



# MARIANNEVILLE DEVELOPMENTS LIMITED

26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5

MIXED-USE RESIDENTIAL  
BLOCK 164/165 - GLENWAY  
DAVIS DRIVE & MITCHELL PLACE, NEWMARKET, ONTARIO

## ARCHITECTURAL DRAWINGS LIST

A100 - CONCEPT SITE PLAN OVERALL  
A101 - CONCEPT SITE PLAN PARTIAL  
A102 - CONCEPT SITE PLAN PARTIAL  
A103 - RESIDENTIAL OBC DATA MATRIX  
A200 - CONCEPT UNDERGROUND PLAN AND STATISTICS

A300 - TYPICAL MIXED-USE FLOOR PLANS  
A301 - TYPICAL MIXED-USE FLOOR PLANS (CORNER UNIT)

A302 - BLOCK 1 - FLOOR PLANS  
A303 - BLOCK 2 - FLOOR PLANS  
A320 - TOWNHOUSES FLOOR PLANS  
A321 - TOWNHOUSES FLOOR PLANS  
A322 - TOWNHOUSES FLOOR PLANS  
A323 - BLOCK 3 - FLOOR PLANS  
A324 - BLOCK 3 - FLOOR PLANS  
A325 - BLOCK 4 - FLOOR PLANS  
A326 - BLOCK 4 - FLOOR PLANS  
A327 - BLOCK 5 - FLOOR PLANS  
A328 - BLOCK 5 - FLOOR PLANS  
A329a - BLOCK 6 - FLOOR PLANS  
A329b - BLOCK 6 - FLOOR PLANS  
A330 - BLOCK 7 - FLOOR PLANS  
A331 - BLOCK 7 - FLOOR PLANS  
A332 - BLOCK 8 - FLOOR PLANS  
A333 - BLOCK 8 - FLOOR PLANS  
A334 - BLOCK 8 - FLOOR PLANS  
A335 - BLOCK 9 - FLOOR PLANS  
A336 - BLOCK 9 - FLOOR PLANS  
A337 - BLOCK 10 - FLOOR PLANS  
A338 - BLOCK 10 - FLOOR PLANS  
A339 - BLOCK 11 - FLOOR PLANS  
A340 - BLOCK 11 - FLOOR PLANS  
A341 - BLOCK 12 - FLOOR PLANS  
A342 - BLOCK 12 - FLOOR PLANS

A400 - BLOCK 1 - ELEVATIONS  
A401 - BLOCK 1 - ELEVATIONS  
A402 - BLOCK 2 - ELEVATIONS  
A403 - BLOCK 2 - ELEVATIONS  
A404 - BLOCK 1&2 TYP. COLOURED ELEVATIONS  
A420 - TOWNHOUSES - BLOCK 3 ELEVATIONS  
A421 - TOWNHOUSES - BLOCK 4 ELEVATIONS  
A422 - TOWNHOUSES - BLOCK 5 ELEVATIONS  
A423 - TOWNHOUSES - BLOCK 6 ELEVATIONS  
A424 - TOWNHOUSES - BLOCK 7 ELEVATIONS  
A425 - TOWNHOUSES - BLOCK 8 ELEVATIONS  
A426 - TOWNHOUSES - BLOCK 8 ELEVATIONS  
A427 - TOWNHOUSES - BLOCK 9 ELEVATIONS  
A428 - TOWNHOUSES - BLOCK 10 ELEVATIONS  
A429 - TOWNHOUSES - BLOCK 11 ELEVATIONS  
A410 - TOWNHOUSES - BLOCK 11 ELEVATIONS  
A431 - TOWNHOUSES - BLOCK 12 ELEVATIONS  
A432 - NOT USED  
A433 - NOT USED  
A434 - NOT USED  
A435 - COLOURED ELEVATIONS  
A436 - COLOURED ELEVATIONS - BLOCK 8  
A437 - COLOURED ELEVATIONS  
A438 - MATERIAL BOARDS

A500 - TYPICAL SITE SECTIONS  
A501 - TYPICAL SITE SECTIONS  
A502 - TYPICAL SITE SECTIONS

ISSUED FOR SITE PLAN  
APPROVAL

NOVEMBER 18TH, 2019

AUGUST 28TH, 2020

ISSUED FOR BUILDING PERMIT

DAY/MONTH/YEAR

ISSUED FOR TENDER

DAY/MONTH/YEAR

ISSUED FOR CONSTRUCTION

DAY/MONTH/YEAR

### ARCHITECT

SRN ARCHITECTS INC.  
8395 JANE ST. SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
(P) 905.417.5515 (F) 905.417.5517

### PLANNER

GROUNDSWELL URBAN PLANNERS INC.  
95 MURAL STREET, SUITE 402  
RICHMOND HILL, ONTARIO. L4B 3G2  
(P) 905.597.8204

### SITE SERVICING

COLE ENGINEERING GROUP LTD.  
70 VALLEYWOOD DRIVE  
MARKHAM, ONTARIO. L3R 4T5  
(P) 905.940.6161 (F) 905.940.2064

### STRUCTURAL ENGINEER

JABLONSKY, AST AND PARTNERS  
3 CONCORDE GATE, 4TH FLOOR  
TORONTO, ONTARIO. M3C 3N7  
(P) 416.447.7405

### MECHANICAL ENGINEER (UNDERGROUND)

ANDA ENGINEERING LTD.  
5125 ARDOCH ROAD  
ARDOCH, ONTARIO. K0H 1C0  
(P) 613.479.0161

### MECHANICAL ENGINEER (ABOVE GROUND)

HVAC DESIGNS LTD.  
375 FINLEY AVE, SUITE 202  
AJAX, ONTARIO. L1S 2E2  
(P) 905.619.2300 (F) 905.619.2375

### ELECTRICAL ENGINEER

E-LUMEN INTERNATIONAL INC.  
595 CITYVIEW BLVD, SUITE 204/205  
VAUGHAN, ONTARIO. L4H 3M7  
(P) 905.417.6881 (F) 905.417.6882

### LANDSCAPE ARCHITECT

STRYBOS BARRON KING LTD.  
5770 HURONTARIO STREET, SUITE 320  
MISSISSAUGA, ONTARIO. L5R 3G5  
(P) 416.695.4949

### SHORING ENGINEER

TARRA ENGINEERING & STRUCTURAL  
CONSULTANT INC.  
2800 14TH AVENUE, SUITE 300  
MARKHAM, ONTARIO. L3R 0E4  
(P) 905.470.6952 (F) 905.470.5126



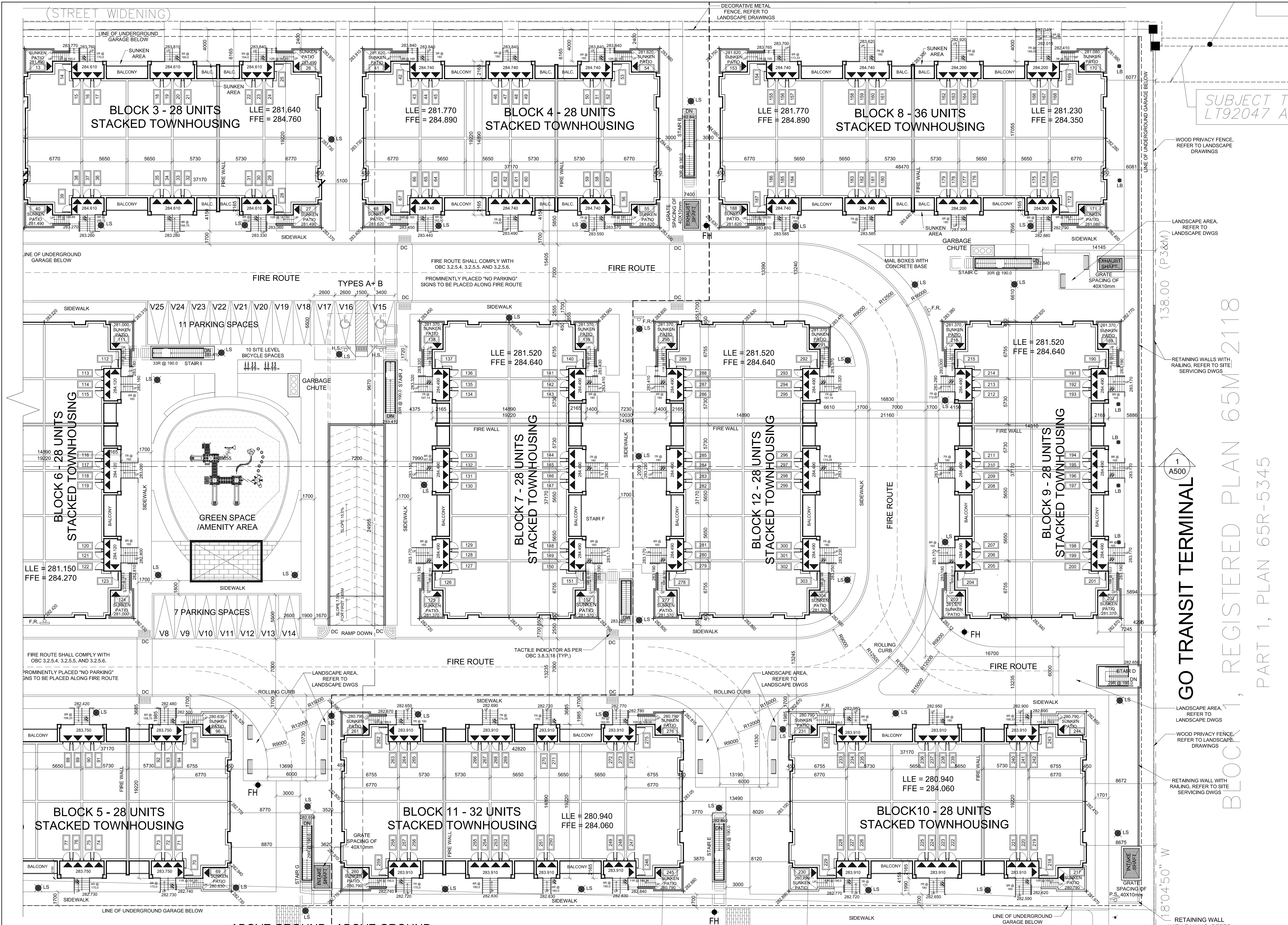












THESE DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

**LEGEND**

- ▲ MAIN ENTRANCE
- BICYCLE PARKING
- BARRIER FREE PARKING
- VISITOR PARKING
- FH FIRE HYDRANT, REFER TO CIVIL DRAWINGS
- LS LIGHT POLE, REFER TO ELECTRICAL DRAWINGS
- WL WALL MOUNTED LIGHT FIXTURE, REFER TO ELECTRICAL DWGS
- F.R. FIRE ROUTE SIGN AS PER CITY STANDARD
- S.S. BARRIER FREE PARKING SIGN, AS PER CITY STANDARD
- STOP SIGN
- I.S. IDLE FREE ZONE SIGN
- P.S. POPS SIGN
- TACTILE INDICATOR
- DC DEPRESSED CURB
- G GAS METER
- H HYDRO METER
- NFHB NON FREEZABLE HOSE BIB
- EVCS ELECTRIC VEHICLE CHARGING STATION

REFER TO ADD FOR SIGNAGE

NO.	DATE:	REVISION COMMENT:

**SRN ARCHITECTS**  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO, L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517

ONTARIO ASSOCIATION OF ARCHITECTS  
GREGORY PATRICK RASPIN  
LICENCE 6588  
August 18, 2020

CLIENT: **MARIANNEVILLE DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO, M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT: **MIXED-USE RESIDENTIAL**  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE: **CONCEPT SITE PLAN PARTIAL**

DATE: 03/04/18 SCALE: 1:200  
DRAWN BY: N.W. CHECKED BY: G.P.R.  
PROJECT NUMBER: DRAWING NUMBER:

**S17066 A102**



[illegible]

OBC DATA MATRIX: BLOCK 2									
FIRM NAME: BIRN ARCHITECTS INC. 530 KANE STREET, SUITE 202 VANCOUVER, BC V6M 1K4 NAME OF PROJECT: BLOCK 16A AND 16B - 1800-USE RESIDENTIAL DRAWING: NEW/AMENDMENT / ONTARIO OWNER: MARINACVILLE DEVELOPMENTS LIMITED									
ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9							OBC REFERENCE		
(1) PROJECT DESCRIPTION (2) MAJOR OCCUPANCY(S) (3) BUILDING AREA (SQ.M.) (4) GROSS AREA (SQ.M.) (5) NUMBER OF STOREYS (6) NUMBER OF STREETS/FIRE ACCESS (7) BUILDING CLASSIFICATION (8) SPINNING SYSTEM PROPOSED (9) STANDBY REQUIRED (10) FIRE ALARM REQUIRED (11) WATER SUPPLY IS ADEQUATE (12) HIGH BUILDING (13) CONSTRUCTION RESTRICTIONS (14) ACTUAL CONSTRUCTION (15) MEZZANINE AREA SQ.M. (16) OCCUPANT LOAD BASED ON (17) BARRIER FREE DESIGN (18) HAZARDOUS SUBSTANCES (19) REQUIRED FIRE RESISTANCE RATING (RFR)							(1) PART 9 - 1.1.2, (2) PART 9 - 1.1.2, (3) PART 9 - 1.1.1, (4) TO 1.4 (5) PART 9 - 1.1.2, (6) PART 9 - 1.1.2, (7) PART 9 - 1.1.2, (8) PART 9 - 1.1.2, (9) PART 9 - 1.1.2, (10) PART 9 - 1.1.2, (11) PART 9 - 1.1.2, (12) PART 9 - 1.1.2, (13) PART 9 - 1.1.2, (14) PART 9 - 1.1.2, (15) PART 9 - 1.1.2, (16) PART 9 - 1.1.2, (17) PART 9 - 1.1.2, (18) PART 9 - 1.1.2, (19) PART 9 - 1.1.2		
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OBC DATA MATRIX: BLOCK 3									
FIRM NAME: SRN PROJECTS INC. 840 JANE STREET, SUITE 202    416-471-9819 VAPOR, ONTARIO L4P 0A7 NAME OF PROJECT: BLOCK 16 AND 15 - MIXED-USE RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARLBOROUGH DEVELOPMENTS LIMITED									
ITEM	ONTARIO 2012 BUILDING CODE DATA MATRIX PART 9						OBC REFERENCE		
<small>           1. This table is a summary of the minimum requirements of the Ontario Building Code (OBC) and is not intended to be used as a substitute for the full text of the OBC. For more information, please refer to the full text of the OBC.           2. The OBC is a legal document and its provisions must be read in conjunction with the Building Code Act, 1992 and the Building Code Regulations, 1992.           3. The OBC is a legal document and its provisions must be read in conjunction with the Building Code Act, 1992 and the Building Code Regulations, 1992.         </small>									
1	PROJECT DESCRIPTION		<input checked="" type="checkbox"/> NEW <input type="checkbox"/> DEMOLISH <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE		<small>           PART 3 - 1.1.2 (A)    <b>PART 9 -</b>            TO 1.1.1      1.1.2 (A) &amp;                                9.10.2, 9.         </small>				
2	MAJOR OCCUPANCY(S)    GROUP C		9.10.2.						
3	BUILDING AREA (SQ.M.)    EXISTING    N/A      NEW    653.6 SQ.M.    TOTAL 653.6 SQ.M.		1.4.1.2. (A)						
4	BUILDING AREA ON EACH SIDE OF THE PERIMETER 200.5 SQ.M. AND 67.4 SQ.M.		1.4.1.2. (A)						
5	GROSS AREA (SQ.M.)    EXISTING    N/A      NEW    2,063.0 SQ.M.    TOTAL 2,063.0 SQ.M.		1.4.1.2. (A) & 9.10.4.						
6	NUMBER OF STOREYS    ABOVE GRADE    3      BELOW GRADE    1		9.10.26.						
7	NUMBER OF STREETS/FRONT ACCESS    2		9.10.26.						
8	BUILDING CLASSIFICATION    GROUP C - RESIDENTIAL		9.10.2.						
9	SPRINKLER SYSTEM PROPOSED		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> ASSESSMENT <input type="checkbox"/> IN LEVEL OF ROOF RATING <input type="checkbox"/> NOT REQUIRED						
			INDEX						
9	STANDPIPE REQUIRED		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		N/A				
10	FIRE ALARM REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> PROVIDED		9.10.19.				
11	WATER SUPPLY/COMPRESSOR IS ADEQUATE		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		N/A				
12	MID-BUILDING		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		N/A				
13	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		9.10.6.				
14	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		9.10.6.				
15	MEZZANINE(S) AREA SQ.M.		<input type="checkbox"/> NONE		9.10.4.1.				
16	OCCUPANT LOAD BASED ON		<input type="checkbox"/> SQ.M./PERSON <input type="checkbox"/> DESIGN OF BUILDING 2 PERSONS PER SLEEPING ROOM / 32 SLEEPING ROOMS / 104 PERSONS		9.01.3.				
17	BARRIER FREE DESIGN		<input type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN: AS PER OBC 9.5.2.1. (2))		9.5.2.				
17	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		9.10.1.3 (4)				
18	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (OUB-3)		9.10.6. 9.10.6. 3.3.4.2. 9.10.2.47.				
	FLOORS		FRR		F.L.P.				
	ROOF		45-MIN		OBC 9.10.5.7.1 (2)    F.L.P.				
	MEZZANINE		N/A						
	FRR OF SUPPORTING MEMBERS		N/A		LIFTED DESIGN NO. OR DESCRIPTION (OBC-2)				
	FLOORS		N/A						
	ROOF		N/A						
	MEZZANINE		N/A						
19	SIGNAL SEPARATION - CONSTRUCTION OF EXTERIOR RAILS								
	REFER TO CHART ON BUILDING ELEVATION								
	9.10.14.								

OBC DATA MATRIX: BLOCK 4									
FIRM NAME: SRN ARCHITECTS INC. 400 JANE STREET, SUITE 202    416-947-5815 NAME OF PROJECT: BLOCK 4A AND 1B - MIXED-USE RESIDENTIAL (DAVIS DRIVE, NEWMARKET, ONTARIO) OWNER: MARLBOROUGH DEVELOPMENTS LIMITED									
ITEM	ONTARIO 2012 BUILDING CODE DATA MATRIX PART 9						OBC REFERENCE		
<small>           (1) PART 9 - 1.1.2. (A) PART 9 - 1.1.2. (A) &amp; 9.10.2.2            (2) PART 11 - 1.1.1. 9.10.2.2            TO 11.4.         </small>									
1	PROJECT DESCRIPTION		<input checked="" type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION		<input type="checkbox"/> DEMOLISH <input type="checkbox"/> CHANGE OF USE		(1) PART 9 - 1.1.2. (A) PART 9 - 1.1.2. (A) & 9.10.2.2 TO 11.4.		
2	MAJOR OCCUPANCIES		GROUP C				9.10.2.		
3	BUILDING AREA (SQ.M.)		EXISTING	N/A	NEW	653.8 SQ.M.	TOTAL	653.8 SQ.M.	1.1.2. (A)
3B	BUILDING AREA ON EACH LEVEL OF THE PRELIM. 2012 SQ.M. AND 2014 SQ.M.								
4	GROSS AREA (SQ.M.)		EXISTING	N/A	NEW	2,963.3 SQ.M.	TOTAL	2,963.3 SQ.M.	1.1.2. (A)
5	NUMBER OF STOREYS		ABOVE GRADE		3		BELOW GRADE		1
6	NUMBER OF STREETS/FIRE ALIGHT ACCESS		2						1.1.2. (A) & 9.10.4.
7	BUILDING CLASSIFICATION		GROUP C - RESIDENTIAL						9.10.2.
8	SPRINKLER SYSTEM PROPOSED		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LEVEL OF ROOF RATING						3.2.2.47 9.10.2. INDEX
9	STANDPIPE REQUIRED		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> NO <input checked="" type="checkbox"/> NO		N/A		
10	FIRE ALARM REQUIRED		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> NO <input checked="" type="checkbox"/> PROVIDED		9.10.18		
11	WATER SERVICE/SPRINKLER ADEQUATE		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				N/A		
12	HIGH BUILDING		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				9.10.2.		
13	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH <input type="checkbox"/> BOTH <input type="checkbox"/> BOTH		9.10.6.
14	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH <input type="checkbox"/> BOTH <input type="checkbox"/> BOTH		9.10.6.
15	MEZZANINE(S) AREA SQ.M.		<input type="checkbox"/> NONE <input checked="" type="checkbox"/> NONE						9.10.4.1.
16	OCCUPANT LOAD BASED ON		<input type="checkbox"/> SQ.M./PERSON <input checked="" type="checkbox"/> SQ.M./PERSON		<input type="checkbox"/> DESIGN OF BUILDING <input type="checkbox"/> 2 PERSONS PER SLEEPING ROOM @ 52 SLEEPING ROOMS - 104 PERSONS				9.10.1.
17	BARRIER FREE DESIGN		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		9.5.2.
18	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		9.10.1.3(4)
19	REQUIRED FIRE RESISTANCE RATING (FRR)		<input type="checkbox"/> HORIZONTAL ASSEMBLY <input checked="" type="checkbox"/> FRR (OHRS)		<input type="checkbox"/> HORIZONTAL ASSEMBLY <input checked="" type="checkbox"/> FRR (OHRS)		<input type="checkbox"/> HORIZONTAL ASSEMBLY <input checked="" type="checkbox"/> FRR (OHRS)		9.10.2.
20	FLOOR(S)		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		9.10.2.
21	ROOF		<input type="checkbox"/> 45-MIN <input checked="" type="checkbox"/> 60-MIN		<input type="checkbox"/> 45-MIN <input checked="" type="checkbox"/> 60-MIN		<input type="checkbox"/> 45-MIN <input checked="" type="checkbox"/> 60-MIN		9.10.4.
22	MEZZANINE		<input type="checkbox"/> 45-MIN <input checked="" type="checkbox"/> 60-MIN		<input type="checkbox"/> 45-MIN <input checked="" type="checkbox"/> 60-MIN		<input type="checkbox"/> 45-MIN <input checked="" type="checkbox"/> 60-MIN		9.10.2.
23	FRR OF SUPPORTING MEMBER		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		9.10.2.
24	FLOOR(S)		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		9.10.2.
25	MEZZANINE		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		<input type="checkbox"/> 1HR <input checked="" type="checkbox"/> 2HR		9.10.2.
26	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		9.10.14.
27	REFER TO CHART ON BUILDING ELEVATION								

THESE DRAWINGS ARE NOT TO BE SCALED:  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

