1990, CHAPTER S.6.

LEGEND:

- BOUNDARY LINE
- ADJACENT PROPERTY
- ADJACENT ROAD
- ADJACENT RAILROAD
- ADJACENT WATERWAY
- ADJACENT AIRPORT
- ADJACENT PARK
- ADJACENT SCHOOL
- ADJACENT CHURCH
- ADJACENT HOSPITAL
- ADJACENT GOVERNMENT BUILDING
- ADJACENT INDUSTRIAL BUILDING
- ADJACENT RESIDENTIAL BUILDING
- ADJACENT COMMERCIAL BUILDING
- ADJACENT PUBLIC BUILDING
- ADJACENT PRIVATE BUILDING
- ADJACENT UNDEVELOPED LAND
- ADJACENT DEVELOPED LAND
- ADJACENT OPEN SPACE
- ADJACENT WATERWAY
- ADJACENT AIRPORT
- ADJACENT PARK
- ADJACENT SCHOOL
- ADJACENT CHURCH
- ADJACENT HOSPITAL
- ADJACENT GOVERNMENT BUILDING
- ADJACENT INDUSTRIAL BUILDING
- ADJACENT RESIDENTIAL BUILDING
- ADJACENT COMMERCIAL BUILDING
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CAUTION:
THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY ACT, R.S.O. 1990, CHAPTER S.5.
THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY REGULATIONS, R.R.O. 1990, CHAPTER S.6.

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TOPOGRAPHY
(PREPARED FOR THE REGIONAL MUNICIPALITY OF YORK)