OBC DATA MATRIX: BLOCK 5									
FIRM NAME: SRN ARCHITECTS INC. 836 JANE STREET, SUITE 202 VAUGHAN, ONTARIO L4K 5Y2, 905-411-1050 NAME OF PROJECT: BLOCK 18A AND 105-105 AVENUE RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARKANVILLE DEVELOPMENTS LIMITED									
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9					OBC REFERENCE			
(1) PART 3 - 1.1.2, (4) PART 9 - 1.1.2, (4) PART 11 - 1.1.1, 1.1.2, (4) 5.10.1.3, 5.10.1.3									
1	PROJECT DESCRIPTION:					<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> DEMOLISH <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE			
2	MAJOR OCCUPANCIES: GROUP C					9.10.2			
3	BUILDING AREA (SQ.M.) EXISTING: N/A NEW: 653.8 SQ.M. TOTAL: 653.8 SQ.M.					1.1.2, (4)			
4	FINISHING AREA ON EACH SIDE OF THE FIREWALL: 2026 SQ.M. AND 427.4 SQ.M.					1.1.2, (4)			
5	GROCES AREA (SQ.M.) EXISTING: N/A NEW: 2,026.2 SQ.M. TOTAL: 2,026.2 SQ.M.					1.1.2, (4)			
6	NUMBER OF STOREYS ABOVE GRADE: 3 BELOW GRADE: 1					1.1.2, (4) AND 9.10.4			
7	NUMBER OF STREETS/FIRE FIGHTER ACCESS: 1					9.10.26			
8	BUILDING CLASSIFICATION: GROUP C - RESIDENTIAL					9.10.2			
9	SPRINKLER SYSTEM PROVIDED:					<input type="checkbox"/> WITHIN BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> NOT REQUIRED			
						INDEX			
10	STANDPIPE REQUIRED:					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
11	FIRE ALARM REQUIRED:					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> PROVIDED			
12	WATER SUPPLY IS ADEQUATE:					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
13	HIGH BUILDING:					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
14	CONSTRUCTION RESTRICTIONS:					<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED <input type="checkbox"/> BOTH REQUIRED			
15	ACTUAL CONSTRUCTION:					<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH			
16	MEZZANINE/ AREA SQ.M.					<input type="checkbox"/> NONE <input type="checkbox"/> NONE			
17	OCCUPANT LOAD BASED ON:					<input type="checkbox"/> SLM/PERSON <input type="checkbox"/> DESIGN OF BUILDING 2 PERSONS PER SLEEPING ROOM (52 SLEEPING ROOMS = 104 PERSONS)			
18	BARRIER FREE DESIGN:					<input type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAN: AS PER OBC 9.6.2.1.2)			
19	HAZARDOUS SUBSTANCES:					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
20	REQUIRED FIRE RESISTANCE RATING (FRR):					HORIZONTAL ASSEMBLIES (FIR OUP): FLOORS: 1HR ROOF: 45 MIN. (OBC 10.8.2.1.1) FL: 1 MEZZANINE: FRR OF SUPPORTING MEMBERS FLOORS: 1HR ROOF: N/A MEZZANINE: N/A			
						LISTED DESIGN NO. OR DESCRIPTION (99-259-1) LISTED DESIGN NO. OR DESCRIPTION (95-3)			
21	SPECIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS REFER TO CHART ON BUILDING ELEVATION					9.10.14			

OBC DATA MATRIX: BLOCK 6									
FIRM NAME: SUN ARCHITECTS INC. 836 JANE STREET, SUITE 202 VILHARIM, ONTARIO L4R 5Y2 456-447-1000 NAME OF PROJECT: BLOCK 6A AND 6B - MIXED-USE RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARVAINVILLE DEVELOPMENTS LIMITED									
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9						CODE REFERENCE		
*INDICATES THE MINIMUM REQUIREMENTS *PART 9 - 1.12, (A) PART 9 - 1.12, (B) *PART 11 - 1.11 1.12, (A) TO 1.4 1.12, (B)									
1	PROJECT DESCRIPTION	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> DEMOLISH <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE							
2	MAJOR OCCUPANCIES	GROUP C							
3	BUILDING AREA (SQ.M.)	EXISTING	N/A	NEW	653.6 SQ.M.	TOTAL	653.6 SQ.M.	1.4.12, (B)	
BUILDING AREA ON EACH SIDE OF THE PERIMETER, 299.2 SQ.M. TOTAL, 598.3 SQ.M.									
4	GROSS AREA (SQ.M.)	EXISTING	N/A	NEW	5,882.3 SQ.M.	TOTAL	5,882.3 SQ.M.	1.4.12, (B)	
5	NUMBER OF STOREYS	ABOVE GRADE	3	BELOW GRADE	1			1.4.12, (B) AND 3.10.4	
6	NUMBER OF STREETS/FAIRWAY ACCESS	3						9.10.20	
7	BUILDING CLASSIFICATION	GROUP C - RESIDENTIAL						9.10.2	
8	SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> NOT REQUIRED <input type="checkbox"/> IN LIEU OF ROOF RATING						INDEX	
9	STANDPIPE REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO						9.10.16	
10	FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> PROVIDED						9.10.16	
11	WATER SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO						9.10.16	
12	HEAVY BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO						N/A	
13	CONSTRUCTION RESTRICTIONS	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> LIMITED <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH REQUIRED						9.10.6	
14	ACTUAL CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> LIMITED <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH						9.10.6	
15	MEZZANINE(S) AREA (SQ.M.)	NONE						9.10.4.1	
16	OCCUPANT LOAD BASED ON	2 PERSONS/SQ.M. OR DESIGN OF BUILDING						9.0.1.3	
17	REQUIRED FIRE RESISTANCE RATING (HRS)	1.80 HRS DESIGN OR OK DESCRIPTION (99-238-3.1)						9.10.8	
18	HAZARDOUS SUBSTANCES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO						9.10.2, (A) 9.10.2, (B)	
19	ROOF	HORIZONTAL ASSEMBLIES (FRS) (HRS)		HORIZONTAL ASSEMBLIES (FRS) (HRS)		OK DESCRIPTION (99-238-3.1)		9.10.8	
		FLOORS	1HR	FLOORS	1HR	FLOORS	1HR	3.3.4.2	
		ROOF	45 MIN.	ROOF	45 MIN.	ROOF	45 MIN.	3.3.4.2	
		MEZZANINE	N/A	MEZZANINE	N/A	MEZZANINE	N/A	3.3.4.2	
		FLOORS	1HR	FLOORS	1HR	FLOORS	1HR	3.3.4.2	
		ROOF	N/A	ROOF	N/A	ROOF	N/A	3.3.4.2	
		MEZZANINE	N/A	MEZZANINE	N/A	MEZZANINE	N/A	3.3.4.2	
19	SPECIAL SEPARATION - CONSTRUCTION OF EXISTING WALLS	REFER TO CHART ON BUILDING ELEVATION						9.10.14	

OBC DATA MATRIX: BLOCK 7									
FIRM NAME: SRN ARCHITECTS INC. 836 JANE STREET, SUITE 202 VILHARMA, ONTARIO L4R 5Y2 866-411-1619 NAME OF PROJECT: BLOCK 7A AND 7B - MIXED-USE RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MANORVILLE DEVELOPMENTS LIMITED									
ITEM	ONTARIO 2012 BUILDING CODE DATA MATRIX PART 9						CODE REFERENCE		
*INDICATES REQUIREMENTS THAT ARE NOT SPECIFIED IN THE CODE									
1	PROJECT DESCRIPTION		<input type="checkbox"/> NEW <input type="checkbox"/> DEMOLISH <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE				*PART 3 - 1.12.1(A) <b>PART 9 - 9.10.2</b> *PART 11 - 1.1.1 <b>9.10.1.3</b> TO 15.4		
2	MAJOR OCCUPANCY(S)		GROUP C				9.10.2		
3	BUILDING AREA (SQ.M.)		EXISTING	N/A	NEW	653.6 SQ.M.	TOTAL	653.6 SQ.M.	1.1.2.1(A)
BUILDING AREA ON EACH SIDE OF THE PERMANENT 2002 ZOOM AREA 474.6 SQ.M.									
4	GROSS AREA (SQ.M.)		EXISTING	N/A	NEW	2,036.3 SQ.M.	TOTAL	2,036.3 SQ.M.	1.1.2.1(A)
5	NUMBER OF STOREYS		ABOVE GRADE		3	BELOW GRADE		1	1.1.2.1(A) & 10.1.4
6	NUMBER OF STREET/FIRE FIGHTER ACCESS		2		9.10.2				
7	BUILDING CLASSIFICATION		GROUP C - RESIDENTIAL		9.10.2				
8	SPRINKLER SYSTEM PROPOSED		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> MASMEN <input type="checkbox"/> NOT REQUIRED				<input type="checkbox"/> IN LIEU OF RISK RATING <b>INDEX</b>		9.10.2
9	STANDPIPE REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO		N/A				
10	FIRE ALARM REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> PROVIDED		10.1.16				
11	WATER SUPPLY IS ADEQUATE		<input type="checkbox"/> YES <input type="checkbox"/> NO		N/A				
12	HYDRO-BUILDING		<input type="checkbox"/> YES <input type="checkbox"/> NO		N/A				
13	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH REQUIRED		9.10.6				
14	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		9.10.6				
15	MEZZANINE(S) AREA SQ.M.		NONE		10.6.4.1				
16	OCCUPANT LOAD BASED ON		<input type="checkbox"/> SQ.M./PERSON <input type="checkbox"/> DESIGN OF BUILDING		10.6.1.3				
17	BARRIER FREE DESIGN		<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> NO (EXPLAN. AS PER OBC 9.0.2.1.1.2)		9.0.2				
18	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input type="checkbox"/> NO		9.10.6.1.3(a)				
19	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLY FRR (OBC 9.10.6.1.3)		1810 DESIGN NO. OR OCCUPATION (99-258.3)		9.10.6 9.10.6 3.3.4.2 13.2.4.7		
	FLOORS		HRS		HRS				
	ROOF		45 MIN		OBC 9.10.6.1.3(1)		FL 1		
	MEZZANINE		N/A		1810 DESIGN NO. OR OCCUPATION (99-258.3)				
	FLOORS		HRS		HRS				
	ROOF		N/A		HRS				
	MEZZANINE		N/A		HRS				
19	SPATIAL SEPARATION - CONSTRUCTION OF EXISTING WALLS								
REFER TO CHART ON BUILDING ELEVATION									
9.10.14									

OBC DATA MATRIX: BLOCK 8									
FIRM NAME: SRN ARCHITECTS INC. SRN JANE STREET SUITE 202 VAUGHAN, ONTARIO L4R 5G2 456-41-0819 NAME OF PROJECT: BLOCK 15A AND 165 MIDWINTER RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARSHWOLFE DEVELOPMENTS LIMITED									
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9						OBC REFERENCE		
"FOR INFORMATION ONLY" "FOR INFORMATION ONLY"									
1	PROJECT DESCRIPTION		<input type="checkbox"/> NEW <input type="checkbox"/> ALTERATION		<input type="checkbox"/> DEMOLISH <input type="checkbox"/> CHANGE OF USE		<input type="checkbox"/> PART 3 - 1.1.2 (A) <input type="checkbox"/> PART 9 - 1.1.2 (A) & 9.10.1.2 TO 15.1		
2	MAJOR OCCUPANCY(S)		GROUP C				9.10.2		
3	BUILDING AREA (SQ.M.)		EXISTING	N/A	NEW	854.8 SQ.M.	TOTAL	854.8 SQ.M.	1.1.2 (A) 9.10.2
BUILDING AREA ON EACH SIDE OF THE PERMITS: 427.4 SQ.M. AND 427.4 SQ.M.									
4	GROSS AREA (SQ.M.)		EXISTING	N/A	NEW	3,428 SQ.M.	TOTAL	3,428 SQ.M.	1.1.2 (A) 9.10.2
5	NUMBER OF STOREYS		ABOVE GROUND		3	BELOW GROUND	1	TOTAL	1.1.2 (A) & 9.10.4
6	NUMBER OF STREETS/FIRE ROUTE ACCESS		2		9.10.26				
7	BUILDING CLASSIFICATION		GROUP C - RESIDENTIAL		9.10.2				
8	SPRINKLER SYSTEM PROPOSED		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> NOT REQUIRED		<input type="checkbox"/> IN USE OF ROOF RATING		INDEX		
9	STANDPIPE REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> NO		N/A		
10	FIRE ALARM REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> PROVIDED		9.10.18		
11	WATER SUPPLY/SUPPLY IS ADEQUATE		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> NO		N/A		
12	HIGH BUILDING		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> NO		9.10.6		
13	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> PERMITTED		<input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> REQUIRED		9.10.6		
14	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NONE		<input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		9.10.6		
14	MEZZANINE(S) AREA SQ.M.		<input type="checkbox"/> NONE				9.10.4.1		
15	OCCUPANT LOAD BASED ON		<input type="checkbox"/> SQ.M./PERSON <input type="checkbox"/> DESIGN OF BUILDING		<input type="checkbox"/> 2 PERSONS PER SLEEPING ROOM @ 9.0 SLEEPING ROOMS + 118 PERSONS		9.0.1.3		
16	BARRIER FREE DESIGN		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> NO (EXPLAIN AS PER OBC 9.2.2.1.2)		9.0.2		
17	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> NO (EXPLAIN AS PER OBC 9.10.1.3.4)		9.10.1.3.4		
18	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FRR (OCCUPANT)		<input type="checkbox"/> 1 HOUR <input type="checkbox"/> 45 MIN.		<input type="checkbox"/> 180 MIN DESIGN NO OR DESCRIPTION (B-2 OR B-3)		9.10.4		
18	MEZZANINE FRR OF SUPPORTING MEMBERS		<input type="checkbox"/> N/A		<input type="checkbox"/> LISTED DESIGN NO OR OCCUPATION (G-0)		3.3.4.2		
18	FLOORS ROOF		<input type="checkbox"/> 1 HOUR <input type="checkbox"/> MEZZANINE		<input type="checkbox"/> 180 MIN DESIGN NO OR DESCRIPTION (B-2 OR B-3)		3.3.4.2		
19	SPATIAL SEPARATION, CONSTRUCTION ON EXISTING WALLS REFER TO CHART ON BUILDING ELEVATION		<input type="checkbox"/> MEZZANINE <input type="checkbox"/> N/A				9.10.14		

NO:	DATE:	REVISION COMMENT:
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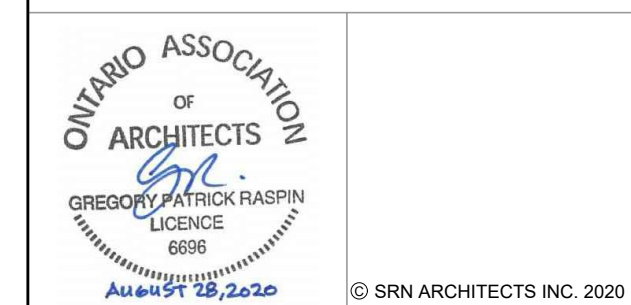
OBC DATA MATRIX: BLOCK 9									
FIRM NAME: SUN ARCHITECTS INC. 8395 JANE STREET, SUITE 202 VILHJAM, ONTARIO L4K 5Y2, 905-417-8515 NAME OF PROJECT: BLOCK 18 AND 195 - LINDENHURST RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARKANVILLE DEVELOPMENTS LIMITED									
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9					OBC REFERENCE			
(1) PART 9 - 1.1.2 (A) (2) PART 9 - 1.1.2 (A) (3) PART 9 - 1.1.1 (1) (4) PART 9 - 1.1.2 (A) (5) PART 9 - 1.1.2 (A) (6) PART 9 - 1.1.2 (A) (7) PART 9 - 1.1.2 (A) (8) PART 9 - 1.1.2 (A) (9) PART 9 - 1.1.2 (A) (10) PART 9 - 1.1.2 (A) (11) PART 9 - 1.1.2 (A) (12) PART 9 - 1.1.2 (A) (13) PART 9 - 1.1.2 (A) (14) PART 9 - 1.1.2 (A) (15) PART 9 - 1.1.2 (A) (16) PART 9 - 1.1.2 (A) (17) PART 9 - 1.1.2 (A) (18) PART 9 - 1.1.2 (A) (19) PART 9 - 1.1.2 (A) (20) PART 9 - 1.1.2 (A) (21) PART 9 - 1.1.2 (A) (22) PART 9 - 1.1.2 (A) (23) PART 9 - 1.1.2 (A) (24) PART 9 - 1.1.2 (A) (25) PART 9 - 1.1.2 (A) (26) PART 9 - 1.1.2 (A) (27) PART 9 - 1.1.2 (A) (28) PART 9 - 1.1.2 (A) (29) PART 9 - 1.1.2 (A) (30) PART 9 - 1.1.2 (A) (31) PART 9 - 1.1.2 (A) (32) PART 9 - 1.1.2 (A) (33) PART 9 - 1.1.2 (A) (34) PART 9 - 1.1.2 (A) (35) PART 9 - 1.1.2 (A) (36) PART 9 - 1.1.2 (A) (37) PART 9 - 1.1.2 (A) (38) PART 9 - 1.1.2 (A) (39) PART 9 - 1.1.2 (A) (40) PART 9 - 1.1.2 (A) (41) PART 9 - 1.1.2 (A) (42) PART 9 - 1.1.2 (A) (43) PART 9 - 1.1.2 (A) (44) PART 9 - 1.1.2 (A) (45) PART 9 - 1.1.2 (A) (46) PART 9 - 1.1.2 (A) (47) PART 9 - 1.1.2 (A) (48) PART 9 - 1.1.2 (A) (49) PART 9 - 1.1.2 (A) (50) PART 9 - 1.1.2 (A) (51) PART 9 - 1.1.2 (A) (52) PART 9 - 1.1.2 (A) (53) PART 9 - 1.1.2 (A) (54) PART 9 - 1.1.2 (A) (55) PART 9 - 1.1.2 (A) (56) PART 9 - 1.1.2 (A) (57) PART 9 - 1.1.2 (A) (58) PART 9 - 1.1.2 (A) (59) PART 9 - 1.1.2 (A) (60) PART 9 - 1.1.2 (A) (61) PART 9 - 1.1.2 (A) (62) PART 9 - 1.1.2 (A) (63) PART 9 - 1.1.2 (A) (64) PART 9 - 1.1.2 (A) (65) PART 9 - 1.1.2 (A) (66) PART 9 - 1.1.2 (A) (67) PART 9 - 1.1.2 (A) (68) PART 9 - 1.1.2 (A) (69) PART 9 - 1.1.2 (A) (70) PART 9 - 1.1.2 (A) (71) PART 9 - 1.1.2 (A) (72) PART 9 - 1.1.2 (A) (73) PART 9 - 1.1.2 (A) (74) PART 9 - 1.1.2 (A) (75) PART 9 - 1.1.2 (A) (76) PART 9 - 1.1.2 (A) (77) PART 9 - 1.1.2 (A) (78) PART 9 - 1.1.2 (A) (79) PART 9 - 1.1.2 (A) (80) PART 9 - 1.1.2 (A) (81) PART 9 - 1.1.2 (A) (82) PART 9 - 1.1.2 (A) (83) PART 9 - 1.1.2 (A) (84) PART 9 - 1.1.2 (A) (85) PART 9 - 1.1.2 (A) (86) PART 9 - 1.1.2 (A) (87) PART 9 - 1.1.2 (A) (88) PART 9 - 1.1.2 (A) (89) PART 9 - 1.1.2 (A) (90) PART 9 - 1.1.2 (A) (91) PART 9 - 1.1.2 (A) (92) PART 9 - 1.1.2 (A) (93) PART 9 - 1.1.2 (A) (94) PART 9 - 1.1.2 (A) (95) PART 9 - 1.1.2 (A) (96) PART 9 - 1.1.2 (A) (97) PART 9 - 1.1.2 (A) (98) PART 9 - 1.1.2 (A) (99) PART 9 - 1.1.2 (A) (100) PART 9 - 1.1.2 (A) (101) PART 9 - 1.1.2 (A) (102) PART 9 - 1.1.2 (A) (103) PART 9 - 1.1.2 (A) (104) PART 9 - 1.1.2 (A) (105) PART 9 - 1.1.2 (A) (106) PART 9 - 1.1.2 (A) (107) PART 9 - 1.1.2 (A) (108) PART 9 - 1.1.2 (A) (109) PART 9 - 1.1.2 (A) (110) PART 9 - 1.1.2 (A) (111) PART 9 - 1.1.2 (A) (112) PART 9 - 1.1.2 (A) (113) PART 9 - 1.1.2 (A) (114) PART 9 - 1.1.2 (A) (115) PART 9 - 1.1.2 (A) (116) PART 9 - 1.1.2 (A) (117) PART 9 - 1.1.2 (A) (118) PART 9 - 1.1.2 (A) (119) PART 9 - 1.1.2 (A) (120) PART 9 - 1.1.2 (A) (121) PART 9 - 1.1.2 (A) (122) PART 9 - 1.1.2 (A) (123) PART 9 - 1.1.2 (A) (124) PART 9 - 1.1.2 (A) (125) PART 9 - 1.1.2 (A) (126) PART 9 - 1.1.2 (A) (127) PART 9 - 1.1.2 (A) (128) PART 9 - 1.1.2 (A) (129) PART 9 - 1.1.2 (A) (130) PART 9 - 1.1.2 (A) (131) PART 9 - 1.1.2 (A) (132) PART 9 - 1.1.2 (A) (133) PART 9 - 1.1.2 (A) (134) PART 9 - 1.1.2 (A) (135) PART 9 - 1.1.2 (A) (136) PART 9 - 1.1.2 (A) (137) PART 9 - 1.1.2 (A) (138) PART 9 - 1.1.2 (A) (139) PART 9 - 1.1.2 (A) (140) PART 9 - 1.1.2 (A) (141) PART 9 - 1.1.2 (A) (142) PART 9 - 1.1.2 (A) (143) PART 9 - 1.1.2 (A) (144) PART 9 - 1.1.2 (A) (145) PART 9 - 1.1.2 (A) (146) PART 9 - 1.1.2 (A) (147) PART 9 - 1.1.2 (A) (148) PART 9 - 1.1.2 (A) (149) PART 9 - 1.1.2 (A) (150) PART 9 - 1.1.2 (A) (151) PART 9 - 1.1.2 (A) (152) PART 9 - 1.1.2 (A) (153) PART 9 - 1.1.2 (A) (154) PART 9 - 1.1.2 (A) (155) PART 9 - 1.1.2 (A) (156) PART 9 - 1.1.2 (A) (157) PART 9 - 1.1.2 (A) (158) PART 9 - 1.1.2 (A) (159) PART 9 - 1.1.2 (A) (160) PART 9 - 1.1.2 (A) (161) PART 9 - 1.1.2 (A) (162) PART 9 - 1.1.2 (A) (163) PART 9 - 1.1.2 (A) (164) PART 9 - 1.1.2 (A) (165) PART 9 - 1.1.2 (A) (166) PART 9 - 1.1.2 (A) (167) PART 9 - 1.1.2 (A) (168) PART 9 - 1.1.2 (A) (169) PART 9 - 1.1.2 (A) (170) PART 9 - 1.1.2 (A) (171) PART 9 - 1.1.2 (A) (172) PART 9 - 1.1.2 (A) (173) PART 9 - 1.1.2 (A) (174) PART 9 - 1.1.2 (A) (175) PART 9 - 1.1.2 (A) (176) PART 9 - 1.1.2 (A) (177) PART 9 - 1.1.2 (A) (178) PART 9 - 1.1.2 (A) (179) PART 9 - 1.1.2 (A) (180) PART 9 - 1.1.2 (A) (181) PART 9 - 1.1.2 (A) (182) PART 9 - 1.1.2 (A) (183) PART 9 - 1.1.2 (A) (184) PART 9 - 1.1.2 (A) (185) PART 9 - 1.1.2 (A) (186) PART 9 - 1.1.2 (A) (187) PART 9 - 1.1.2 (A) (188) PART 9 - 1.1.2 (A) (189) PART 9 - 1.1.2 (A) (190) PART 9 - 1.1.2 (A) (191) PART 9 - 1.1.2 (A) (192) PART 9 - 1.1.2 (A) (193) PART 9 - 1.1.2 (A) (194) PART 9 - 1.1.2 (A) (195) PART 9 - 1.1.2 (A) (196) PART 9 - 1.1.2 (A) (197) PART 9 - 1.1.2 (A) (198) PART 9 - 1.1.2 (A) (199) PART 9 - 1.1.2 (A) (200) PART 9 - 1.1.2 (A) (201) PART 9 - 1.1.2 (A) (202) PART 9 - 1.1.2 (A) (203) PART 9 - 1.1.2 (A) (204) PART 9 - 1.1.2 (A) (205) PART 9 - 1.1.2 (A) (206) PART 9 - 1.1.2 (A) (207) PART 9 - 1.1.2 (A) (208) PART 9 - 1.1.2 (A) (209) PART 9 - 1.1.2 (A) (210) PART 9 - 1.1.2 (A) (211) PART 9 - 1.1.2 (A) (212) PART 9 - 1.1.2 (A) (213) PART 9 - 1.1.2 (A) (214) PART 9 - 1.1.2 (A) (215) PART 9 - 1.1.2 (A) (216) PART 9 - 1.1.2 (A) (217) PART 9 - 1.1.2 (A) (218) PART 9 - 1.1.2 (A) (219) PART 9 - 1.1.2 (A) (220) PART 9 - 1.1.2 (A									

OBC DATA MATRIX: BLOCK 10									
FIRM NAME: SRN ARCHITECTS INC. 838 JANE STREET SUITE 202 VILHAR, ONTARIO L4K 5Y2 905-417-5555 NAME OF PROJECT: BLOCK 10A AND 10S, INDE-USE RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARVINEVILLE DEVELOPMENTS LIMITED									
ITEM	ONTARIO 2022 BUILDING CODE DATA MATRIX PART 9					OBC REFERENCE			
					2022 BUILDING CODE PART 9 9.0.1.2. [A] 9.0.1.2. [B] 9.0.1.2. [C] 9.0.1.2. [D] 9.0.1.2. [E] 9.0.1.2. [F] 9.0.1.2. [G] 9.0.1.2. [H] 9.0.1.2. [I] 9.0.1.2. [J] 9.0.1.2. [K] 9.0.1.2. [L] 9.0.1.2. [M] 9.0.1.2. [N] 9.0.1.2. [O] 9.0.1.2. [P] 9.0.1.2. [Q] 9.0.1.2. [R] 9.0.1.2. [S] 9.0.1.2. [T] 9.0.1.2. [U] 9.0.1.2. [V] 9.0.1.2. [W] 9.0.1.2. [X] 9.0.1.2. [Y] 9.0.1.2. [Z] 9.0.1.2. [AA] 9.0.1.2. [AB] 9.0.1.2. [AC] 9.0.1.2. [AD] 9.0.1.2. [AE] 9.0.1.2. [AF] 9.0.1.2. [AG] 9.0.1.2. [AH] 9.0.1.2. [AI] 9.0.1.2. [AJ] 9.0.1.2. [AK] 9.0.1.2. [AL] 9.0.1.2. [AM] 9.0.1.2. [AN] 9.0.1.2. [AO] 9.0.1.2. [AP] 9.0.1.2. [AQ] 9.0.1.2. [AR] 9.0.1.2. [AS] 9.0.1.2. [AT] 9.0.1.2. [AU] 9.0.1.2. [AV] 9.0.1.2. [AW] 9.0.1.2. [AX] 9.0.1.2. [AY] 9.0.1.2. [AZ] 9.0.1.2. [BA] 9.0.1.2. [BB] 9.0.1.2. [BC] 9.0.1.2. [BD] 9.0.1.2. [BE] 9.0.1.2. [BF] 9.0.1.2. [BG] 9.0.1.2. [BH] 9.0.1.2. [BI] 9.0.1.2. [BJ] 9.0.1.2. [BK] 9.0.1.2. [BL] 9.0.1.2. [BM] 9.0.1.2. [BN] 9.0.1.2. [BO] 9.0.1.2. [BP] 9.0.1.2. [BQ] 9.0.1.2. [BR] 9.0.1.2. [BS] 9.0.1.2. [BT] 9.0.1.2. [BU] 9.0.1.2. [BV] 9.0.1.2. [BW] 9.0.1.2. [BX] 9.0.1.2. [BY] 9.0.1.2. [BZ] 9.0.1.2. [CA] 9.0.1.2. [CB] 9.0.1.2. [CC] 9.0.1.2. [CD] 9.0.1.2. [CE] 9.0.1.2. [CF] 9.0.1.2. [CG] 9.0.1.2. [CH] 9.0.1.2. [CI] 9.0.1.2. [CJ] 9.0.1.2. [CK] 9.0.1.2. [CL] 9.0.1.2. [CM] 9.0.1.2. [CN] 9.0.1.2. [CO] 9.0.1.2. [CP] 9.0.1.2. [CQ] 9.0.1.2. [CR] 9.0.1.2. [CS] 9.0.1.2. [CT] 9.0.1.2. [CU] 9.0.1.2. [CV] 9.0.1.2. [CW] 9.0.1.2. [CX] 9.0.1.2. [CY] 9.0.1.2. [CZ] 9.0.1.2. [DA] 9.0.1.2. [DB] 9.0.1.2. [DC] 9.0.1.2. [DD] 9.0.1.2. [DE] 9.0.1.2. [DF] 9.0.1.2. [DG] 9.0.1.2. [DH] 9.0.1.2. [DI] 9.0.1.2. [DJ] 9.0.1.2. [DK] 9.0.1.2. [DL] 9.0.1.2. [DM] 9.0.1.2. [DN] 9.0.1.2. [DO] 9.0.1.2. [DP] 9.0.1.2. [DQ] 9.0.1.2. [DR] 9.0.1.2. [DS] 9.0.1.2. [DT] 9.0.1.2. [DU] 9.0.1.2. [DV] 9.0.1.2. [DW] 9.0.1.2. [DX] 9.0.1.2. [DY] 9.0.1.2. [DZ] 9.0.1.2. [EA] 9.0.1.2. [EB] 9.0.1.2. [EC] 9.0.1.2. [ED] 9.0.1.2. [EE] 9.0.1.2. [EF] 9.0.1.2. [EG] 9.0.1.2. [EH] 9.0.1.2. [EI] 9.0.1.2. [EJ] 9.0.1.2. [EK] 9.0.1.2. [EL] 9.0.1.2. [EM] 9.0.1.2. [EN] 9.0.1.2. [EO] 9.0.1.2. [EP] 9.0.1.2. [EQ] 9.0.1.2. [ER] 9.0.1.2. [ES] 9.0.1.2. [ET] 9.0.1.2. [EU] 9.0.1.2. [EV] 9.0.1.2. [EW] 9.0.1.2. [EX] 9.0.1.2. [EY] 9.0.1.2. [EZ] 9.0.1.2. [FA] 9.0.1.2. [FB] 9.0.1.2. [FC] 9.0.1.2. [FD] 9.0.1.2. [FE] 9.0.1.2. [FF] 9.0.1.2. [FG] 9.0.1.2. [FH] 9.0.1.2. [FI] 9.0.1.2. [FJ] 9.0.1.2. [FK] 9.0.1.2. [FL] 9.0.1.2. [FM] 9.0.1.2. [FN] 9.0.1.2. [FO] 9.0.1.2. [FP] 9.0.1.2. [FQ] 9.0.1.2. [FR] 9.0.1.2. [FS] 9.0.1.2. [FT] 9.0.1.2. [FU] 9.0.1.2. [FV] 9.0.1.2. [FW] 9.0.1.2. [FX] 9.0.1.2. [FY] 9.0.1.2. [FZ] 9.0.1.2. [GA] 9.0.1.2. [GB] 9.0.1.2. [GC] 9.0.1.2. [GD] 9.0.1.2. [GE] 9.0.1.2. [GF] 9.0.1.2. [GG] 9.0.1.2. [GH] 9.0.1.2. [GI] 9.0.1.2. [GJ] 9.0.1.2. [GK] 9.0.1.2. [GL] 9.0.1.2. [GM] 9.0.1.2. [GN] 9.0.1.2. [GO] 9.0.1.2. [GP] 9.0.1.2. [GQ] 9.0.1.2. [GR] 9.0.1.2. [GS] 9.0.1.2. [GT] 9.0.1.2. [GU] 9.0.1.2. [GV] 9.0.1.2. [GW] 9.0.1.2. [GX] 9.0.1.2. [GY] 9.0.1.2. [GZ] 9.0.1.2. [HA] 9.0.1.2. [HB] 9.0.1.2. [HC] 9.0.1.2. [HD] 9.0.1.2. [HE] 9.0.1.2. [HF] 9.0.1.2. [HG] 9.0.1.2. [HH] 9.0.1.2. [HI] 9.0.1.2. [HJ] 9.0.1.2. [HK] 9.0.1.2. [HL] 9.0.1.2. [HM] 9.0.1.2. [HN] 9.0.1.2. [HO] 9.0.1.2. [HP] 9.0.1.2. [HQ] 9.0.1.2. [HR] 9.0.1.2. [HS] 9.0.1.2. [HT] 9.0.1.2. [HU] 9.0.1.2. [HV] 9.0.1.2. [HW] 9.0.1.2. [HX] 9.0.1.2. [HY] 9.0.1.2. [HZ] 9.0.1.2. [IA] 9.0.1.2. [IB] 9.0.1.2. [IC] 9.0.1.2. [ID] 9.0.1.2. [IE] 9.0.1.2. [IF] 9.0.1.2. [IG] 9.0.1.2. [IH] 9.0.1.2. [II] 9.0.1.2. [IJ] 9.0.1.2. [IK] 9.0.1.2. [IL] 9.0.1.2. [IM] 9.0.1.2. [IN] 9.0.1.2. [IO] 9.0.1.2. [IP] 9.0.1.2. [IQ] 9.0.1.2. [IR] 9.0.1.2. [IS] 9.0.1.2. [IT] 9.0.1.2. [IU] 9.0.1.2. [IV] 9.0.1.2. [IW] 9.0.1.2. [IX] 9.0.1.2. [IY] 9.0.1.2. [IZ] 9.0.1.2. [JA] 9.0.1.2. [JB] 9.0.1.2. [JC] 9.0.1.2. [JD] 9.0.1.2. [JE] 9.0.1.2. [JF] 9.0.1.2. [JG] 9.0.1.2. [JH] 9.0.1.2. [JI] 9.0.1.2. [JJ] 9.0.1.2. [JK] 9.0.1.2. [JL] 9.0.1.2. [JM] 9.0.1.2. [JN] 9.0.1.2. [JO] 9.0.1.2. [JP] 9.0.1.2. [JQ] 9.0.1.2. [JR] 9.0.1.2. [JS] 9.0.1.2. [JT] 9.0.1.2. [JU] 9.0.1.2. [JV] 9.0.1.2. [JW] 9.0.1.2. [JX] 9.0.1.2. [JY] 9.0.1.2. [JZ] 9.0.1.2. [KA] 9.0.1.2. [KB] 9.0.1.2. [KC] 9.0.1.2. [KD] 9.0.1.2. [KE] 9.0.1.2. [KF] 9.0.1.2. [KG] 9.0.1.2. [KH] 9.0.1.2. [KI] 9.0.1.2. [KJ] 9.0.1.2. [KK] 9.0.1.2. [KL] 9.0.1.2. [KM] 9.0.1.2. [KN] 9.0.1.2. [KO] 9.0.1.2. [KP] 9.0.1.2. [KQ] 9.0.1.2. [KR] 9.0.1.2. [KS] 9.0.1.2. [KT] 9.0.1.2. [KU] 9.0.1.2. [KV] 9.0.1.2. [KW] 9.0.1.2. [KX] 9.0.1.2. [KY] 9.0.1.2. [KZ] 9.0.1.2. [LA] 9.0.1.2. [LB] 9.0.1.2. [LC] 9.0.1.2. [LD] 9.0.1.				

OBC DATA MATRIX: BLOCK 11									
FIRM NAME: SRN ARCHITECTS INC. 835 JANE STREET, SUITE 202, VAUGHAN, ONTARIO L4K 9Y2, 905-411-5515 NAME OF PROJECT: BLOCK 10A AND 105: WILVED-ADJESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: FARMAN/INVESTMENT DEVELOPMENTS LIMITED									
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9					OBC REFERENCE 7-10-2012 7-10-2012 7-10-2012			
1	PROJECT DESCRIPTION:		<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ALTERATION <input type="checkbox"/> DEMOLISH <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE						
2	MAJOR OCCUPANCY(S) GROUP C		<input type="checkbox"/> PART 3 - 1.1.2, (A) <input type="checkbox"/> PART 9 - 1.1.2, (A) <input type="checkbox"/> PART 1 - 1.1.1 <input type="checkbox"/> TO 15.1, (A)						
3	BUILDING AREA (SQ.M.) EXISTING		NEW		755.7 SQ.M.		TOTAL 755.7 SQ.M.		
4	BUILDING AREA ON EACH SIDE OF THE PREWALL		202.2 SQ.M.		AND 209.6 SQ.M.		1.1.2, (A)		
5	GROSS AREA (SQ.M.) EXISTING		NEW		3,043.36 SQ.M.		1.1.2, (A)		
6	NUMBER OF STOREYS ABOVE GRADE		3		BELOW GRADE		1		1.1.2, (A) AND 10.1.4
7	NUMBER OF STREET/FIRE HOSE ACCESS 1		10.1.20						
8	BUILDING CLASSIFICATION GROUP C - RESIDENTIAL		10.1.2						
9	SPRINKLER SYSTEM PROPOSED		<input type="checkbox"/> EXISTING BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED						
10	STANDPIPE REQUIRED		<input type="checkbox"/> YES		<input checked="" type="checkbox"/> NO		N/A		
11	FIRE ALARM REQUIRED		<input type="checkbox"/> YES		<input type="checkbox"/> NO		<input type="checkbox"/> PROVIDED		10.1.18
12	WATER SUPPLY IS ADEQUATE		<input type="checkbox"/> YES		<input type="checkbox"/> NO		N/A		
13	NON-BUILDING		<input type="checkbox"/> YES		<input type="checkbox"/> NO		N/A		
14	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE PERMITTED		<input type="checkbox"/> NON-COMBUSTIBLE REQUIRED		<input type="checkbox"/> BOTH		9.10.6
15	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE PERMITTED		<input type="checkbox"/> NON-COMBUSTIBLE REQUIRED		<input type="checkbox"/> BOTH		9.10.6
16	MEZZANINE AREA SQ.M.		<input type="checkbox"/> NONE		10.1.4.1				
17	OCCUPANT LOAD BASED ON		<input type="checkbox"/> NO PERSON PER SQ.M.		<input checked="" type="checkbox"/> DESIGN OF BUILDING		9.0.1.3		
18	BARRIER FREE DESIGN		<input type="checkbox"/> YES		<input type="checkbox"/> NO (O.P.N.A.)		AS PER OBC 2.1.2.1.2		9.5.2
19	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES		<input checked="" type="checkbox"/> NO		9.5.0.3, (A)		
20	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)		<input type="checkbox"/> LESS THAN DESCRIPTION (OBC 2.1.2.1.2) <input type="checkbox"/> 1.5 HRS. (OBC 2.1.2.1.2)				
21	FLOORS		HRR		FL2		3.3.4.2		
22	MEZZANINE		HRR		OBC 2.1.2.1.2		PL1		3.3.4.2
23	FRR OF SUPPORTING MEMBERS		HRR		<input type="checkbox"/> LESS THAN DESCRIPTION (O.P.N.) <input type="checkbox"/> DESCRIPTION (O.P.N.)				
24	FLOORS		HRR		10.1.16				
25	MEZZANINE		HRR		10.1.16				
26	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		10.1.16						
27	REFER TO CHART ON BUILDING ELEVATION		10.1.16						

OBC DATA MATRIX: BLOCK 12									
FIRM NAME: SRN ARCHITECTS INC. 8350 JANE STREET, SUITE 302 VAUGHAN, ONTARIO L4R 5Y2, 904-41-0519									
NAME OF PROJECT: BLOCK 10A AND 10S - MIXED-USE RESIDENTIAL DAVIS DRIVE, NEWMARKET, ONTARIO OWNER: MARSHALLWOOD DEVELOPMENTS LIMITED									
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PART 9						OBC REFERENCE		
1. OBC REFERENCE IS THE 2012 OBC, PART 9, TABLE 9.1.1.1. (1) AND (2). 2. OBC REFERENCE IS THE 2012 OBC, PART 9, TABLE 9.1.1.1. (1) AND (2). 3. OBC REFERENCE IS THE 2012 OBC, PART 9, TABLE 9.1.1.1. (1) AND (2).									
1	PROJECT DESCRIPTION:		<input type="checkbox"/> NEW <input type="checkbox"/> ALTERATION <input type="checkbox"/> DEMOLISH <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE						
2	MAJOR OCCUPANCY(IES)		GROUP C		<input type="checkbox"/> PART 3 - 1.1.2, (4) <input type="checkbox"/> PART 9 - PART 11 - 1.1.1 TO 11.5				
3	BUILDING AREA (SQ.M.)		EXISTING	N/A	NEW	653.6 SQ.M.	TOTAL	653.6 SQ.M.	9.10.2, 1.1.2, (4)
4	BUILDING AREA ON EACH SIDE OF THE PERIMETER		2002 SQ.M. AND 457.4 SQ.M.						
5	GROSS AREA (SQ.M.)		EXISTING	N/A	NEW	2,936.3 SQ.M.	TOTAL	2,936.3 SQ.M.	1.1.2, (4)
6	NUMBER OF STOREYS		ABOVE GRADE	3	BELOW GRADE	1	TOTAL	4.1.2, (4) & 9.10.4	
7	NUMBER OF STREETS/PIKE/POWHER ACCESS		3						
8	BUILDING CLASSIFICATION		GROUP C - RESIDENTIAL		9.10.2.				
9	SPRINKLER SYSTEM PROPOSED		<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> NONE <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED						
10	STANDPIPE REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO		3.2.2.7, 9.10.3.				
11	FIRE ALARM REQUIRED		<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> PROVIDED		9.10.16.				
12	WATER SERVICE/SUPPLY IS ADEQUATE		<input type="checkbox"/> YES <input type="checkbox"/> NO						
13	HIGH BUILDING		<input type="checkbox"/> YES <input type="checkbox"/> NO		N/A				
14	CONSTRUCTION RESTRICTIONS		<input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH REQUIRED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH						
15	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH						
16	MEZZANINE(S) AREA SQ.M.		<input type="checkbox"/> NONE						
17	OCCUPANT LOAD BASED ON		<input type="checkbox"/> SQ.M./PERSON <input type="checkbox"/> DESIGN OF BUILDING 2 PERSONS PER SEATING ROOM @ 52 SLEEPING ROOMS = 104 PERSONS						
18	BARRIER FREE DESIGN		<input type="checkbox"/> YES <input type="checkbox"/> NO		AS PER OBC 9.2.2.1, (2)				
19	HAZARDOUS SUBSTANCES		<input type="checkbox"/> YES <input type="checkbox"/> NO		9.10.6, 9.10.3, (4)				
20	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FIRE DOORS						
21	FLOORS		HRR		45 MIN. OBC 9.10.6.7, (1) 3.1				
22	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
23	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
24	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
25	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
26	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
27	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
28	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
29	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
30	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
31	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
32	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
33	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
34	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
35	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
36	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
37	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
38	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
39	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
40	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
41	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
42	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
43	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
44	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
45	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
46	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
47	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
48	FLOORS		HRR		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)				
49	ROOF		N/A		1.1.2, 3.3.4, 3.2.2.7.				
50	MEZZANINE		N/A		1.1.2, 3.3.4, 3.2.2.7.				
51	FIR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (9.10.6)						
52									

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
**MIXED-USE RESIDENTIAL**  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

RESIDENTIAL OBC  
DATA MATRIX

DATE: 26/09/19	SCALE:
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DRAWN BY: N.W.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:

S17066	A103
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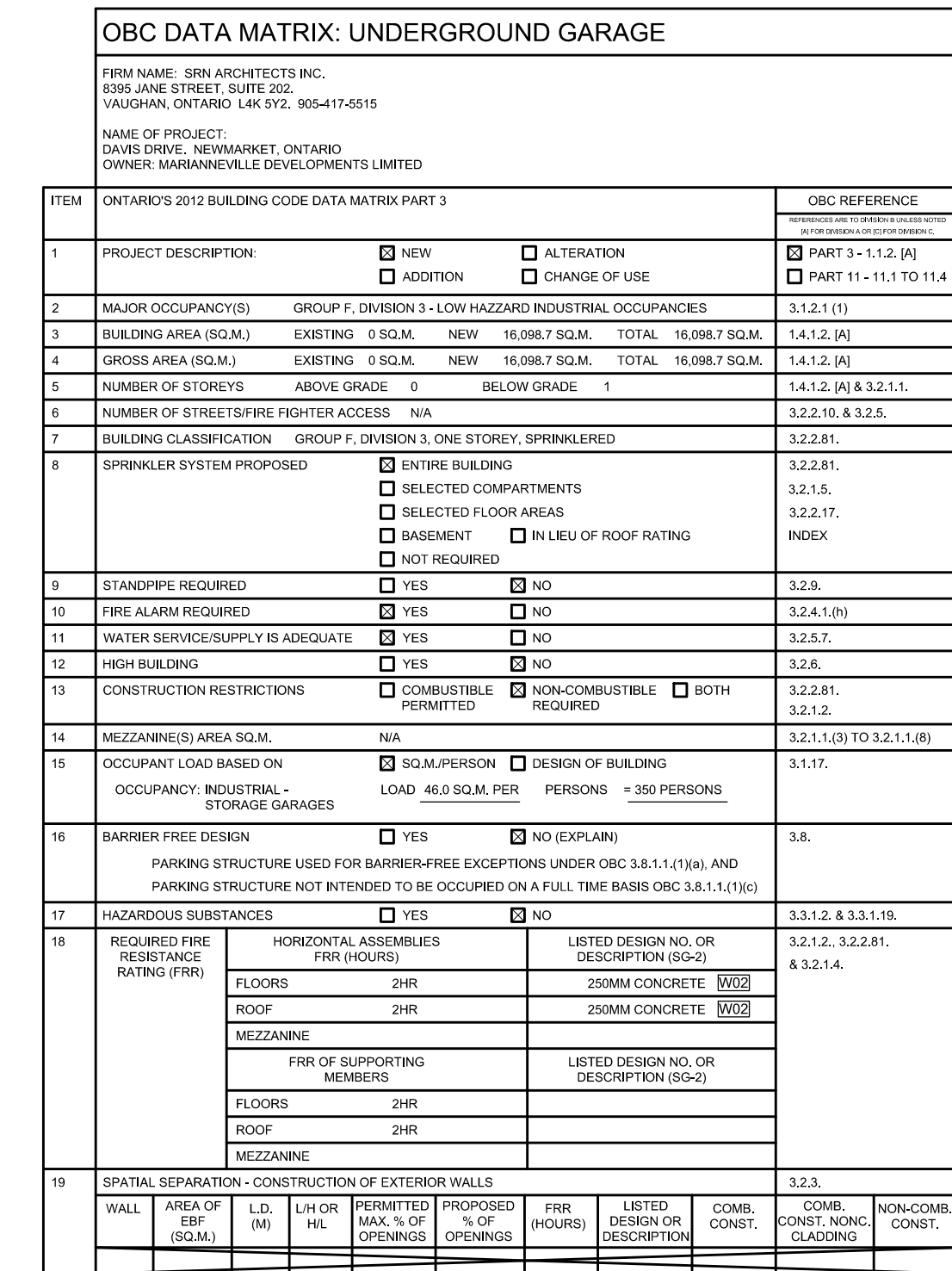


NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

[illegible]

CLIENT: MARIANNEVILLE  
DEVELOPMENTS LIMITED  
26 LESMILL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT: MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON



PARKING STATISTICS:				
LIVE/WORK UNITS (12)	REQUIRED PARKING	PROVIDED PARKING		
		SEMI LEVEL	105	TOTAL
RESIDENTIAL (2,20UNIT)	24	-	18	6
COMMERCIAL	12 + 3 = 15	-	-	24
10 UNITS @ 40 SQ.M. + 78.4 SQ.M. @ 100 SQ.M				
STACKED UNITS (24)				
RESIDENTIAL (1,42UNIT)	415	-	422	422
VISITORS (0,25UNIT)	74	23	46	57
TOTAL	531 SPACES	64	474	538
BARRIER FREE SPACE				
TYPE A	6	2	4	6
TYPE B	7	2	6	6
LOCKERS PROVIDED		168 LOCKERS UNDERGROUND		







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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT: MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

TYPICAL MIXED-USE  
FLOOR PLANS (CORNER UNIT)

DATE: 21/01/19

CALE:

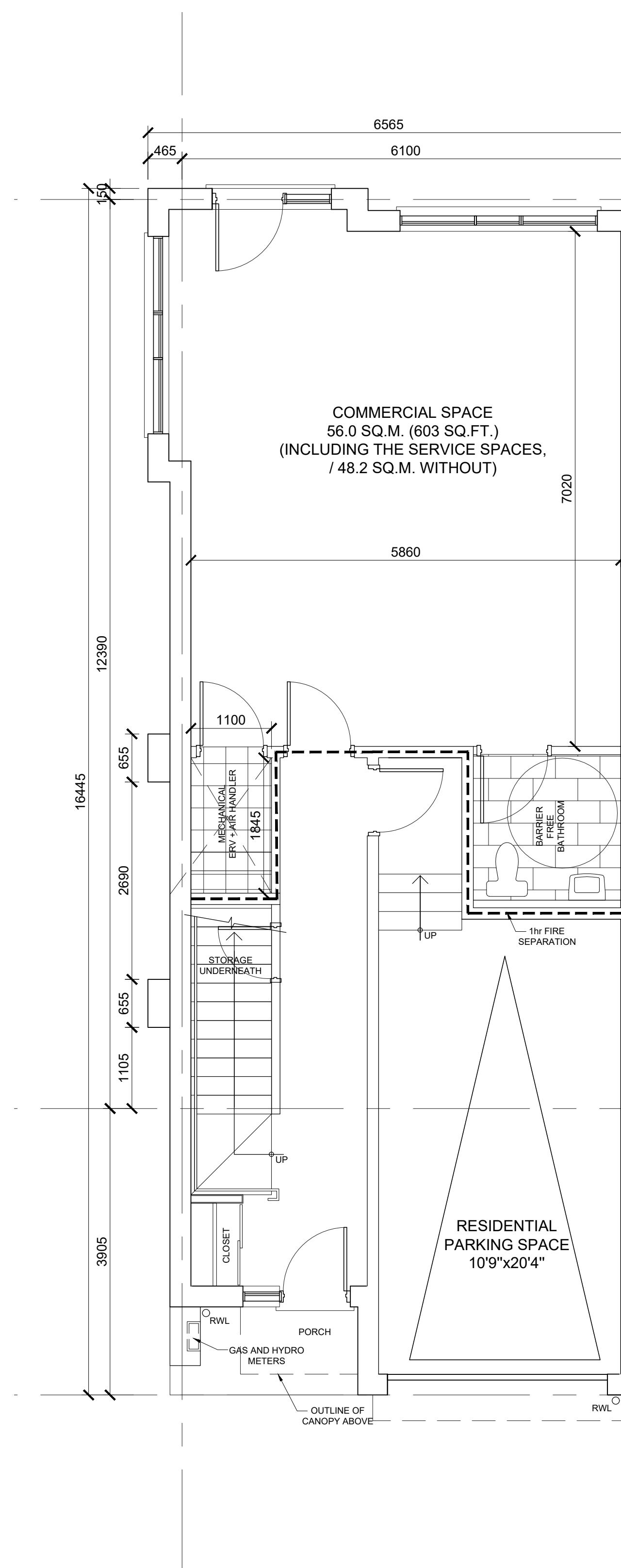
DRAWN BY: N.W.