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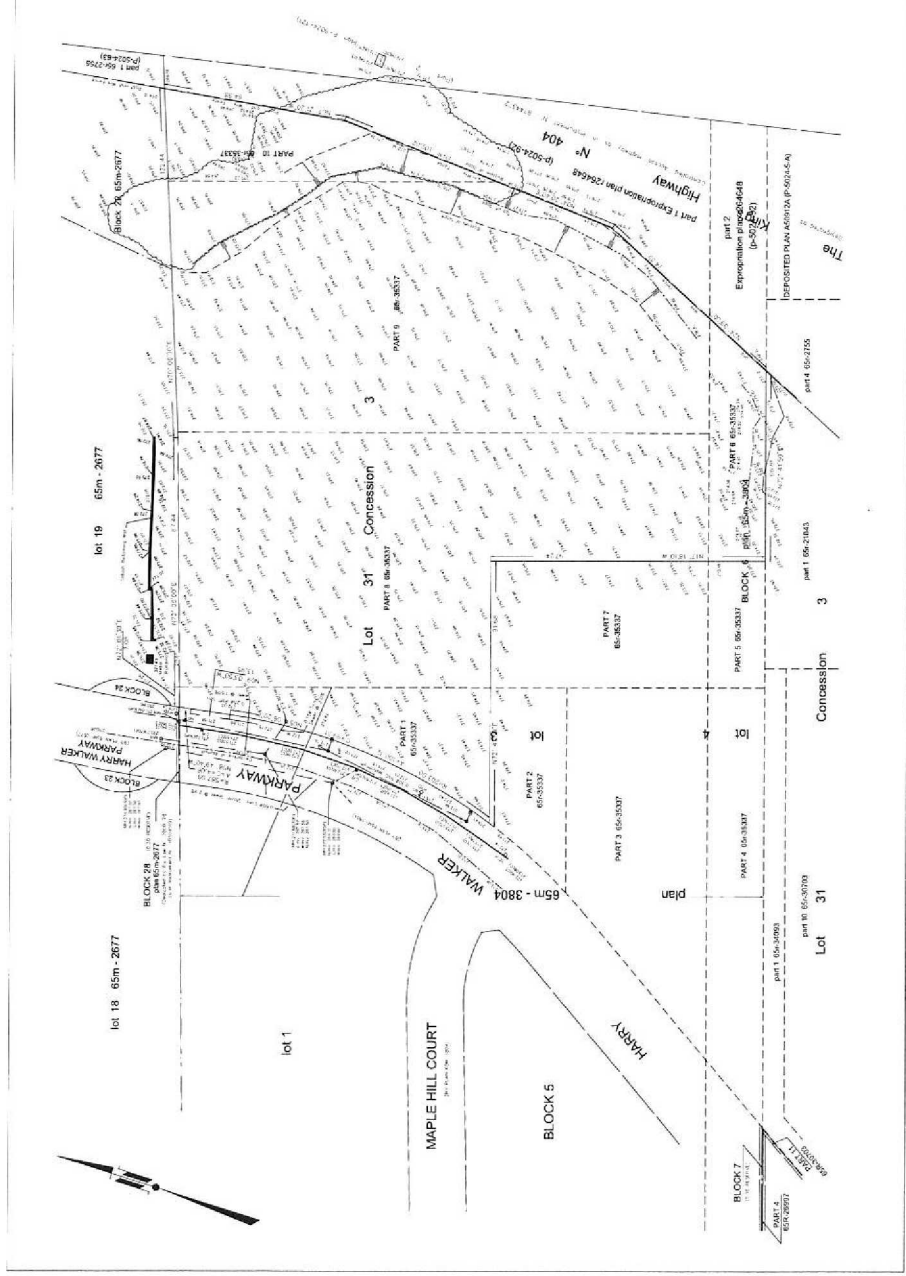
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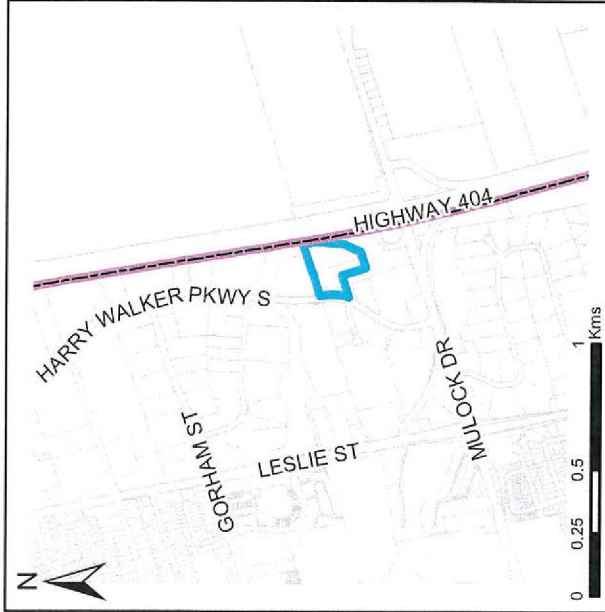
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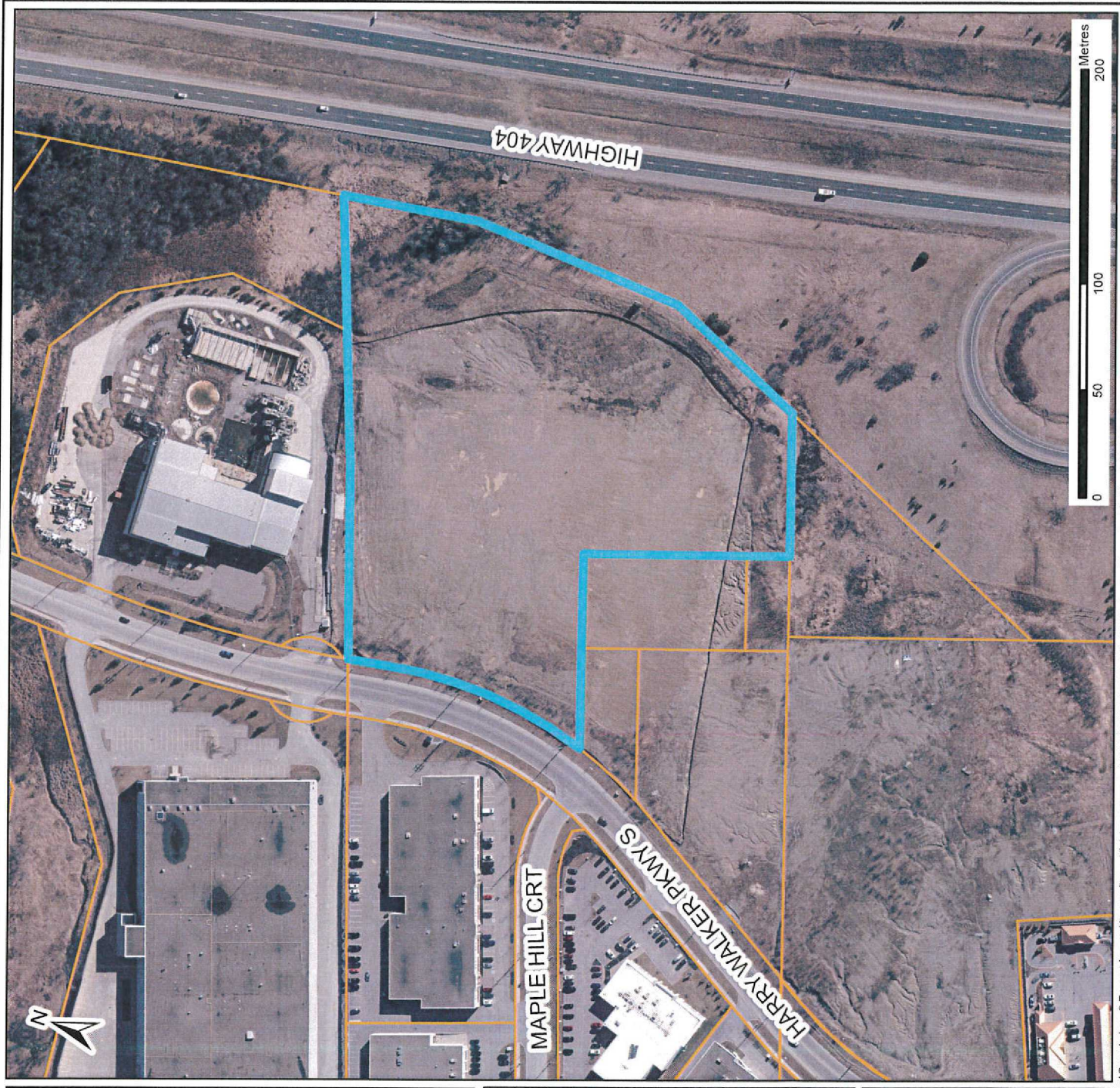
Location Map 445 Harry Walker Pky S Region of York