CHECKED BY: G.P.R.

PROJECT NUMBER:

RAWING NUMBER:

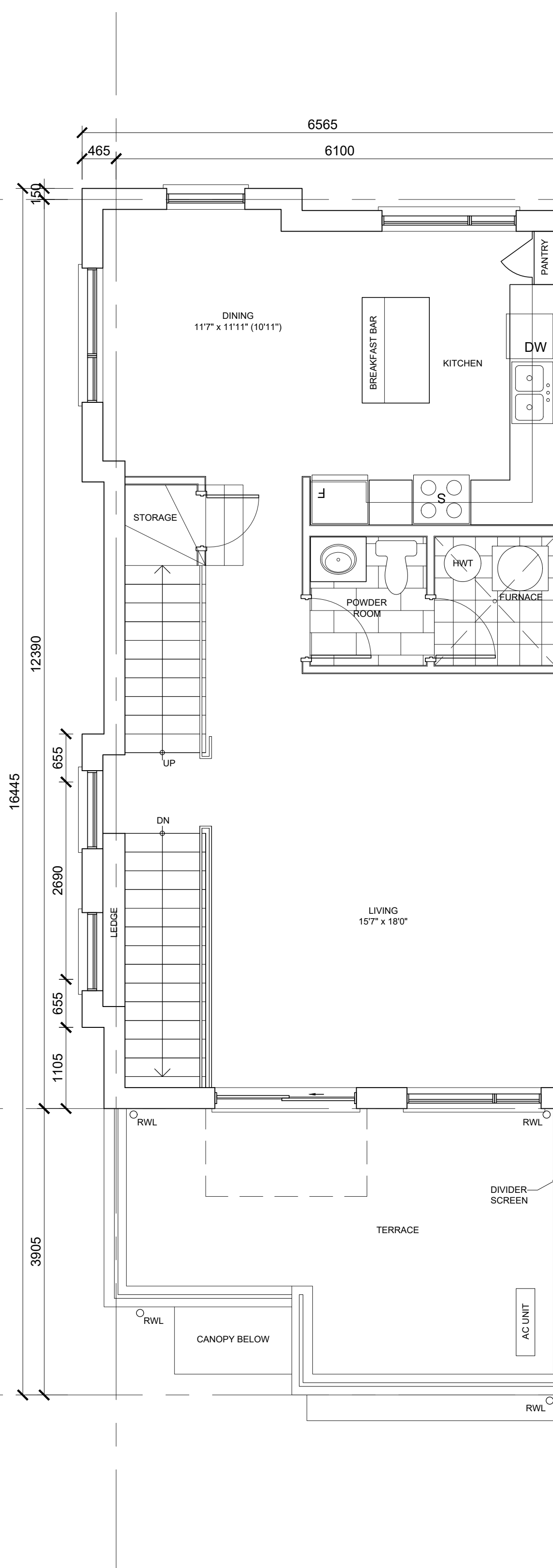
S17066 | A301



## GROUND FLOOR

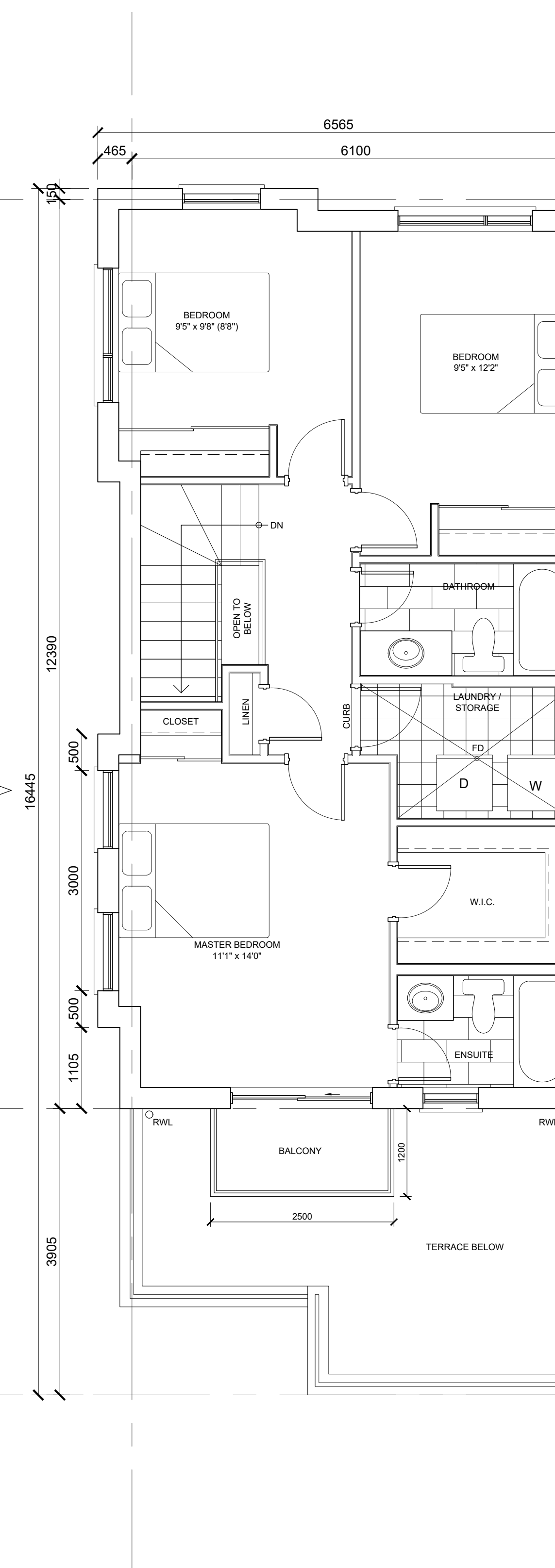
78.8 SQ.M. (848 SQ.FT)  
(N.I.C. GARAGE)

MIXED-USE UNIT (CORNER)  
238.6 SQ.M.  
(2568 SQ.FT.)



## 2ND FLOOR

79.9 SQ.M. (860 SQ.FT.)



3RD FLOOR

79.9 SQ.M. (860 SQ.FT.)



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	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	08/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

[illegible]



# ARCHITECTS

8395 JANE STREET, SUITE 202  
 VAUGHAN, ONTARIO, L4K 5Y2  
 PHONE: 905.417.5515 FAX: 905.417.5517

ONTARIO ASSOCIATION  
 of  
 ARCHITECTS



GREGORY PATRICK RAPSPIN  
 LICENCEE  
 6896  
 Aug 21st 12, 2010



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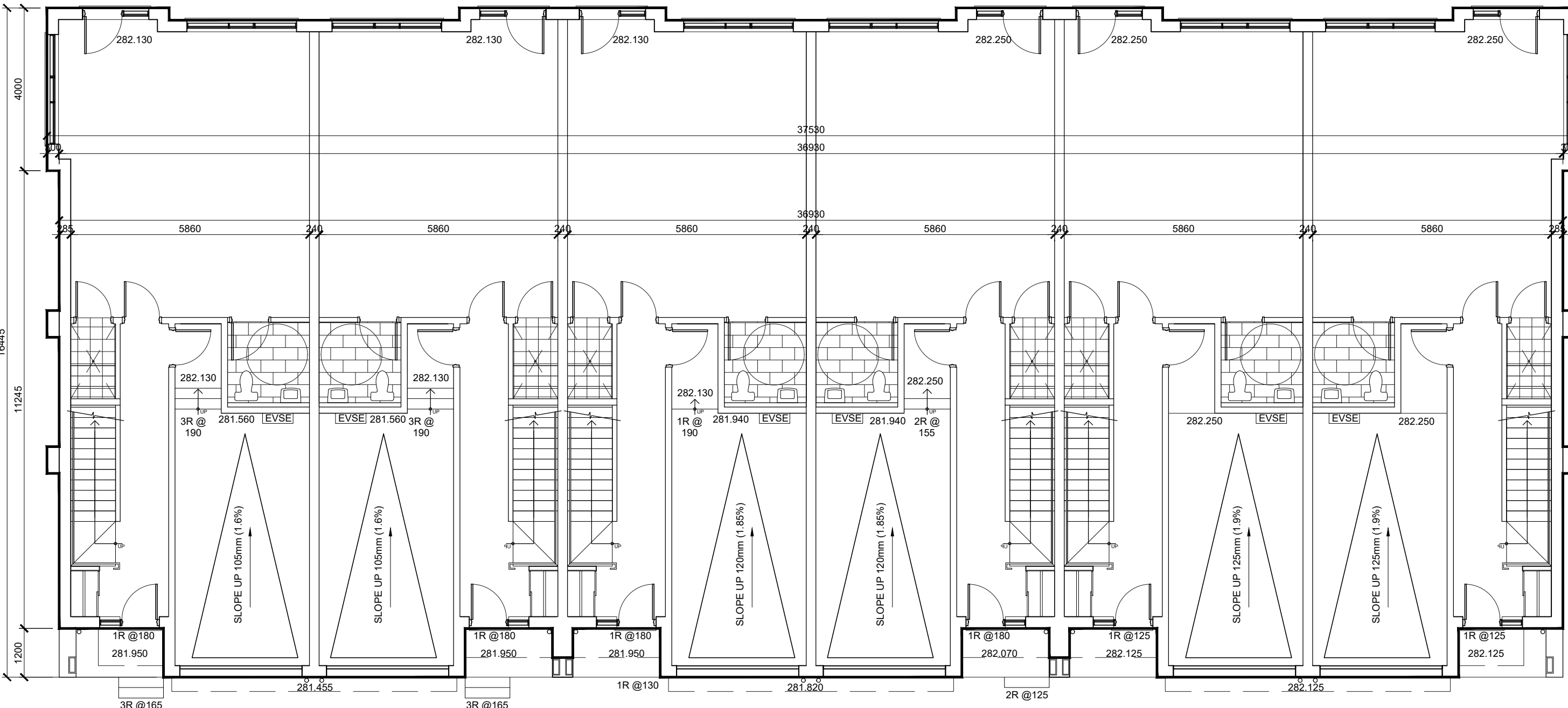
CLIENT: **MARIANNEVILLE DEVELOPMENTS LIMITED**  
 26 LESMIL ROAD, UNIT 3  
 TORONTO, ONTARIO, M3B 2T5  
 (P) 416.733.3128 (F) 416.733.3129

PROJECT: **MIXED-USE RESIDENTIAL**  
 BLOCK 164 / 165  
 GLENWAY - NEWMARKET, ON

DRAWING TITLE: **BLOCK 1 - FLOOR PLANS**

DATE: 21/01/19	SCALE:
DRAWN BY: N.W.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:

S17066
A302



1  
A302

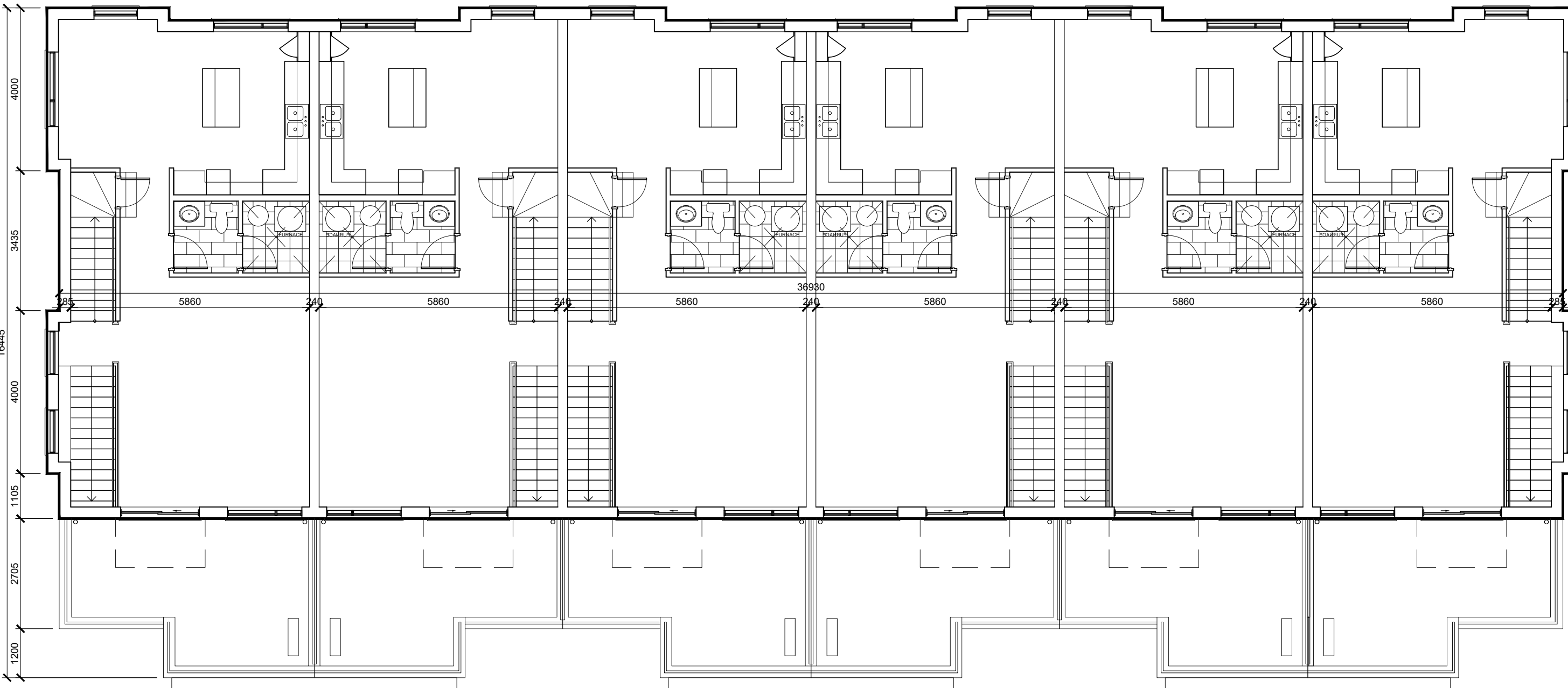
**BLOCK 1 - GROUND FLOOR**

SCALE: 1:100

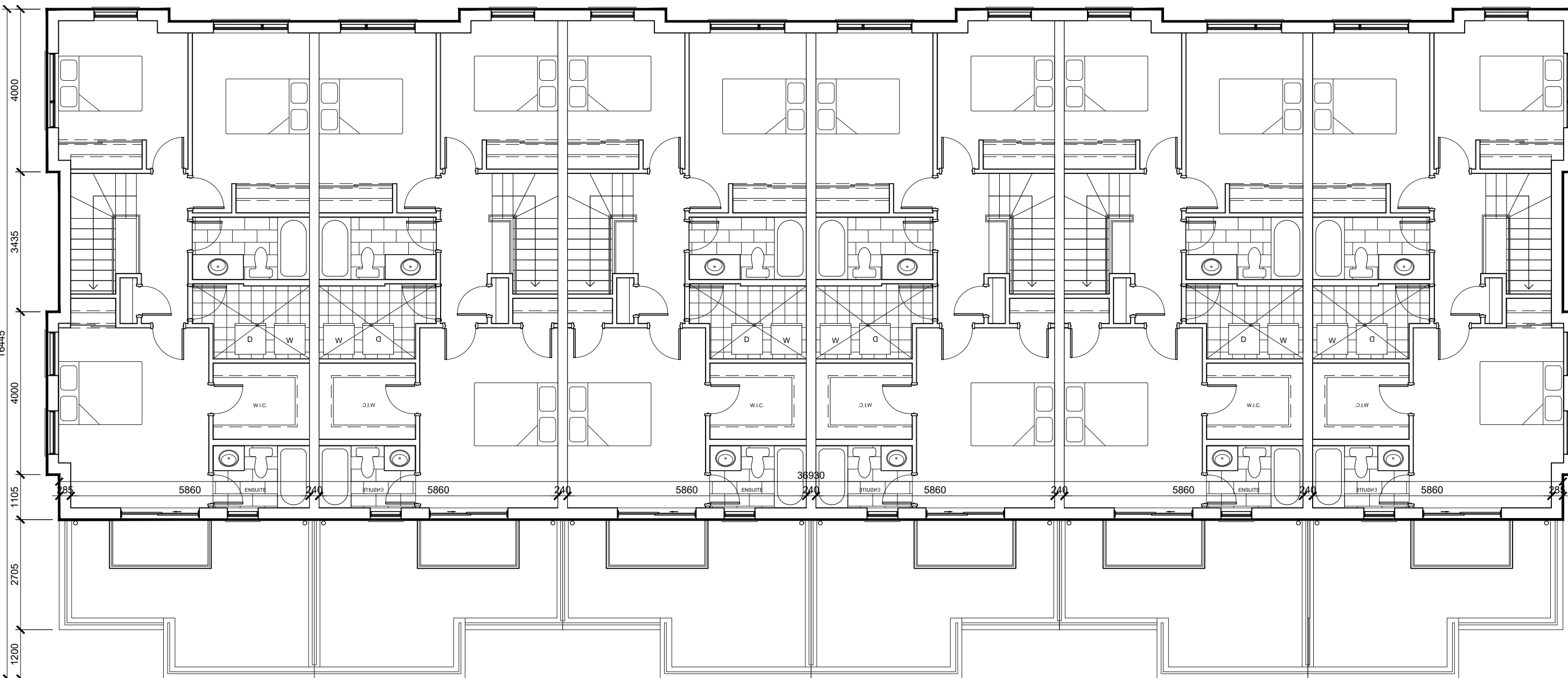
587.2 SQ.M. (6,321 SQ.FT.)

AS PER THE ZONING BY LAW  
DEFINITION (GARAGE NOT INCLUDED)

437.05 SQ.M. (4,704 SQ.FT.)



2 BLOCK 1 - SECOND FLOOR  
A302 SCALE: 1:100 461.5 SQ.M. (4,968 SQ.FT.)



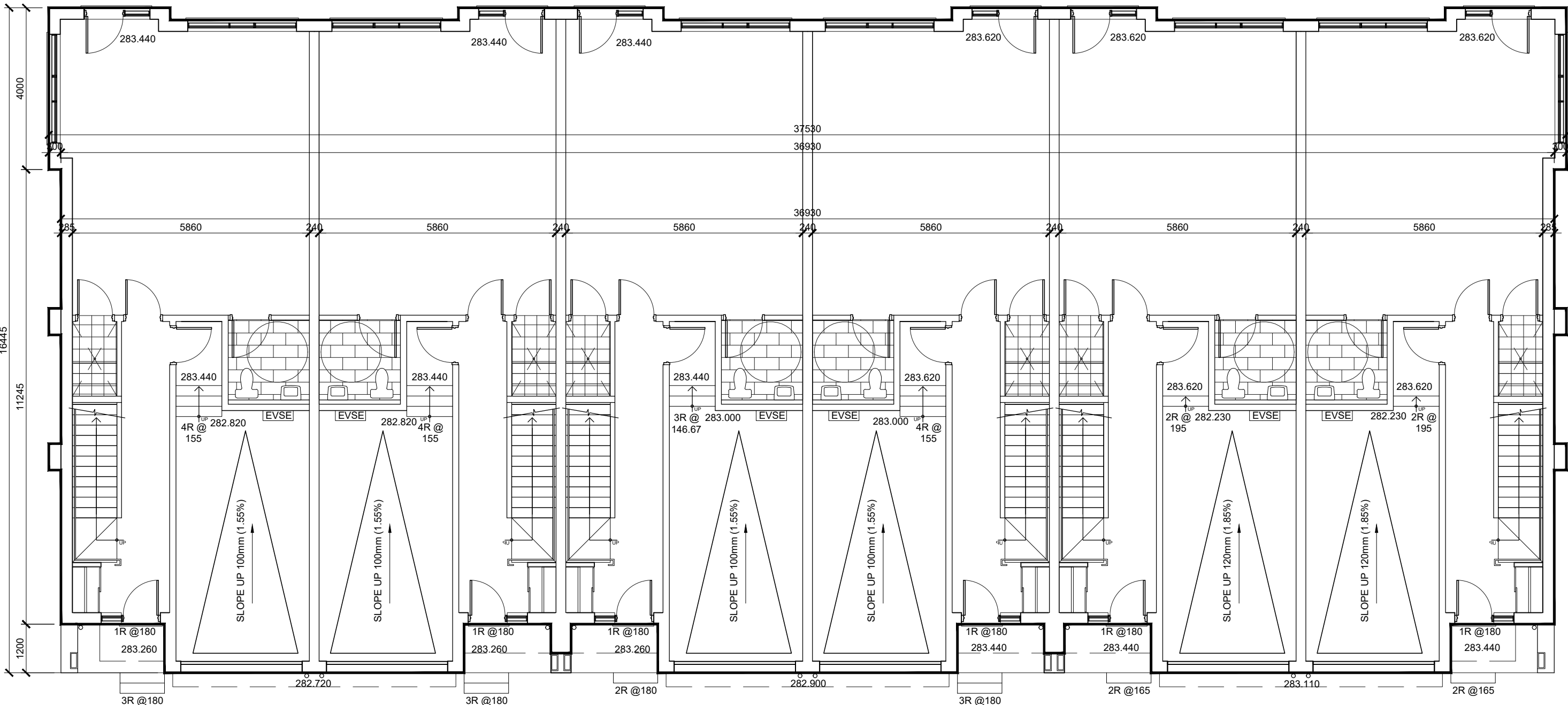
3 BLOCK 1 - THIRD FLOOR  
A302 SCALE: 1:100 461.5 SQ.M. (4,968 SQ.FT.)