Designed & produced by Information Technology - GIS
Printed: 08/12/2015

Legend

- Subject Lands
- Property Lines
- Municipal Boundary



Site Plan Accessibility Checklist		Yes	No								
➤	Minimum number of required barrier-free parking spaces as per Zoning Bylaw?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Minimum size of barrier-free parking stall as per Zoning Bylaw?	<input type="radio"/>	<input type="radio"/>								
➤	Location of required signage – maximum distance from stall as per Sign Bylaw?	<input type="radio"/>	<input type="radio"/>								
➤	Location of parking space within reasonable proximity of barrier-free building entrance?*	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Parking space allows immediate access to barrier-free walkway?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Opportunity for primary location with drop-off or with no vehicle lane crossing?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Parking space designated with a vertical sign and pavement markings with the International Symbol of Access and detail of signage illustrated on site plan as per Sign Bylaw?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Provision for dedicated pedestrian walkways to promote safe access to facilities?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Provision for dedicated pedestrian walkways to promote safe access to facilities?	<input checked="" type="radio"/>	<input type="radio"/>								
Access to parking areas (OBC 3.8.2.2)											
➤	Barrier-free path of travel from entrance to parking	<input checked="" type="radio"/>	<input type="radio"/>								
Barrier-free walkway requirements (OBC 3.8.3.2):											
➤	Exterior walkway is slip resistant, continuous and even surfaced?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Exterior walkway designed to drain easily?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Minimum width of 1100 mm and a gradient not exceeding 1:20?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Gradient exceeding 1:20 to be of barrier free path designed as a ramp?	N/A	<input type="radio"/>								
➤	<i>Guideline:</i> Provision of change of surface materials or painted lines in locations where a barrier-free access traverses a driveway, fire route or parking aisle?	N/A	<input type="radio"/>								
Curb Ramp Requirements (OBC 3.8.3.2(3) & (4)):											
➤	Provision of curb ramps where difference in elevation between levels in the access route is not more than 200 mm?†	<input checked="" type="radio"/>	<input type="radio"/>								
Barrier-Free Ramp Requirements (OBC 3.8.3.4):											
➤	Maximum ramp slope is 1:12?	N/A	<input type="radio"/>								
➤	Minimum ramp width between handrails is 900 mm?	N/A	<input type="radio"/>								
➤	Minimum level area at top and bottom of ramp is 1,670 mm x 1,670 mm?	N/A	<input type="radio"/>								
➤	Provision of level landing areas with a minimum dimension of 1,670 mm x width of ramp at intervals of not more than 9 m along its length?	N/A	<input type="radio"/>								
➤	Handrails not less than 865mm and not more than 965 mm high?	N/A	<input type="radio"/>								
➤	Extension of handrails horizontally not less than 300 mm beyond top and bottom of ramp?	N/A	<input type="radio"/>								
Barrier-Free Entrance Requirements (OBC 3.8.1.2 and 3.8.3.3):											
➤	Is principal entrance to building barrier-free compliant?	<input checked="" type="radio"/>	<input type="radio"/>								
<i>Minimum number of barrier-free entrances are not less than specified in the table below and shall lead from the outdoors at sidewalk level or a ramp</i>		<input checked="" type="radio"/>	<input type="radio"/>								
<table border="1"> <thead> <tr> <th>Number of Pedestrian Entrances</th> <th>Minimum Number of Barrier-Free Entrances Required</th> </tr> </thead> <tbody> <tr> <td>1 to 3</td> <td>1</td> </tr> <tr> <td>4 to 5</td> <td>2</td> </tr> <tr> <td>6 and above</td> <td>Not less than 50 %</td> </tr> </tbody> </table>		Number of Pedestrian Entrances	Minimum Number of Barrier-Free Entrances Required	1 to 3	1	4 to 5	2	6 and above	Not less than 50 %		
Number of Pedestrian Entrances	Minimum Number of Barrier-Free Entrances Required										
1 to 3	1										
4 to 5	2										
6 and above	Not less than 50 %										
➤	Threshold at accessible entrance does not exceed 13 mm?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	Is the width of the door opening a minimum of 860 mm?	<input checked="" type="radio"/>	<input type="radio"/>								
➤	If required, does main accessible entrance have a power door operator?	<input checked="" type="radio"/>	<input type="radio"/>								
Accessibility Signage Requirements (OBC 3.8.3.1)											
➤	Signs incorporating the International Symbol of Access required to be permanently mounted to identify barrier-free building entrances and ramps?	<input checked="" type="radio"/>	<input type="radio"/>								

* Criteria: consider visibility from building, orientation

† Curb cuts/ramps should not cross into traffic lanes or other parked vehicles and be signed to prevent obstruction