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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	28/07/20	CLIENT REVIEW
0	04/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:



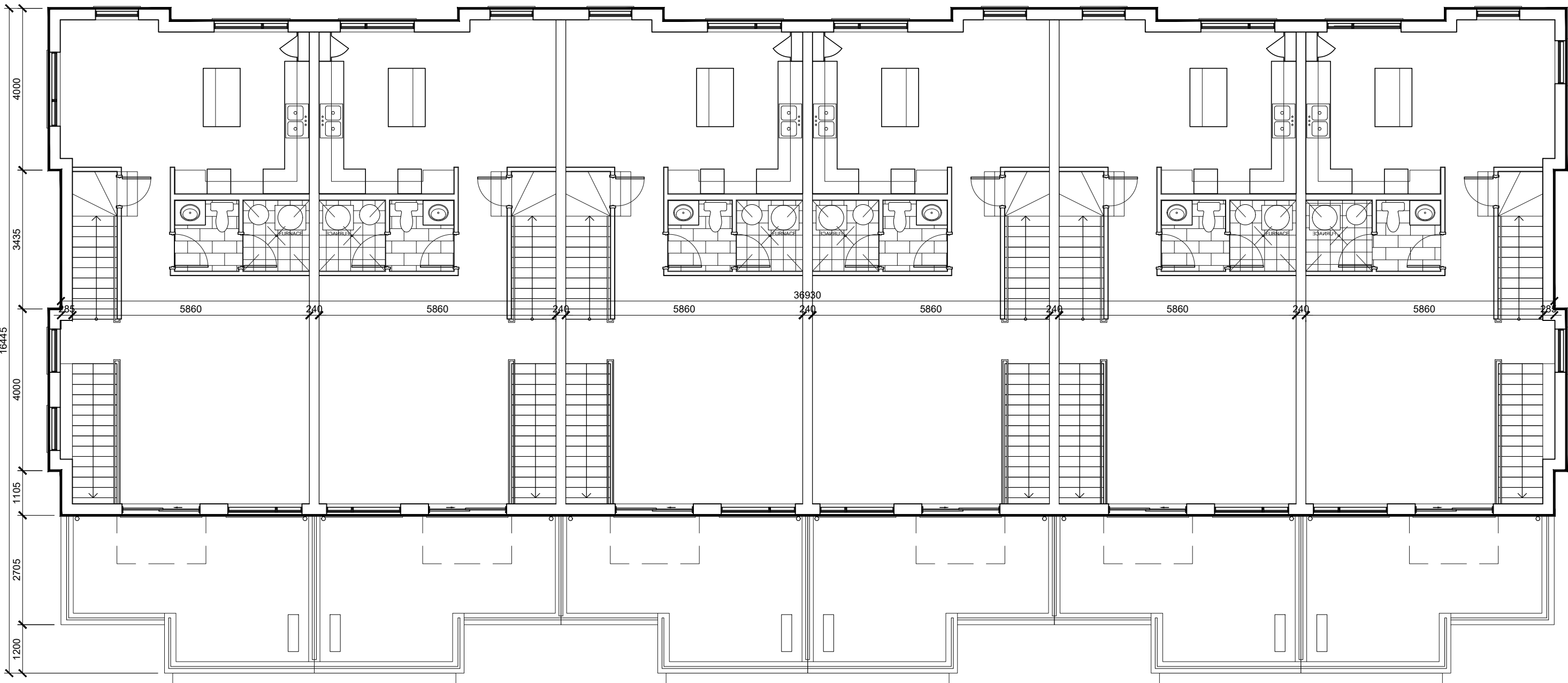
1  
A303

**BLOCK 2 - GROUND FLOOR**

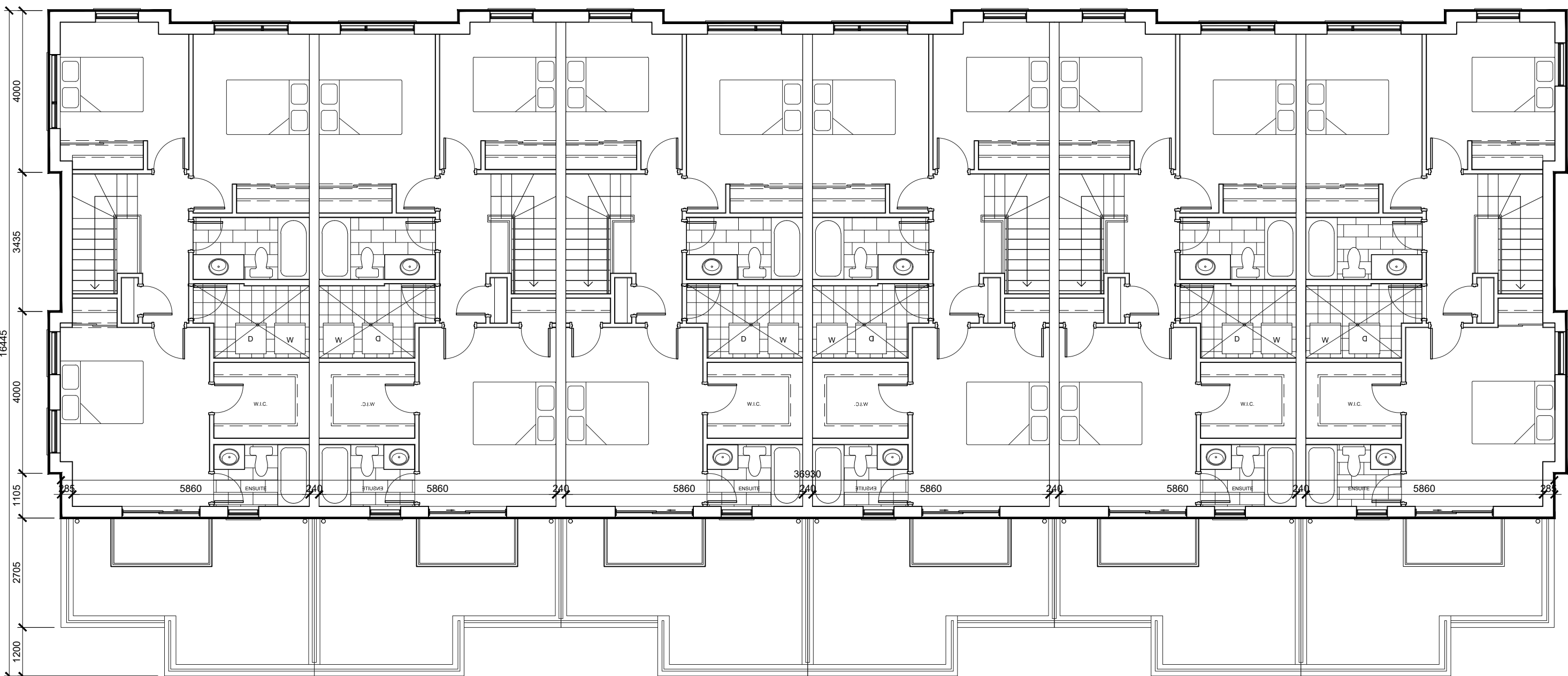
SCALE: 1:100

587.2 SQ.M. (6,321 SQ.FT.)

AS PER THE ZONING BY LAW  
DEFINITION (GARAGE NOT INCLUDED):  
437.05 SQ.M. (4,704 SQ.FT.)



2 BLOCK 2 - SECOND FLOOR  
A303 SCALE: 1:100 461.5 SQ.M. (4,968 SQ.FT.)



3 BLOCK 2 - THIRD FLOOR  
A303 SCALE: 1:100 461.5 SQ.M. (4,968 SQ.FT.)

	
8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517	
ONTARIO ASSOCIATION OF ARCHITECTS  GREGORY PATRICK RASPIN LICENCE 6809 APR 01 18, 2020	 © SRN ARCHITECTS INC. 2020
CLIENT:	MARIANNEVILLE DEVELOPMENTS LIMITED 26 LESMIE ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129
PROJECT:	MIXED-USE RESIDENTIAL BLOCK 164 / 165 GLENWAY - NEWMARKET, ON
DRAWING TITLE:	
BLOCK 2 FLOOR PLANS	
DATE: 21/01/19	SCALE:
DRAWN BY: N.W.	CHECKED BY: G. P. R.
PROJECT NUMBER:	DRAWING NUMBER:
S17066	A303



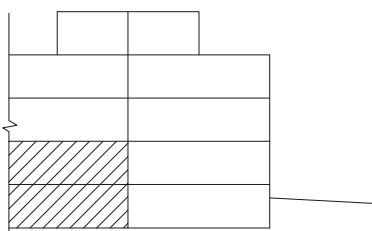
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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

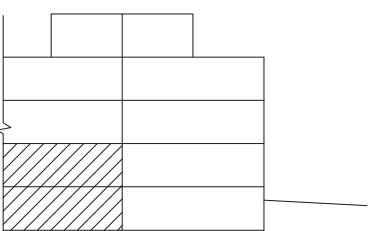
ADDITIONAL NOTES:

[illegible]

 <p>ARCHITECTS</p> <p>8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p><i>grc</i></p> <p>GREGORY PATRICK RASPIN LICENCE 6809</p> <p><i>April 21, 2020</i></p>	 <p>© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: MARIANNEVILLE DEVELOPMENTS LIMITED</p> <p>26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: MIXED-USE RESIDENTIAL</p> <p>BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE:</p> <p>TOWNHOUSES FLOOR PLANS</p>	
<p>DATE: 18/11/19</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:50</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p>S17066 A320</p>	



LOWER FLOOR  
ROOM SUITE - UNIT 2  
SQ.M. (524 SQ.FT.)



GROUND FLOOR  
ROOM SUITE - UNIT 2A  
SQ.M. (388 SQ.FT.)  
DM SUITE (TOP) - UNIT 2B  
SQ.M. (63.5 SQ.FT.)

ROOM SUITE - UNIT 1  
9 SQ.M. (666 SQ.FT.)



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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]



**ARCHITECTS**

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517

ONTARIO ASSOCIATION  
OF  
ARCHITECTS



GREGORY PATRICK RAPSPIN  
LICENCE  
6809  
April 21, 2020



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CLIENT: **MARIANNEVILLE DEVELOPMENTS LIMITED**  
 26 LESMIL ROAD, UNIT 3  
 TORONTO, ONTARIO. M3B 2T5  
 (P) 416.733.3128 (F) 416.733.3129

PROJECT: **MIXED-USE RESIDENTIAL**  
 BLOCK 164 / 165  
 GLENWAY - NEWMARKET, ON

DRAWING TITLE:

**TOWNHOUSES  
FLOOR PLANS**

DATE: 18/11/19

DRAWN BY: N.W.

PROJECT NUMBER:

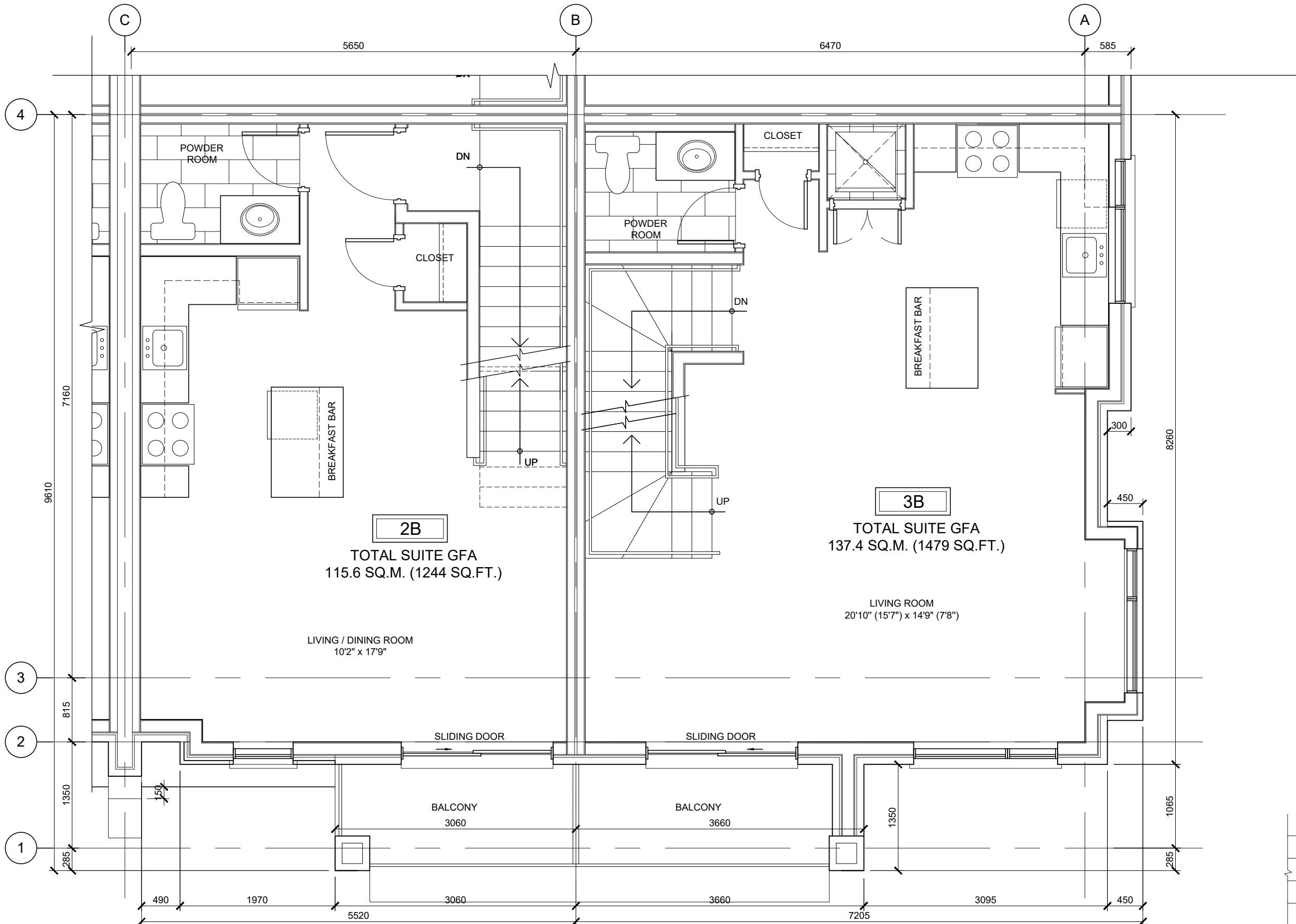
SCALE: 1:50

CHECKED BY: G. P. R.

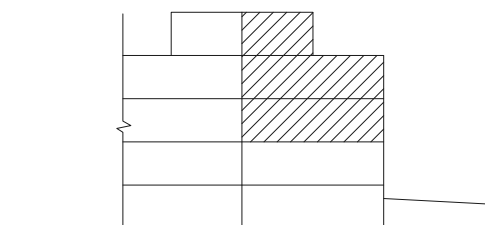
DRAWING NUMBER:

**S17066**

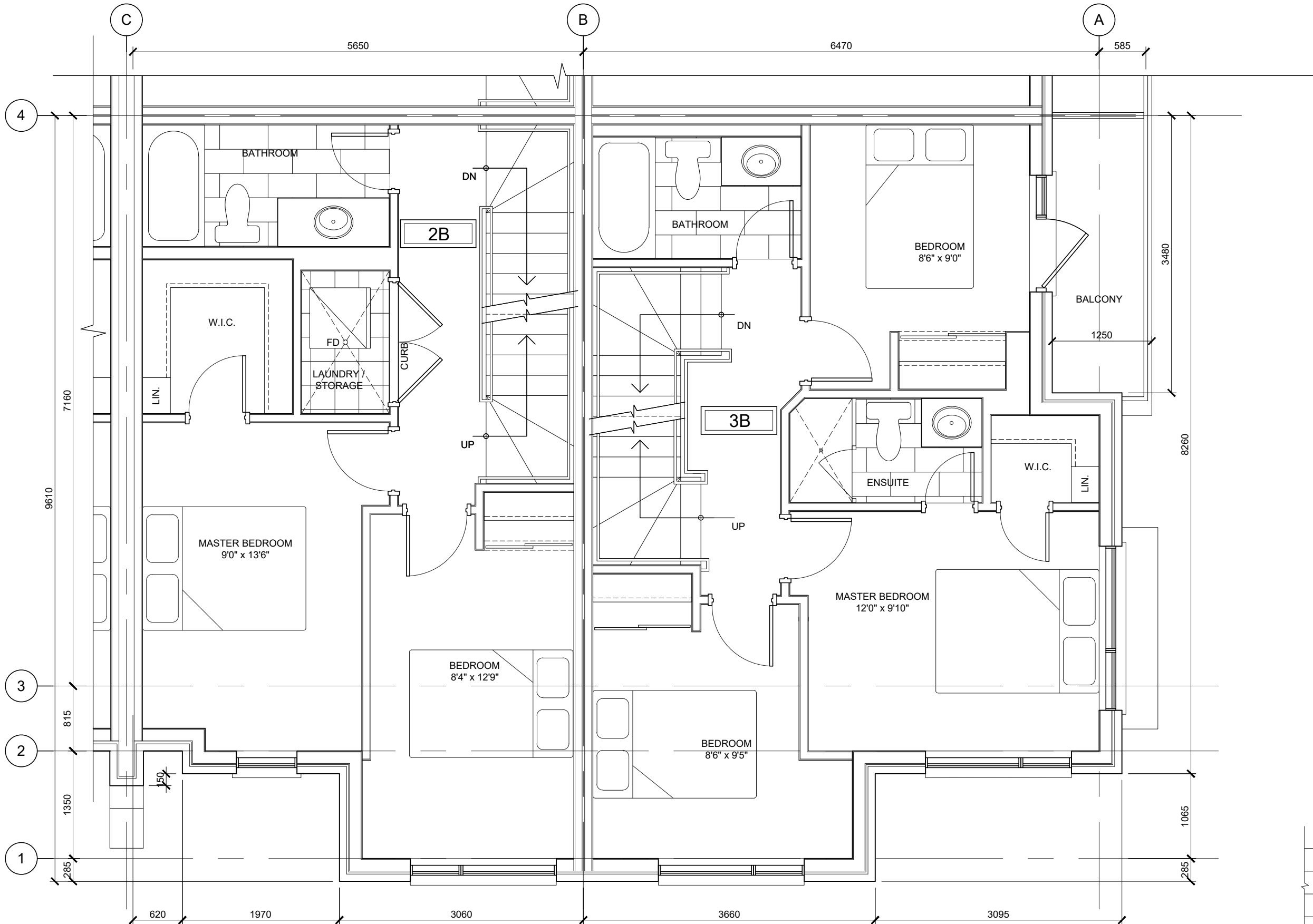
**A321**



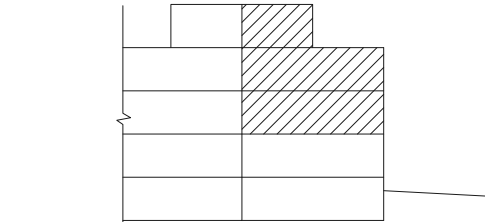
SECOND FLOOR  
2 BEDROOM SUITE - UNIT 2  
46.2 SQ.M. (497 SQ.FT.)



SECOND FLOOR  
3 BEDROOM SUITE - UNIT 3E  
58.0 SQ.M. (624 SQ.FT.)



THIRD FLOOR  
2 BEDROOM SUITE - UNIT 2  
50.3 SQ.M. (541 SQ.FT.)



THIRD FLOOR  
3 BEDROOM SUITE - UNIT 3B  
57.7 SQ.M. (621 SQ.FT.)



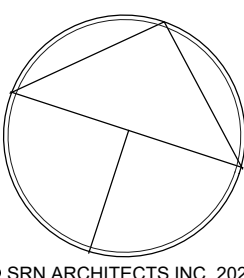
THESE DRAWINGS ARE NOT TO BE SCALED:  
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	DATE:	ISSUED FOR:
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3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	28/07/20	CLIENT REVIEW
0	04/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT: MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

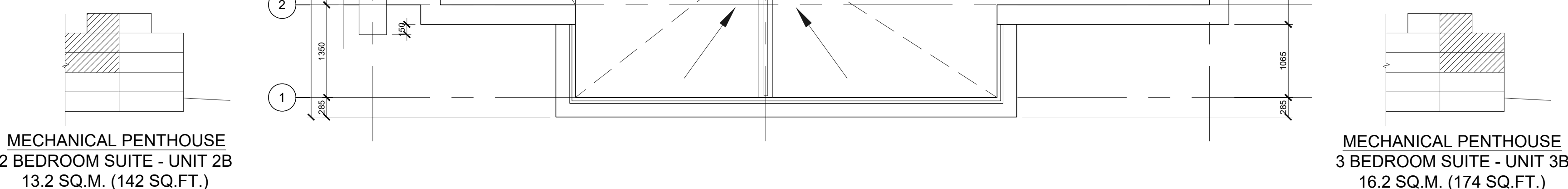
TOWNHOUSES  
FLOOR PLANS

DATE: 18/11/19

DRAWN BY: N.W. | CHECKED BY: G.P.R.

PROJECT NUMBER:	DRAWING NUMBER:
-----------------	-----------------

S17066 A322



	STOREY	AREA	TOTAL
UNIT 1A	LOWER FLOOR	61.9 SQ.M. (666 SQ.FT.)	61.9 SQ.M. (666 SQ.FT.)
UNIT 1B	GROUND FLOOR	53.7 SQ.M. (578 SQ.FT.)	53.7 SQ.M. (578 SQ.FT.)
UNIT 2A	LOWER FLOOR	48.7 SQ.M. (524 SQ.FT.)	84.9 SQ.M. (914 SQ.FT.)
	GROUND FLOOR	36.1 SQ.M. (388 SQ.FT.)	
UNIT 2B	GROUND FLOOR	5.9 SQ.M. (63.5 SQ.FT.)	115.6 SQ.M. (1244 SQ.FT.)
	SECOND FLOOR	46.2 SQ.M. (497 SQ.FT.)	
	THIRD FLOOR	50.3 SQ.M. (541 SQ.FT.)	
	MECH. PENTHOUSE	13.2 SQ.M. (142 SQ.FT.)	
UNIT 3B	GROUND FLOOR	6.6 SQ.M. (71 SQ.FT.)	137.4 SQ.M. (1479 SQ.FT.)
	SECOND FLOOR	56.9 SQ.M. (612 SQ.FT.)	
	THIRD FLOOR	57.7 SQ.M. (621 SQ.FT.)	
	MECH. PENTHOUSE	16.2 SQ.M. (174 SQ.FT.)	