Business Park Development Standards Checklist		Yes	No
Green Initiatives:			
✱	Building to be oriented and designed to take advantage of passive solar heating and shading for cooling	●	
✱	Provide anti-idling signage	●	
✱	Parking supply does not exceed minimum required by zoning bylaw	●	
✱	Provide landscaped areas and trees within parking lot to provide shade and break-up expanse of paved areas – consider stands of trees	●	
✱	Provide each tree with appropriate volume of high quality soil	●	
✱	Provide energy efficient exterior lighting	●	
✱	Rainwater collected, treated (if necessary) and used for irrigation	●	
✱	Provide storage facilities for recyclable materials and organic wastes		●
□	Provide dedicated parking spaces for high occupancy vehicles		●
□	Provide bicycle storage racks	●	
□	Provide plant materials that are suitable for site conditions and that are drought resistant (where applicable)	●	
□	Provide alternative power sources, i.e. wind and/or solar power		
□	Provide green roof with 100% coverage		●
□	Provide green roof with 50% minimum coverage and balance of roof space covered with light coloured roofing materials	●	
□	Innovative methods of reducing stormwater flows	●	
□	Provide alternative paving materials		●
Character:			
✱	Buildings should be constructed of high quality materials such as clay brick, stone or comparable material	●	
✱	Glazed areas should be maximized along street frontages to encourage safe and comfortable pedestrian use	●	
✱	Avoid conflicts between pedestrian and vehicular routes, e.g. when possible, avoid locating parking along major drive aisles, street access driveways or in front of building entrances and service areas.	●	
✱	Provide safe and convenient pedestrian connections between parking and buildings	●	
✱	Rooftop mechanical equipment and loading areas must be screened visually and acoustically on all sides	●	
✱	Building signage must complement overall design of building architecture and surrounding buildings	●	
□	Provide public art or cash-in-lieu		●
□	Building projections such as bay features, cornices, canopies, patios, porches, and porticos are encouraged	●	
□	Provide façade treatments that break down massing and articulates depth, verticality and street edge	●	
□	Align buildings close to street/sidewalk to help define street edge and enhance access to public realm		●
□	Lighting for individual buildings should be integrated into architecture	●	
□	Provide connection to Town's trail system		●
Boulevard Enhancements:			
✱	All trees that are 30cm or more DBH retained	●	
✱	New trees planted on boulevard conform with Town's planting guidelines	●	
□	Provide plant materials that are suitable for site conditions and that are drought resistant (where applicable)	●	
□	Provide benches, garbage and/or recycling receptacles, public art, planters and/or bicycle racks ¹	●	
□	Provide alternatives to grass	●	
□	Provide alternative paving materials ¹		●

✱ **Mandatory**¹ subject to Public Works Services and/or Engineering Services acceptance□ **Optional – select one from each category**

December 4, 2015

Linda L. Traviss, MCIP, RPP
Senior Planner – Development
Planning and Building Services

**Re: Site Plan Application
1415 Harry Walker Parkway**

The following is a list of responses to the requirements noted in Appendix 'D' – Development Standards Checklist.

The following requirements are mandatory:

Building to be oriented and designed to take advantage of passive solar heating and shading for cooling
Provide anti-idling signage
Parking supply does not exceed minimum required by zoning bylaw
Provide landscaped areas and trees within parking lot to provide shade and break-up expanse of paved areas – consider stands of trees
Provide each tree with appropriate volume of high quality soil
Provide energy efficient exterior lighting
Rainwater collected, treated (if necessary) and used for irrigation
Provide storage facilities for recyclable materials and organic wastes

These requirements will all be met in the proposed design.

The orientation of the building has been situated to provide for the intended use of the building as an emergency response facility. Windows in the proposed design have been sized and positioned with the impact of passive solar heating and shading in mind. Anti-idling signage will be provided using signs prominently mounted within all parking areas. Landscaping has been provided within parking areas where feasible. All trees and planting will be planted in high quality soil. Exterior lighting shall be LED where feasible. Where feasible, rainwater will be collected and used to irrigate landscaped areas. Storage has been provided for recyclable materials and organic waste in a dedicated room within the building.

Provide bicycle storage racks.

One bike rack has been provided in the design.

Provide plant materials that are suitable for site conditions and that are drought resistant (where applicable)

All proposed plant selection will prioritize native species that are specifically noted for drought resistance.

Provide alternative power sources, i.e. wind and/or solar power.

The design provides for the potential future installation of a photovoltaic solar panel system.

Provide green roof with 50% minimum coverage and balance of roof space covered with light coloured roofing materials.

Green roofs will be provided for more than 50% of the available roof space.

Innovative methods of reducing stormwater flows.

The proposed design will provide a 50% green roof that will contribute to the reduction of stormwater flows. An infiltration gallery will also be designed that will contribute to the reduction of stormwater flows.

The following requirements are mandatory:

Buildings should be constructed of high quality materials such as clay brick, stone or comparable material
Glazed areas should be maximized along street frontages to encourage safe and comfortable pedestrian use
Avoid conflicts between pedestrian and vehicular routes, e.g. when possible, avoid locating parking along major drive aisles, street access driveways or in front of building entrances and service areas.
Provide safe and convenient pedestrian connections between parking and buildings
Rooftop mechanical equipment and loading areas must be screened visually and acoustically on all sides
Building signage must complement overall design of building architecture and surrounding buildings

These requirements will all be met in the proposed design.

The proposed building will be constructed using a combination clay brick, and porcelain panel cladding which is a premium, durable material. The street elevation of the building incorporates a significant amount of glazing to encourage safe and comfortable pedestrian use. Parking areas are primarily for staff and have been laid out to minimize conflicts while maintaining the required vehicular flows within the site. Pedestrian connections from parking areas to the building have been provided using pedestrian sidewalks which provide a direct connection to the primary entrance of the building. Where parking spaces have to cross driveways, a sidewalk has been provided to establish a clear pedestrian path to the building.

Mechanical rooftop equipment will be minimal on this project as the building will be serviced by an internal furnace system. Rooftop fans will be located as far as possible from the roof edge to minimize visibility from the street and surrounding pedestrian views. Building signage will complement the building design and be in accordance with Client standards.

Building projections such as bay features, cornices, canopies, patios, porches, and porticos are encouraged.

The proposed design incorporates projecting soffits and an entrance canopy has been proposed. A patio for staff use is also proposed.

Provide façade treatments that break down massing and articulates depth, verticality and street edge.

The facades of the building provide a high level of articulation using three high quality materials.

Lighting for individual buildings should be integrated into architecture.

Lighting for the building will be provided at building entrances and perimeter building areas using wall mounted fixtures that will be integrated into the building. Pole mounted lighting for perimeter parking areas will be high quality and designed to relate to the surrounding area.

The following requirements are mandatory:

All trees that are 30cm or more DBH retained.
New trees planted on boulevard conform with the Town's planting guidelines.

These requirements will all be met in the proposed design.

Provide plant materials that are suitable for site conditions and that are drought resistant (where applicable).

All proposed plant selection will prioritize native species that are specifically noted for drought resistance.

Provide benches, garbage and/or recycling receptacles, public art, planters and/or bicycle racks.

Two benches and one bike rack have been provided in the design.

If you have any questions or require further clarification, please do not hesitate to contact our office.

Regards,

A handwritten signature in black ink, appearing to read 'Sebastian Lubczynski', written in a cursive style.

Sebastian Lubczynski
Senior Intern Architect

NOTES TO COMMITTEE

Property: 445 Harry Walker Parkway South

Owner: The Regional Municipality of York

Application: Site Plan Approval to permit the construction of a new EMS facility having a gross floor area of 672 m² and an associated 20 space parking lot.

STAFF RECOMMENDATIONS

The Site Plan Review Committee directs:

1. That the Application for Site Plan Approval to permit the construction of a new EMS facility having a gross floor area of 672 m² and an associated 20 space parking lot be approved in principle and referred to staff for processing, subject to the following:
 - a. That the preliminary review comments be addressed to the satisfaction of Town staff;
 - b. AND THAT the requirement for a Public Information Centre be waived.

Preliminary Staff Comments to be Addressed

- Parking spaces along northerly property line do not meet setback requirements
- Drawings to be revised to be consistent with each other
- Additional landscaping to be provided
- Consideration to be given to installation of pedestrian walkway through site to front door
- Arborist Report and Tree Preservation Plan to be peer reviewed by Town's Consulting Arborist
- Construction Management Plan required prior to work commencing
- Public Information Centre to be held unless Committee directs otherwise
- Permit may be required from Ministry of Transportation

Next Steps

If Committee approves the application in principle and refers it to staff for processing, the next step in the process is for the applicant to submit to the Town the first technical submission which will be reviewed by staff.

The following plans and reports are required as part of the first technical submission:

- Site Plan
- Landscape Plan
- Building Elevations Plan
- Phase One Environmental Site Assessment
- Phase Two Environmental Site Assessment
- Stormwater Management Report
- Functional Servicing Report
- Servicing Plan
- Grading Plan
- Geotechnical Report
- Sediment and Erosion Control Plan
- Construction Management Plan
- Traffic Impact Assessment Report
- Arborist Report
- Tree Inventory and Preservation Plan
- Cost Estimates (civil and landscaping)