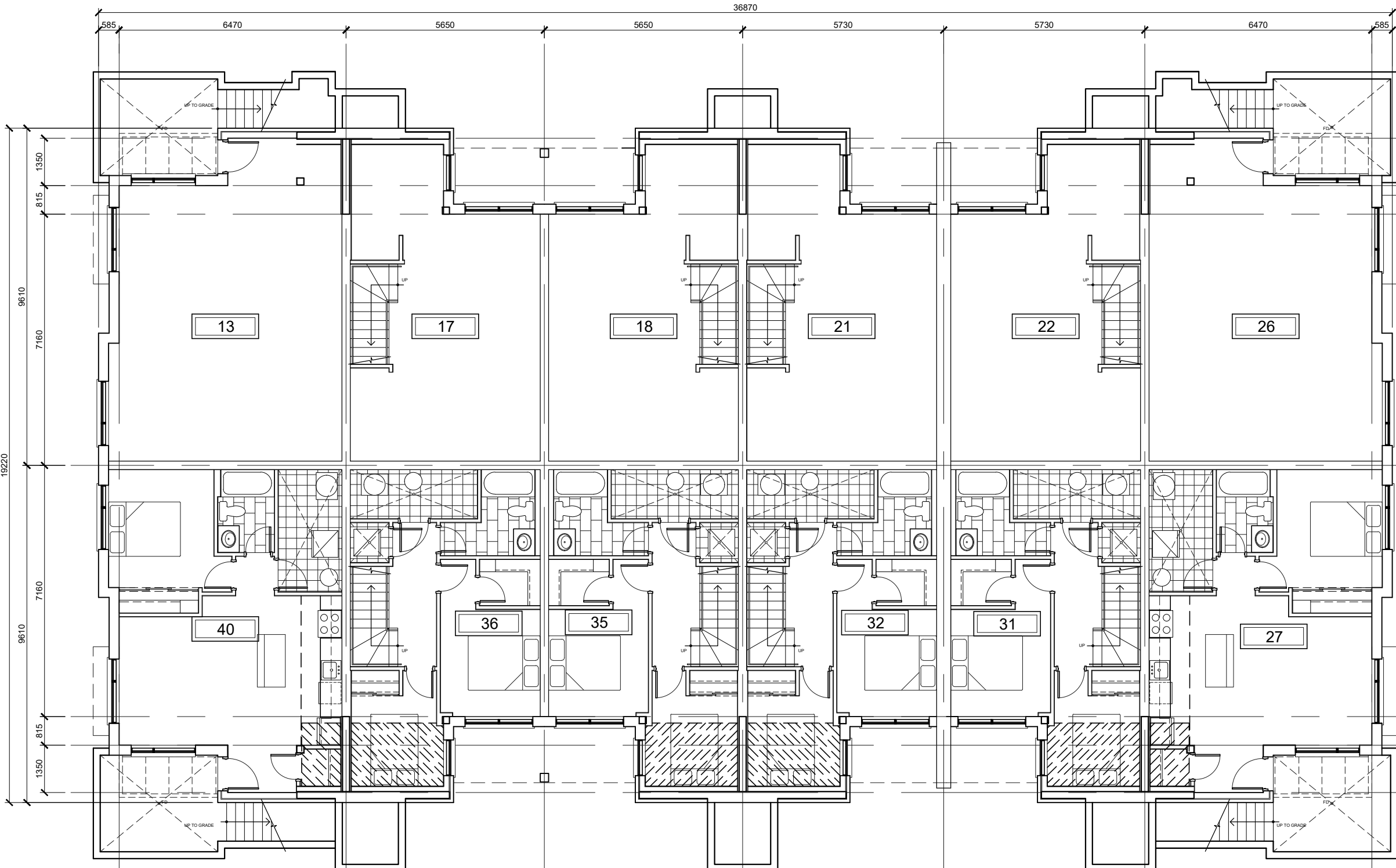
THESE DRAWINGS ARE NOT TO BE SCALED:  
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

DATE:	ISSUED FOR:
16/10/19	CLIENT REVIEW
18/11/19	SITE PLAN APPLICATION
14/04/20	CONSULTANT COORD.
28/05/20	CLIENT REVIEW
03/06/20	CLIENT REVIEW
09/06/20	MUNICIPAL REVIEW
16/06/20	FIRE DEPT REVIEW
04/07/20	CLIENT REVIEW
08/08/20	CONSULTANT COORD.
26/08/20	SITE PLAN APPLICATION

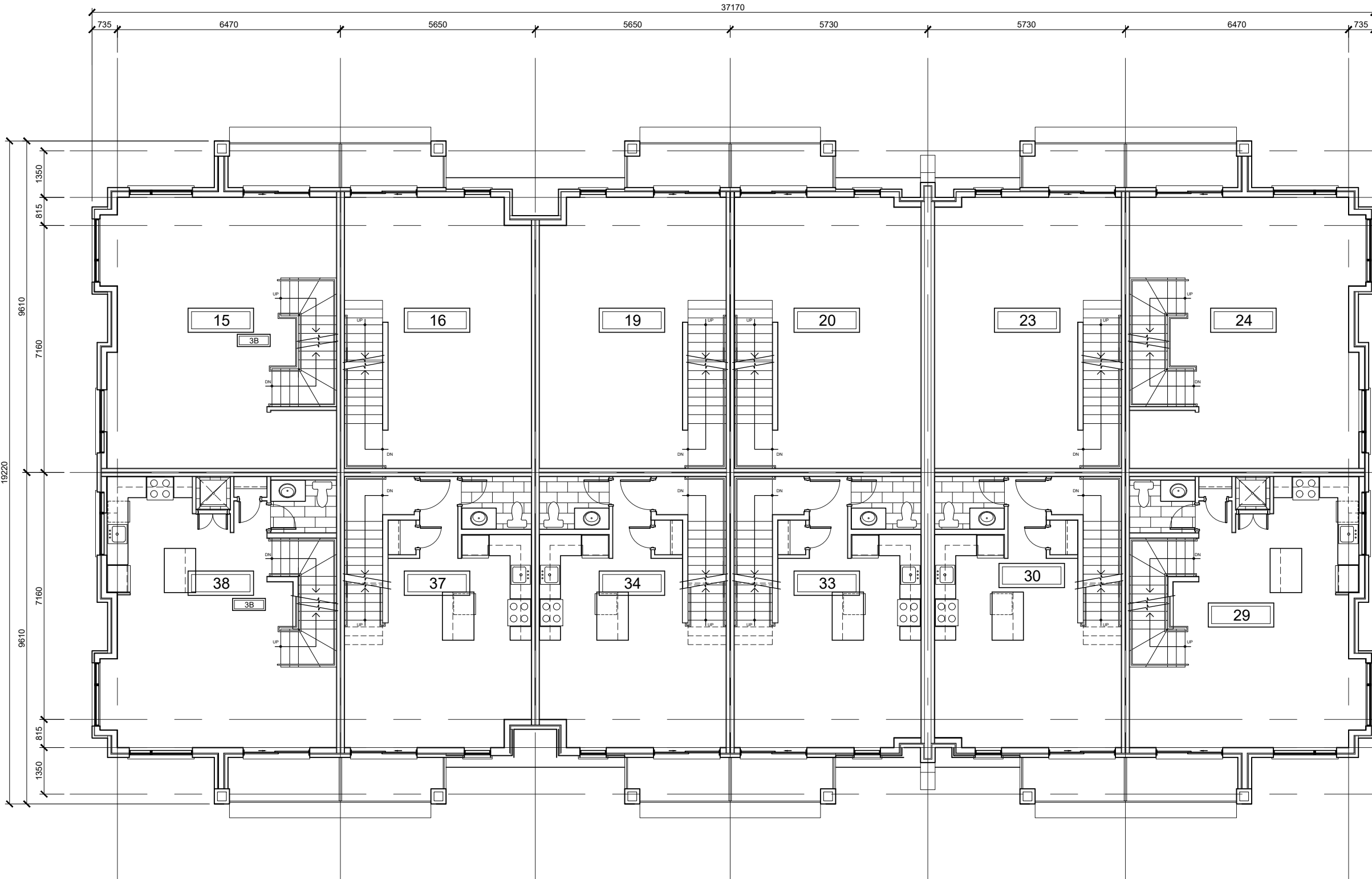
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[illegible]

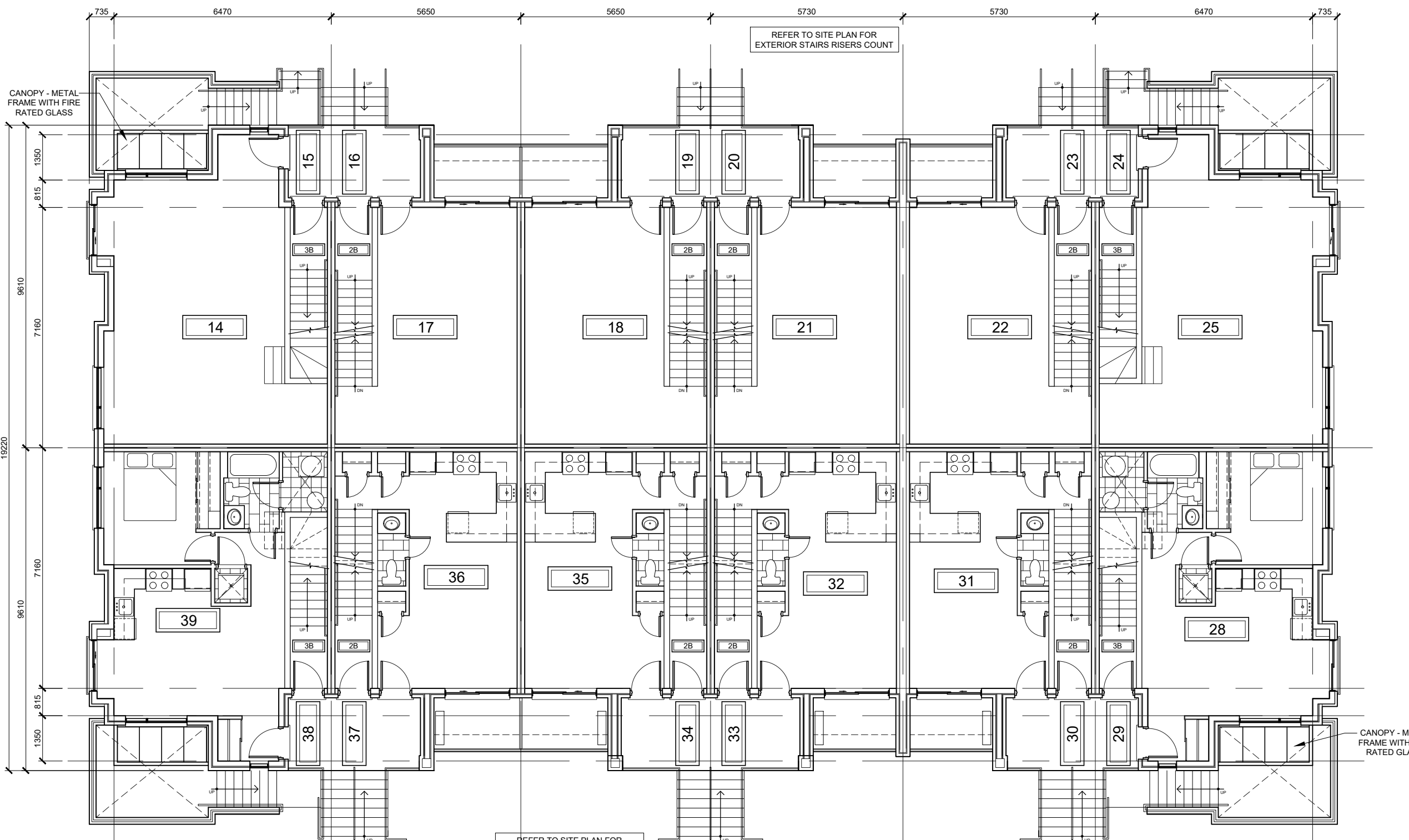
 <p style="font-size: 1.2em; margin: 0;">8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
	 <p style="text-align: right; font-size: 0.8em;">© SRN ARCHITECTS INC. 2020</p>
CLIENT: <span style="font-size: 1.2em; font-weight: bold;">MARIANNEVILLE DEVELOPMENTS LIMITED</span> 26 LESMILL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129	
PROJECT: <span style="font-size: 1.2em; font-weight: bold;">MIXED-USE RESIDENTIAL</span> BLOCK 164 / 165 GLENWAT - NEWMARKET, ON	
DRAWING TITLE: <span style="font-size: 1.5em; font-weight: bold; text-align: center;">FLOOR PLANS BLOCK 3</span>	
DATE: 18/11/19	SCALE: 1:125
DRAWN BY: N.W.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:
<span style="font-size: 3em; font-weight: bold;">S17066      A323</span>	



1  
A323 LOWER LEVEL - BLOCK 3  
SCALE: 1:125  
640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR  
EACH SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 3  
A323 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)

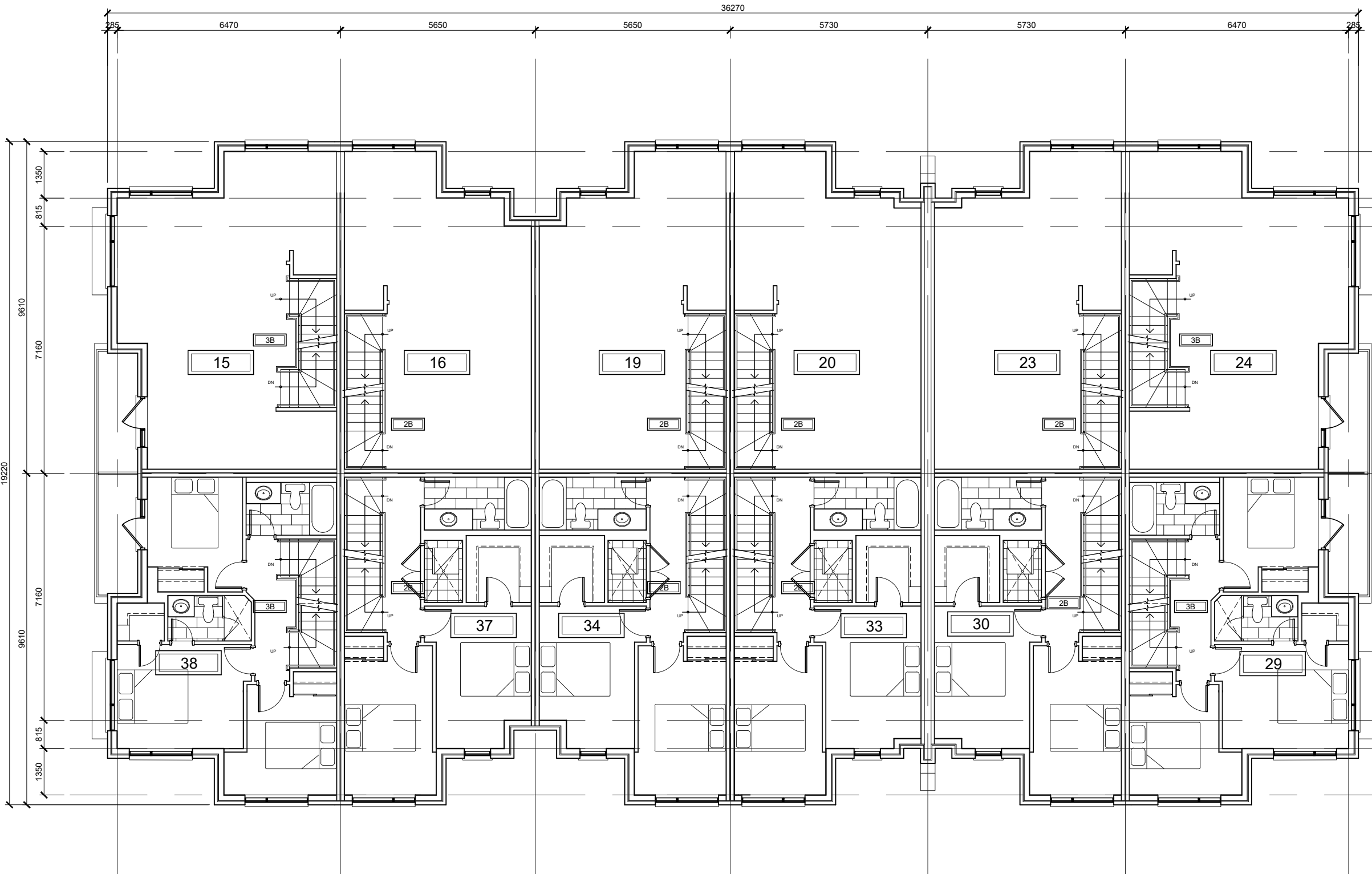


2  
A323

GROUND FLOOR - BLOCK 3

SCALE: 1:125

586.7 SQ.M. (6,315 SQ.FT.)



4 THIRD FLOOR - BLOCK 3  
A323 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)



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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

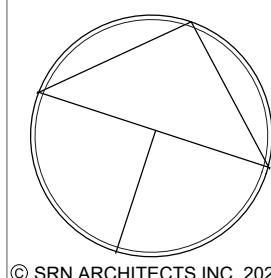
DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 04/07/20	CLIENT REVIEW
0 28/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

ARCHITECTS

8395 JANE STREET, SUITE 101  
SCARBOROUGH, ONTARIO. L4K 1N1  
PHONE: 905.417-5515 FAX: 905.417-5516



© SRN ARCHITECTS INC. 202

CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLAN  
BLOCK 3

DATE: 18/11/19

SCALE: 1:125

DRAWN BY: N.W.

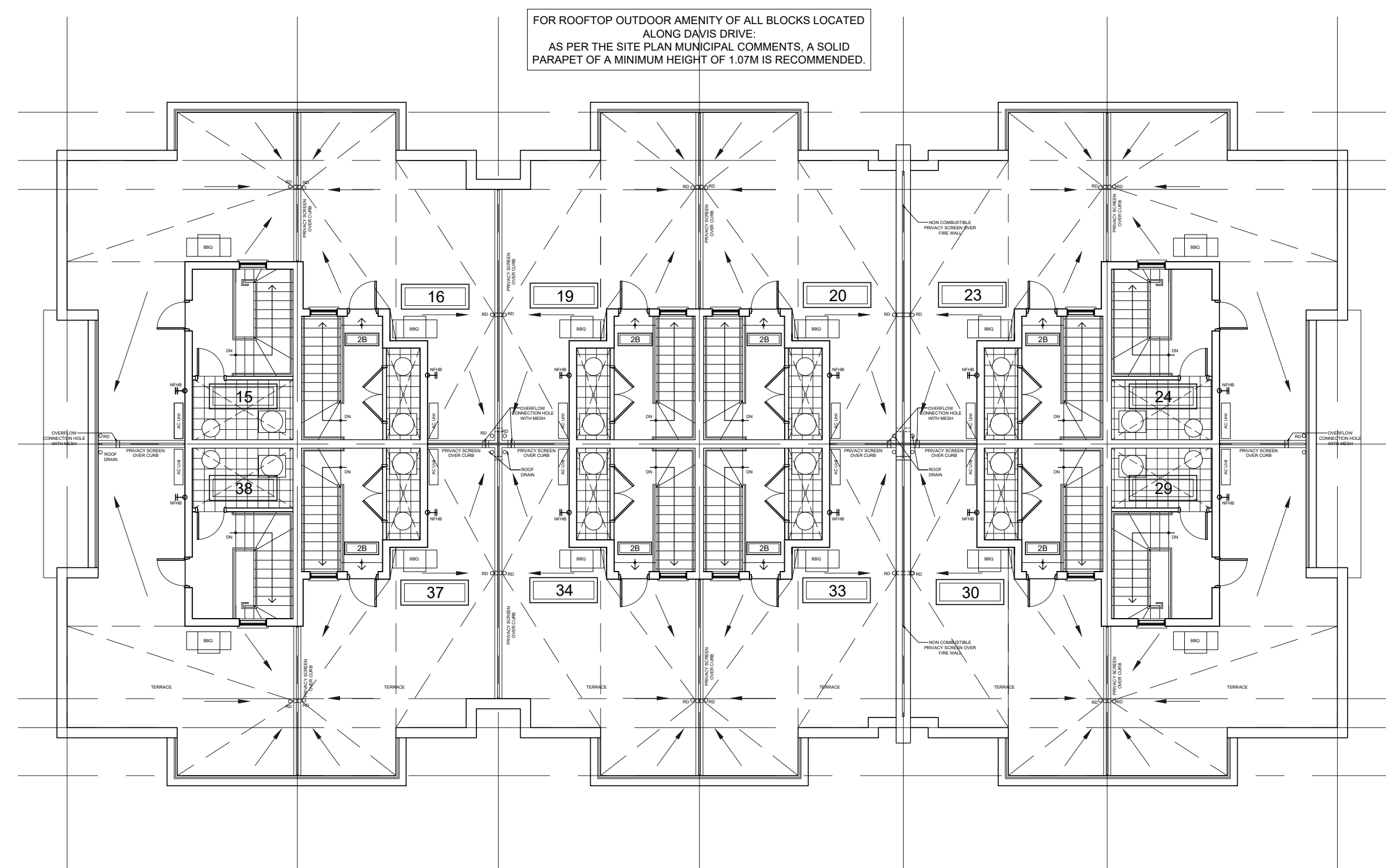
CHECKED BY: G.P.F

PROJECT NUMBER:

DRAWING NUMBER

S17066

6 A324



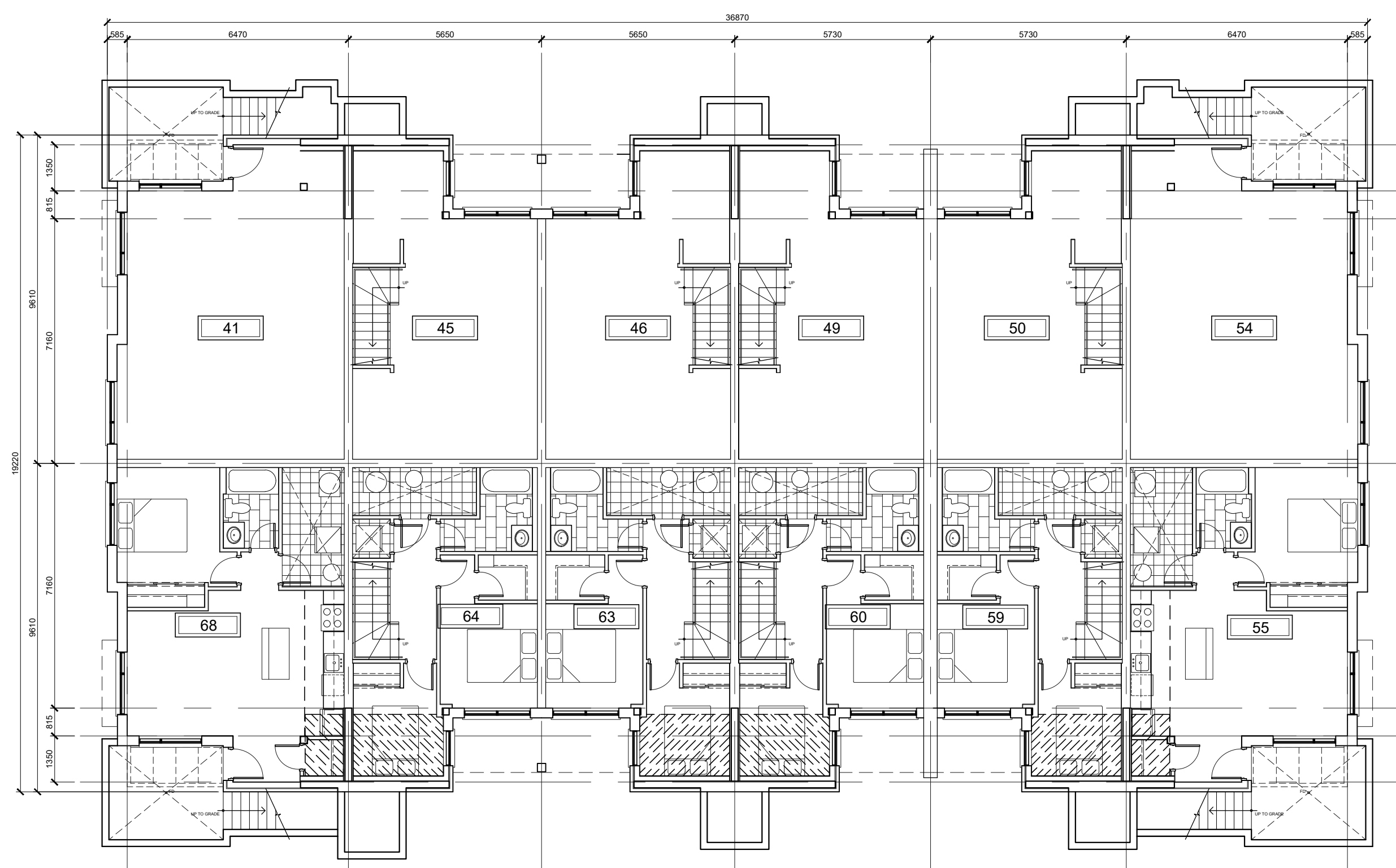
1 MECHANICAL PENTHOUSE - BLOCK 3  
A324 SCALE: 1:125 169.4 SQ.M. (1,823 SQ.FT.)



THESE DRAWINGS ARE NOT TO BE SCALED:  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

DATE:	ISSUED FOR:
16/10/19	CLIENT REVIEW
18/11/19	SITE PLAN APPLICATION
14/04/20	CONSULTANT COORD.
28/05/20	CLIENT REVIEW
03/06/20	CLIENT REVIEW
09/06/20	MUNICIPAL REVIEW
16/06/20	FIRE DEPT REVIEW
04/07/20	CLIENT REVIEW
20/08/20	CONSULTANT COORD.
26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

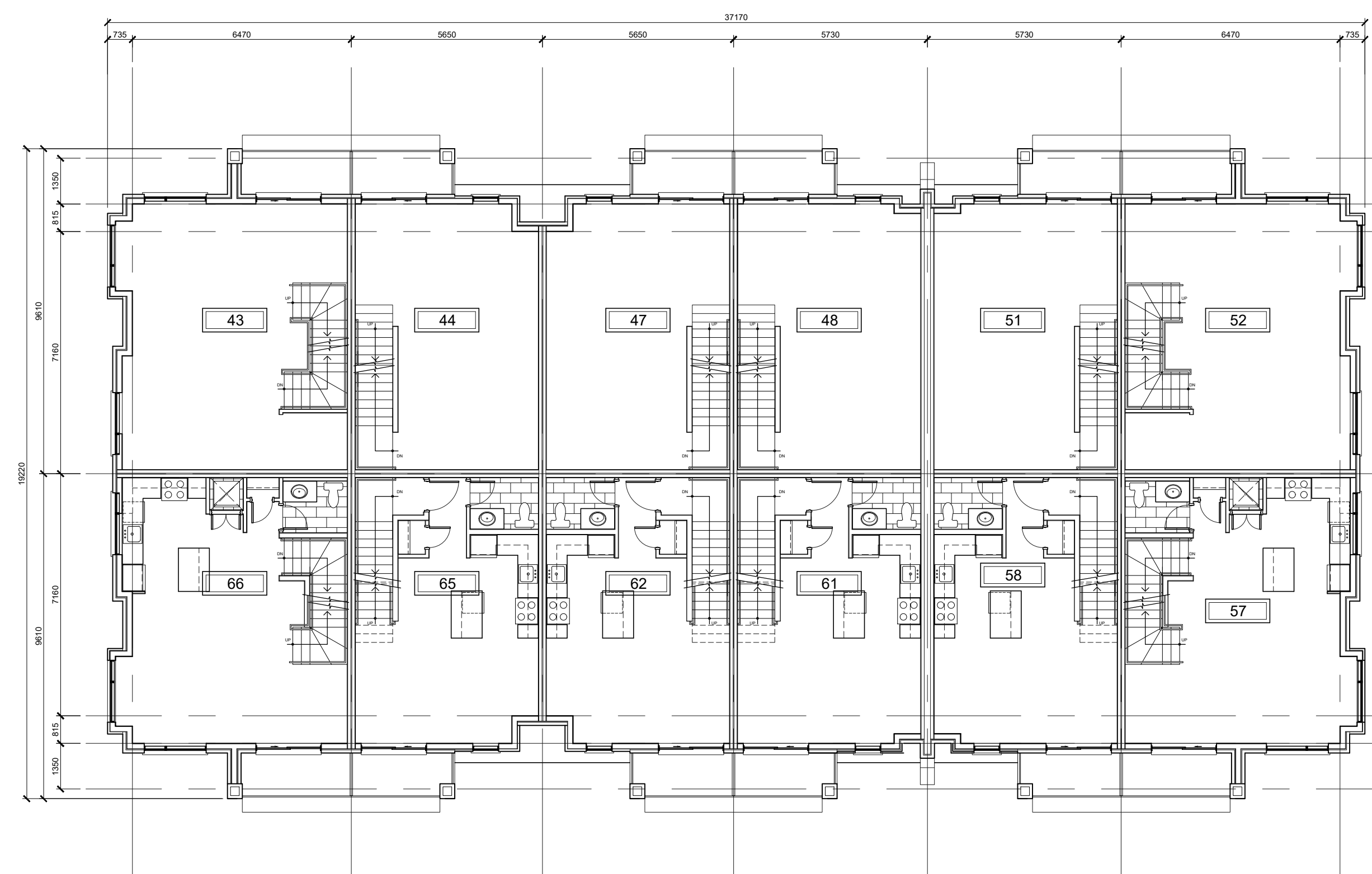


1  
A325

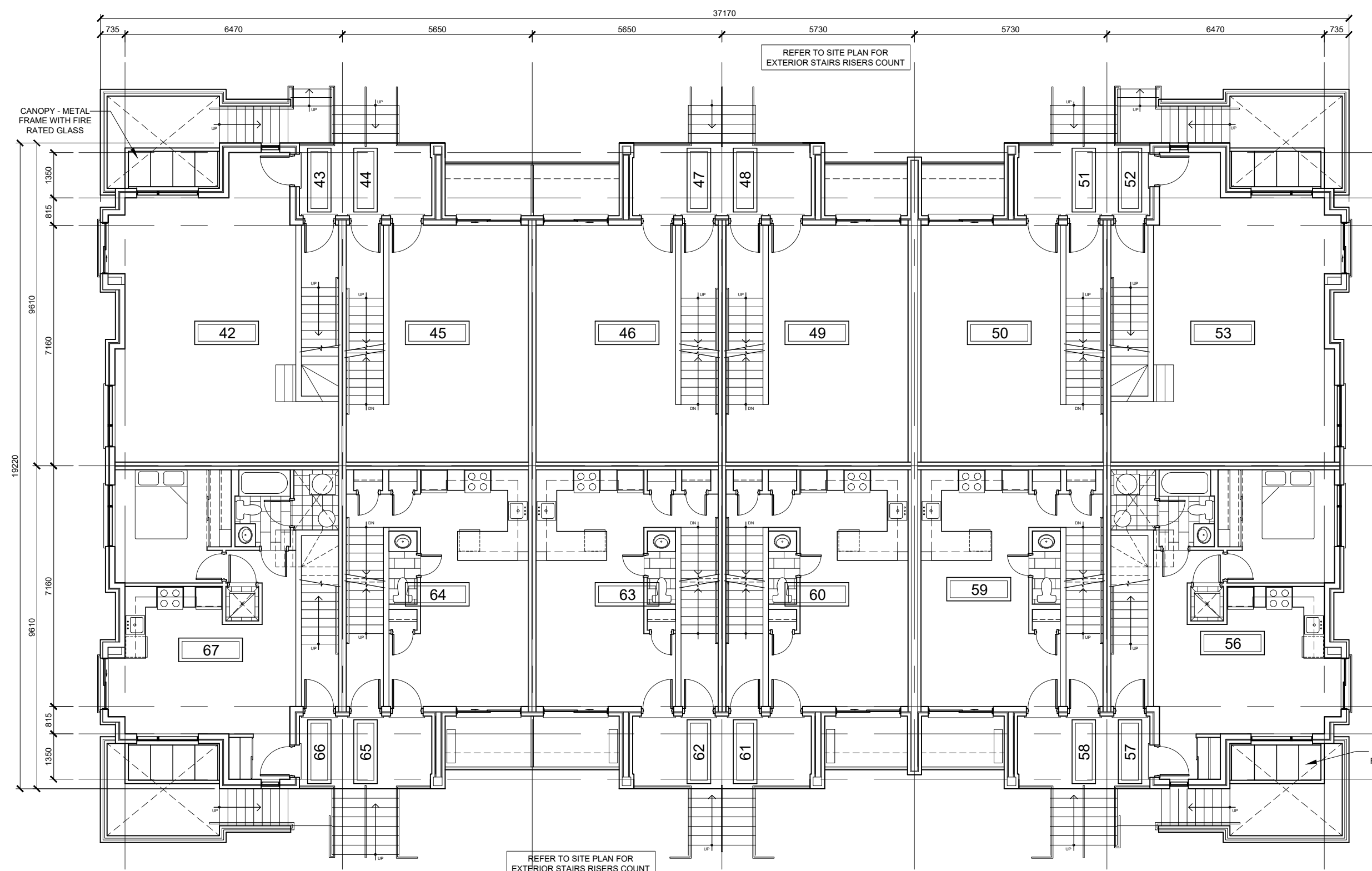
LOWER LEVEL - BLOCK 4

SCALE: 1:125

640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR EACH  
SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 4  
A325 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)

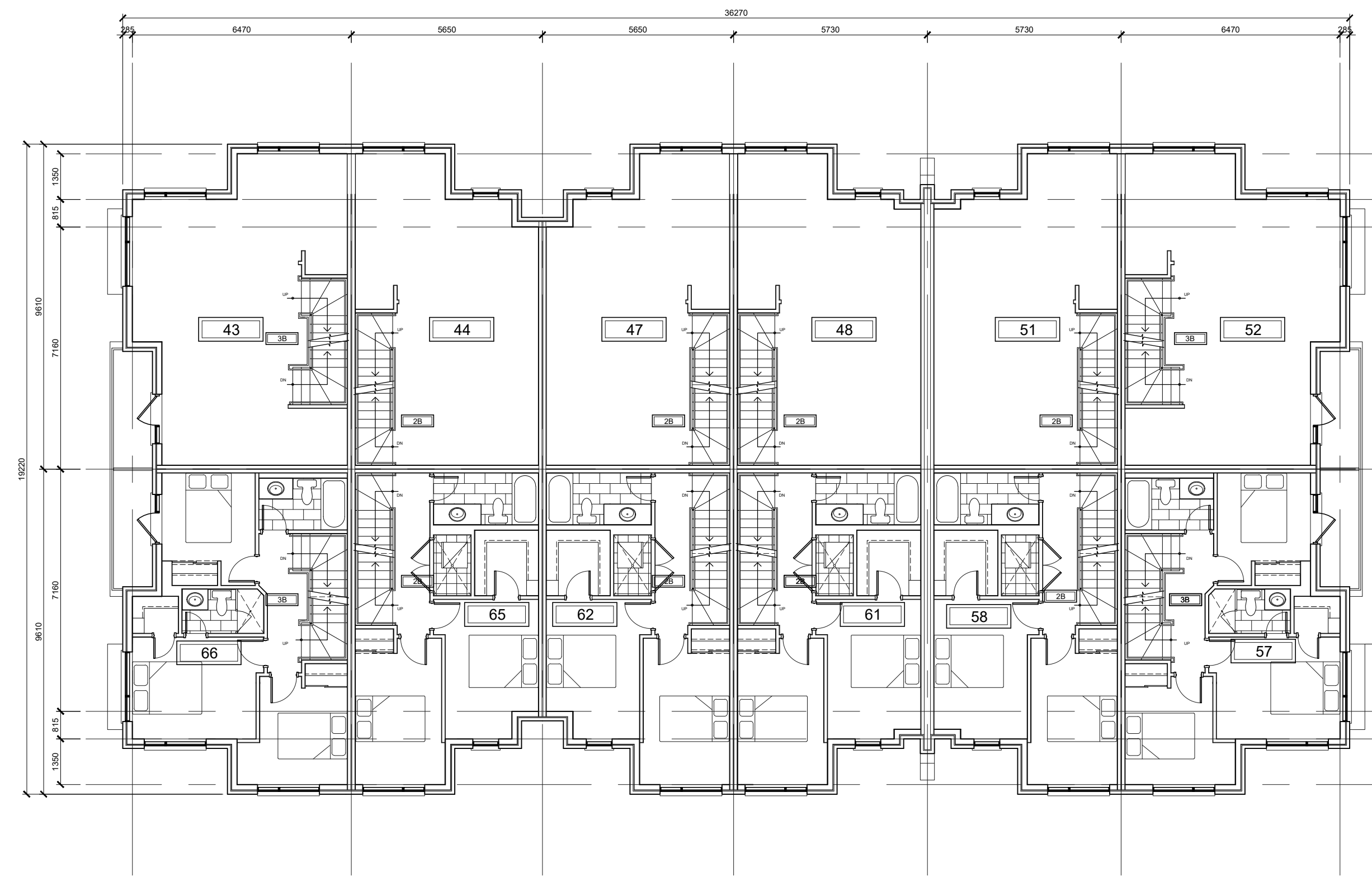


2  
A325

GROUND FLOOR - BLOCK 4

SCALE: 1:125

586.7 SQ.M. (6,315 SQ.FT.)



4 THIRD FLOOR - BLOCK 4  
A325 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)

[illegible]

 <p>ARCHITECTS</p> <p>8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p>  <p>GREGORY PATRICK RASPIN LICENCE 6890 April 19, 2020</p>	<p>© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: MARIANNEVILLE DEVELOPMENTS LIMITED 26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: MIXED-USE RESIDENTIAL BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE: FLOOR PLANS BLOCK 4</p>	
<p>DATE: 18/11/19</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:125</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p>S17066 A325</p>	







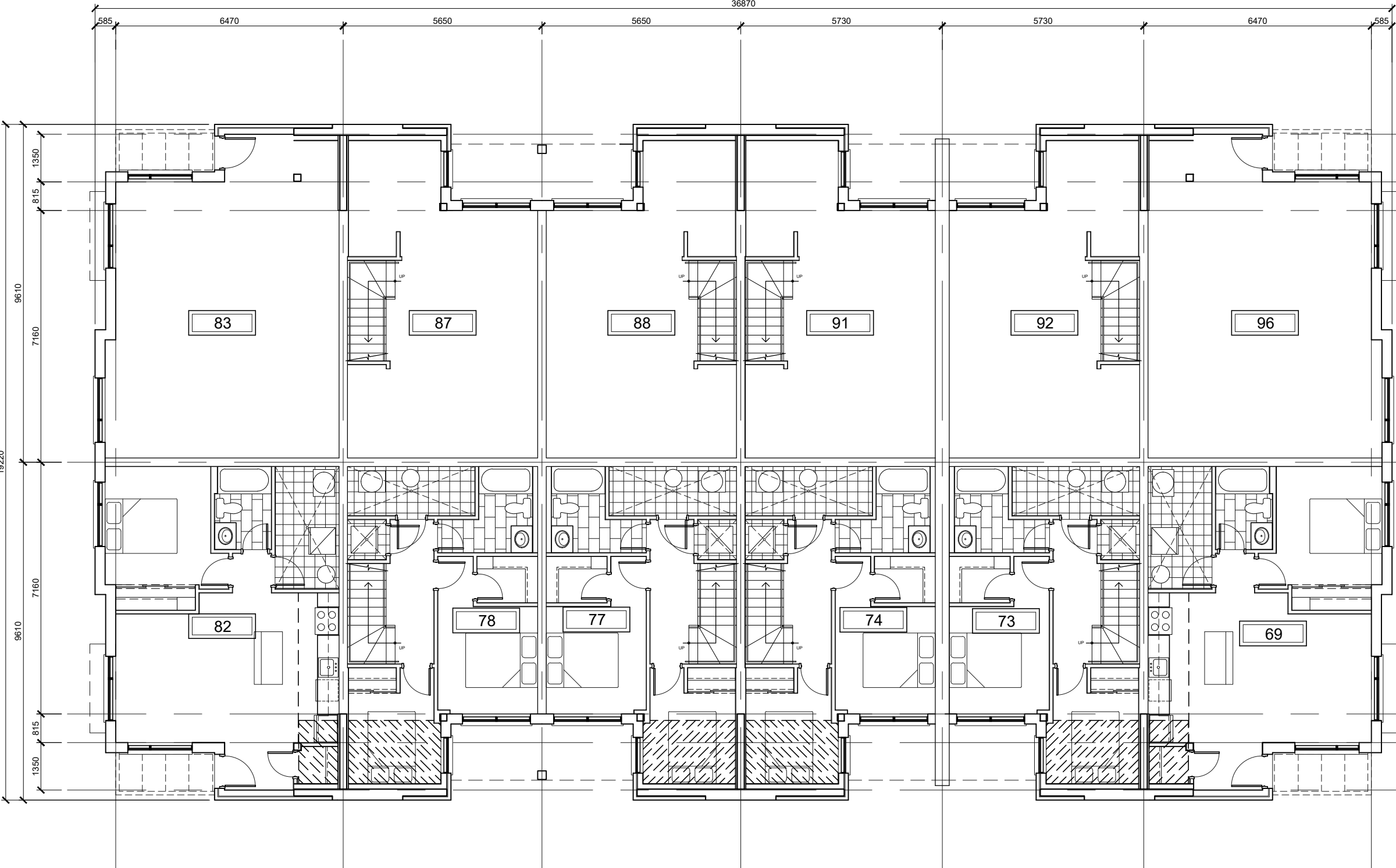
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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

 <p>ARCHITECTS</p> <p>8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
 <p>ONTARIO ASSOCIATION OF ARCHITECTS Licence 6889 April 15, 2020</p>	 <p>© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: <b>MARIANNEVILLE DEVELOPMENTS LIMITED</b></p> <p>26 LESMILL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: <b>MIXED-USE RESIDENTIAL</b></p> <p>BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE:</p> <p><b>FLOOR PLANS BLOCK 5</b></p>	
<p>DATE: 10/08/20</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:125</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p><b>S17066 A327</b></p>	

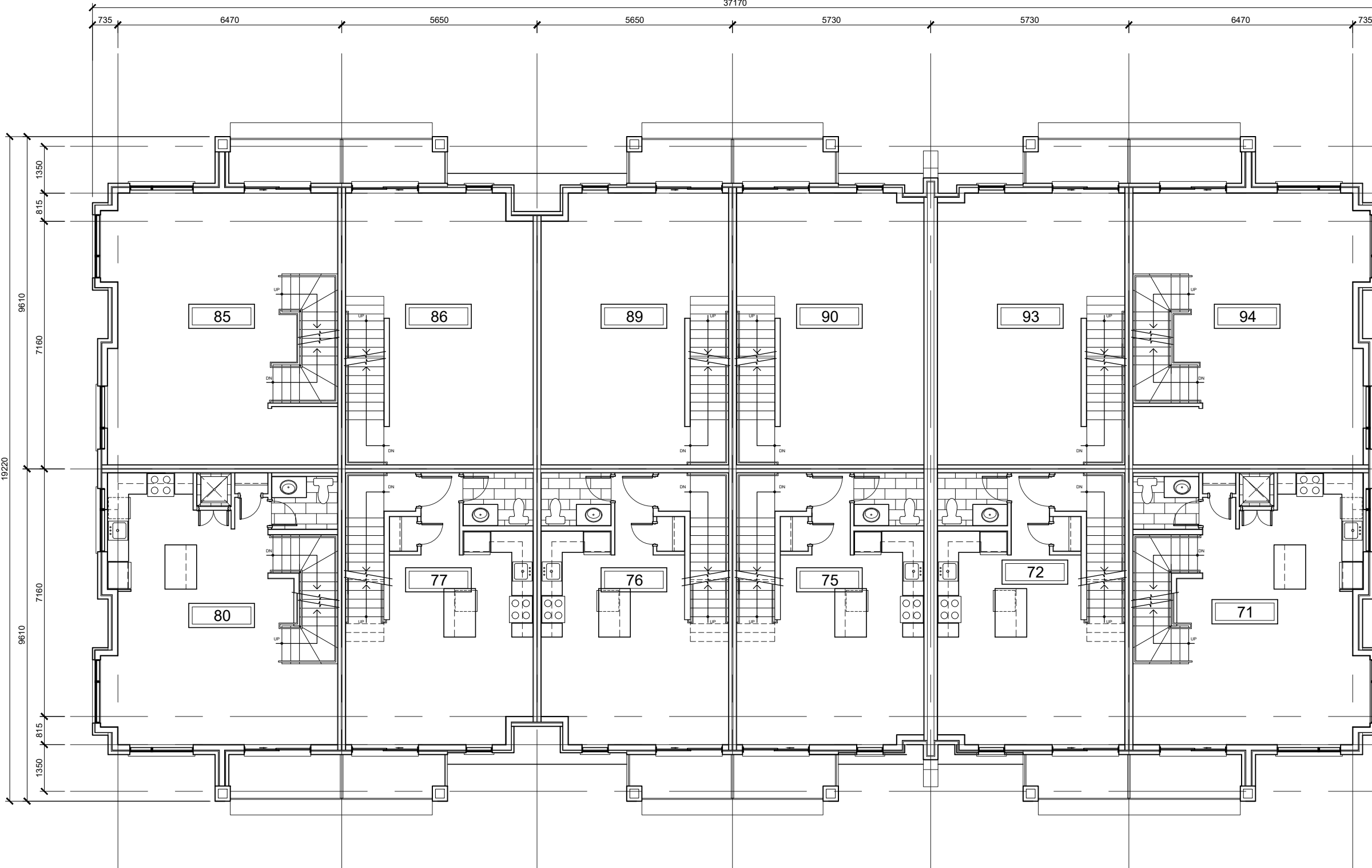


1  
A336

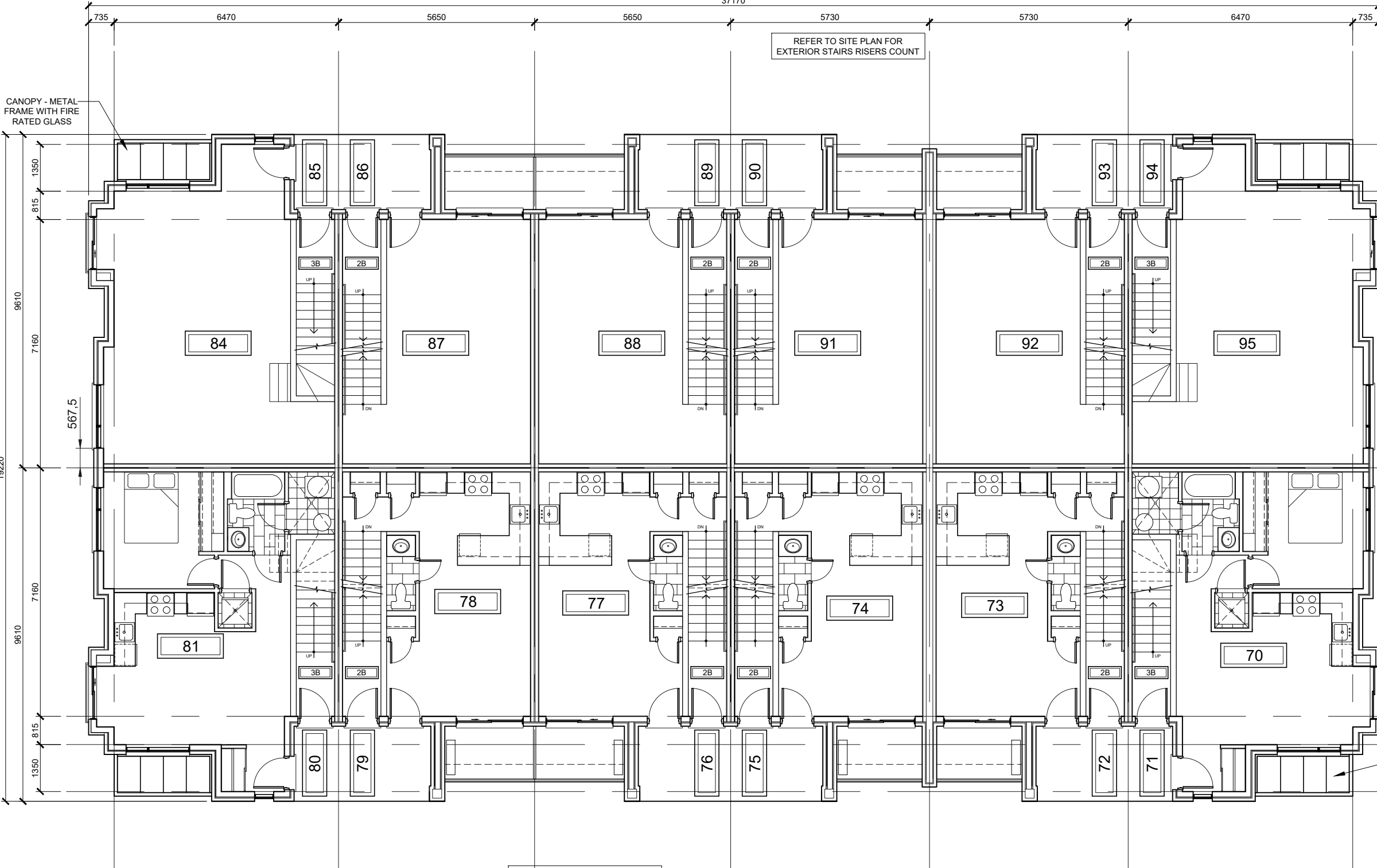
LOWER LEVEL - BLOCK 5

SCALE: 1:125

640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR  
EACH SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 5  
A336 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)

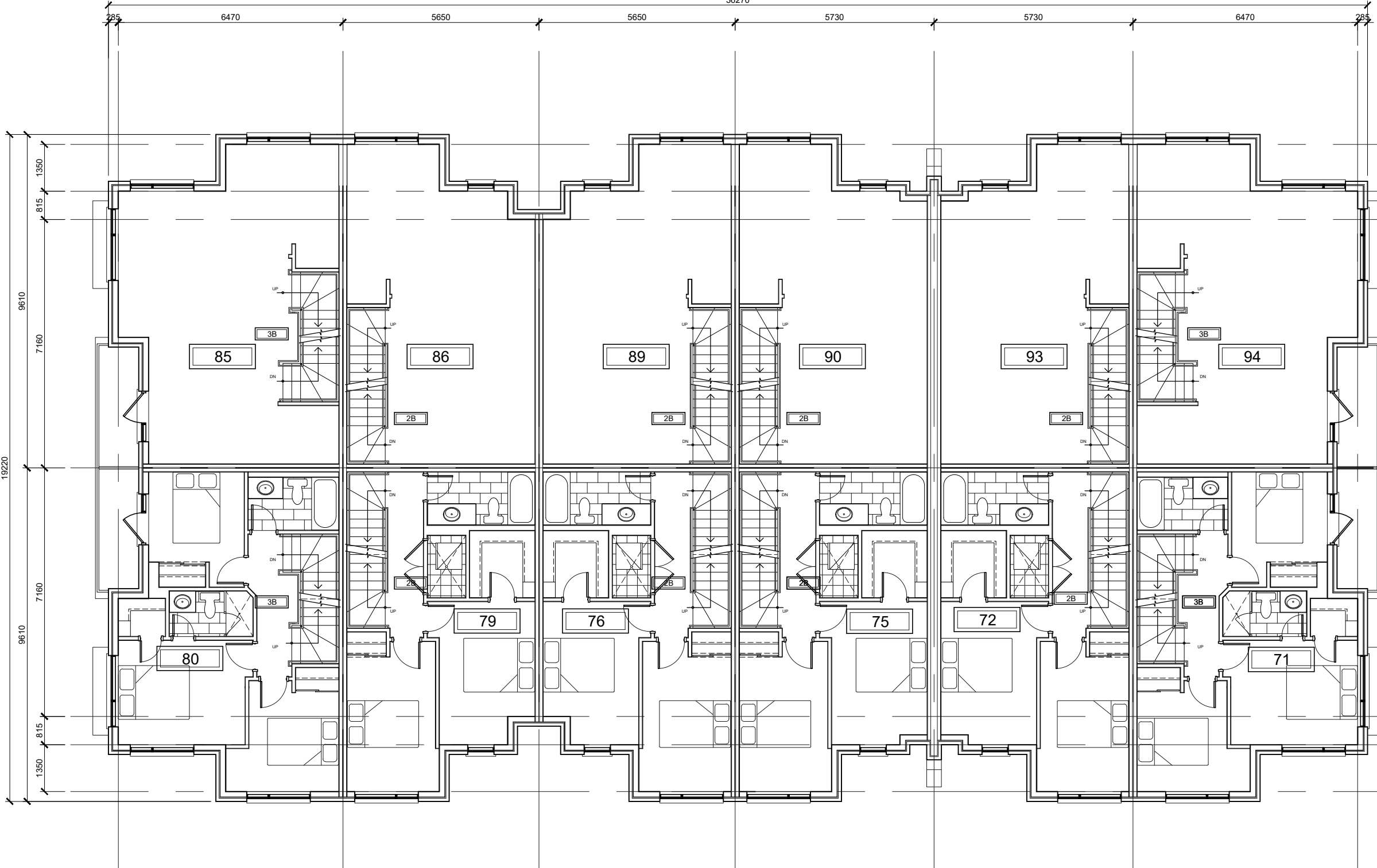


2  
A336

GROUND FLOOR - BLOCK 5

SCALE: 1:125

586.7 SQ.M. (6,315 SQ.FT)



4 THIRD FLOOR - BLOCK 5  
A336 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)



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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

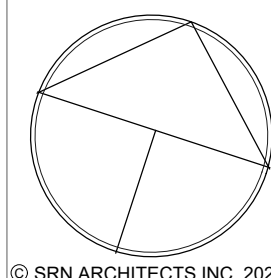
	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



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CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 5

DATE: 10/08/20

SCALE: 1:125

DRAWN BY: N.W.

BY: N.W.

PROJECT NUMBER:

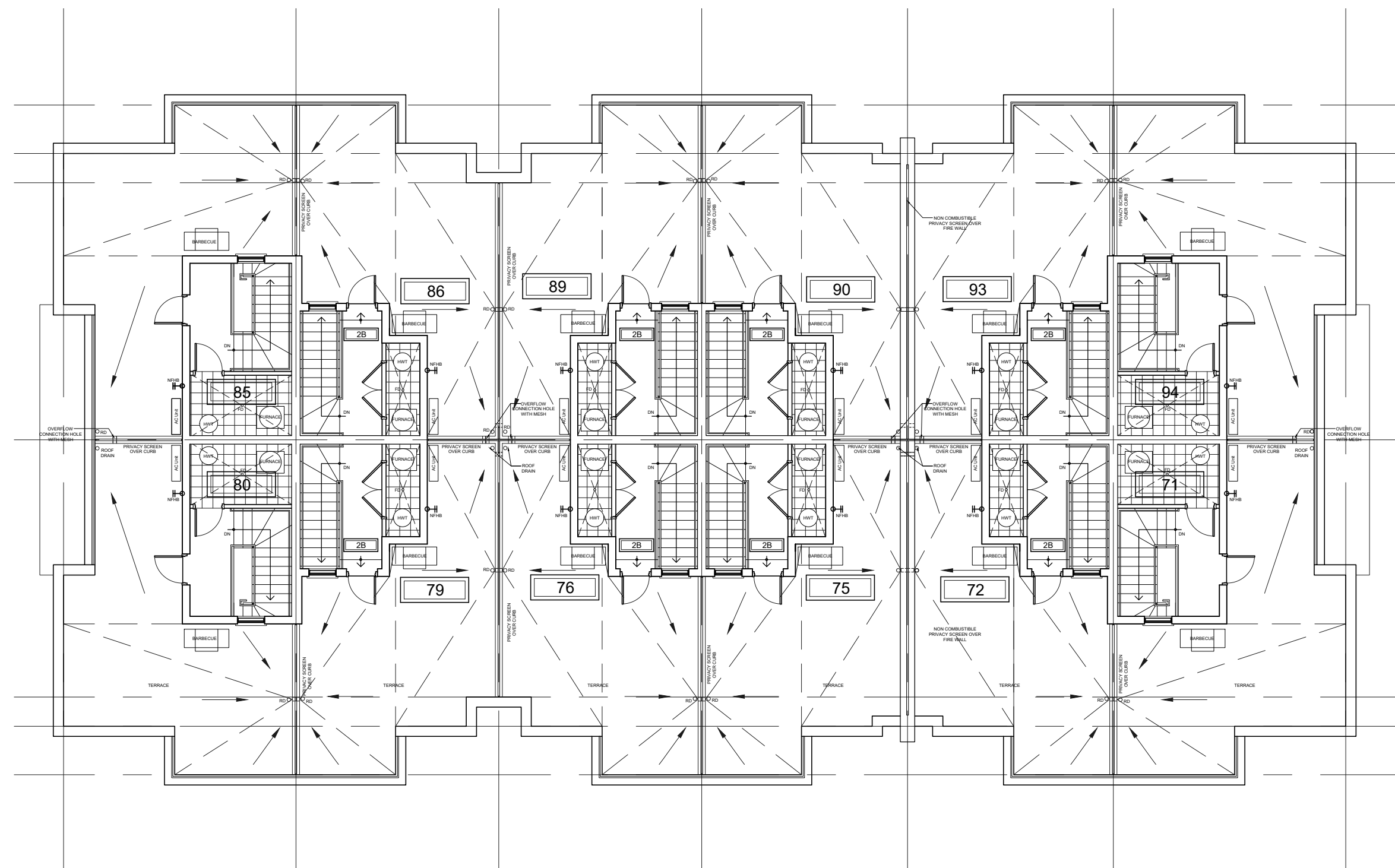
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PROJECT NUMBER:

DRAWING NUMBER:

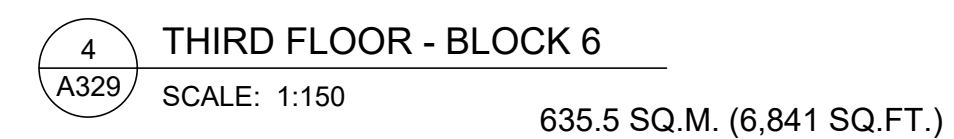
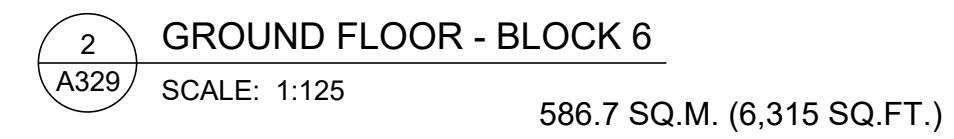
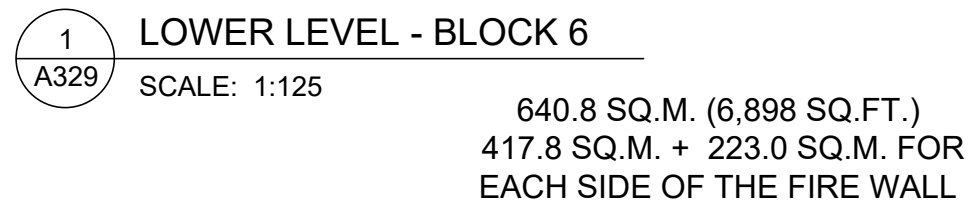
S17066

A328



1 MECHANICAL PENTHOUSE - BLOCK 5  
A328 SCALE: 1:125 169.4 SQ.M. (1,823 SQ.FT.)





NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

 <p>ARCHITECTS</p> <p>8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO, L4K 5Y2 PHONE: 905 417-5515 FAX: 905 417-5517</p>	
 <p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p>GREGORY PATRICK RASPIN LICENSE 6896 August 28, 2020</p>	 <p>© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: MARIANNEVILLE DEVELOPMENTS LIMITED</p> <p>26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO, M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: MIXED-USE RESIDENTIAL</p> <p>BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE: FLOOR PLANS BLOCK 6</p>	
DATE: 10/08/20	SCALE: 1:125
DRAWN BY: N.W.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:
<p>S17066 A329A</p>	



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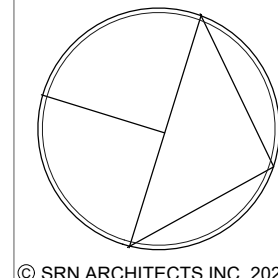
	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	28/07/20	CLIENT REVIEW
0	04/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

ARCHITECTS

3395 JANE STREET, SUITE 202  
AUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



© SRN ARCHITECTS INC. 202

CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 6

DATE: 10/08/20

SCALE: 1:125

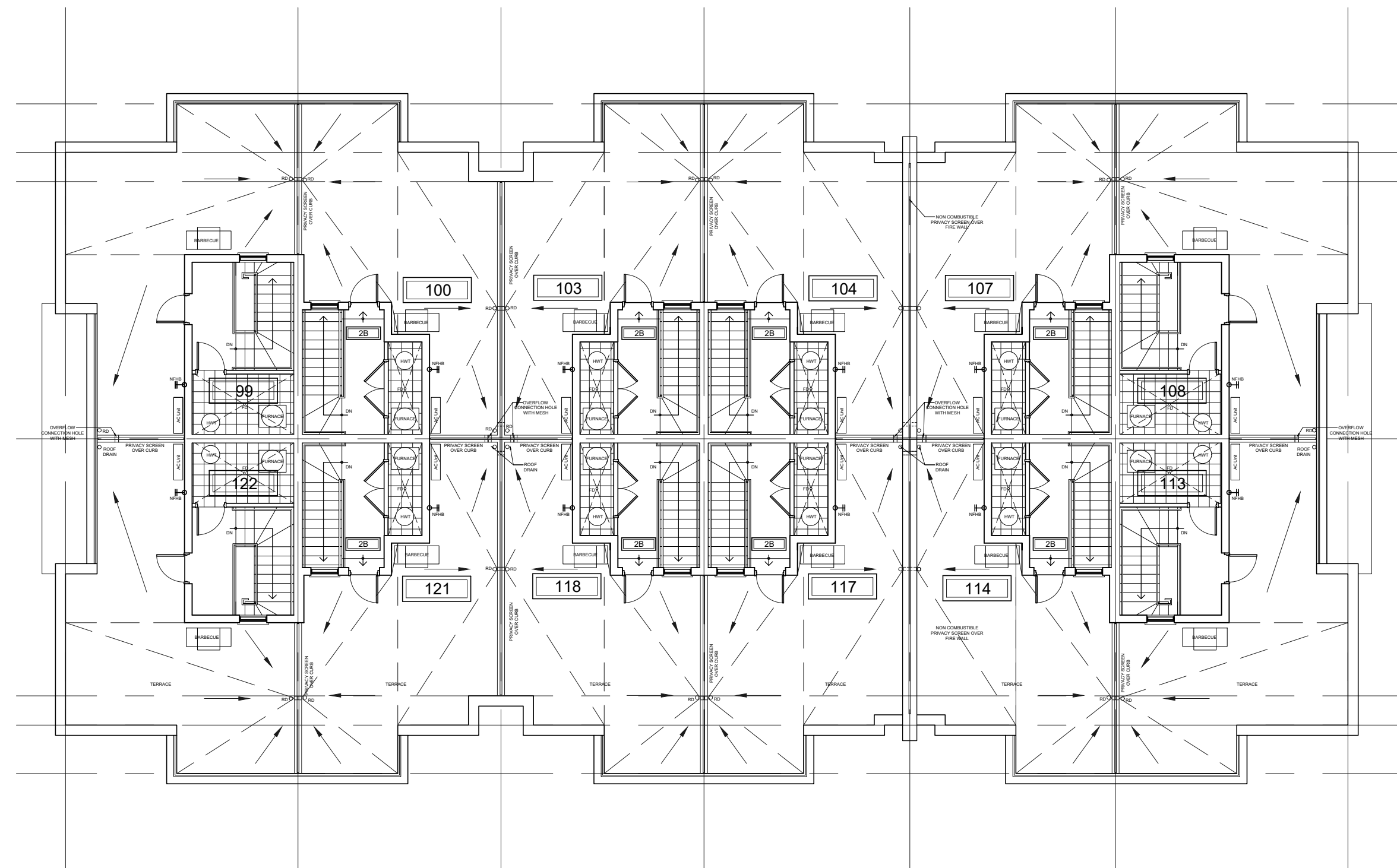
DRAWN BY: N.W.

CHECKED BY: G.P.R

PROJECT NUMBER:

DRAWING NUMBER:

S17066 A329B



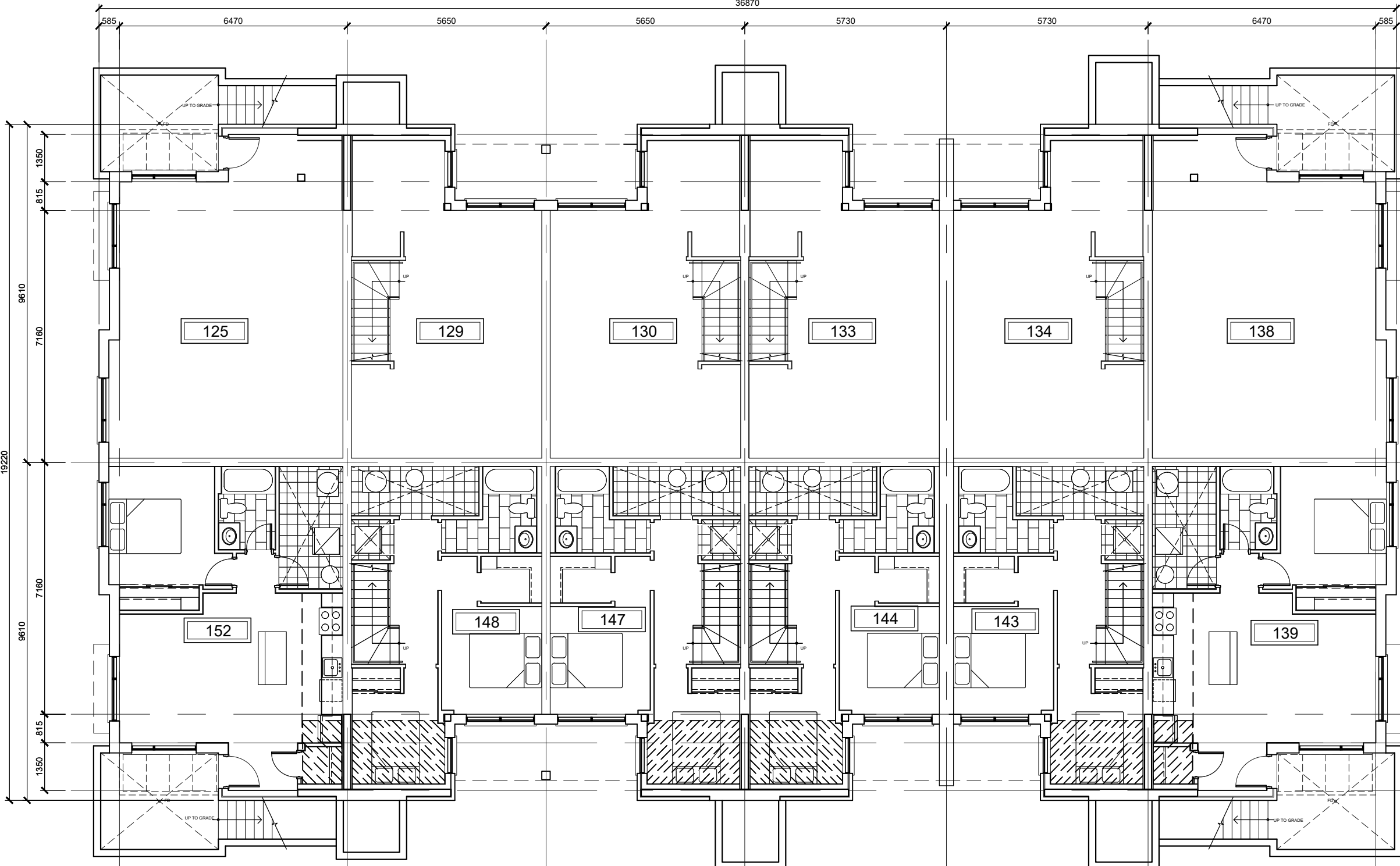
5 MECHANICAL PENTHOUSE - BLOCK 6  
A329 SCALE: 1:150 169.4 SQ.M. (1,823 SQ.FT.)



THESE DRAWINGS ARE NOT TO BE SCALED:  
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 04/07/20	CLIENT REVIEW
0 28/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

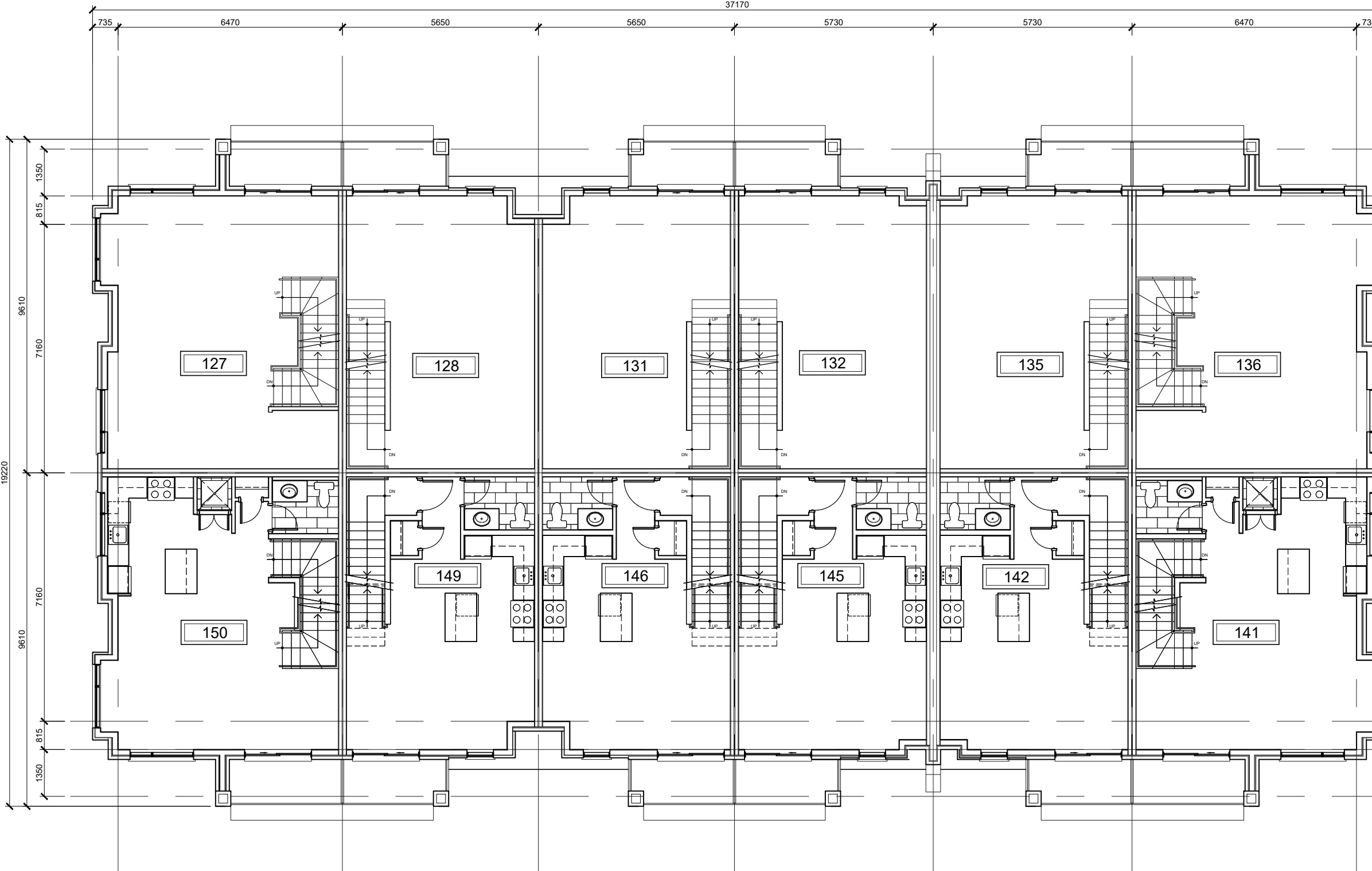


1  
A330

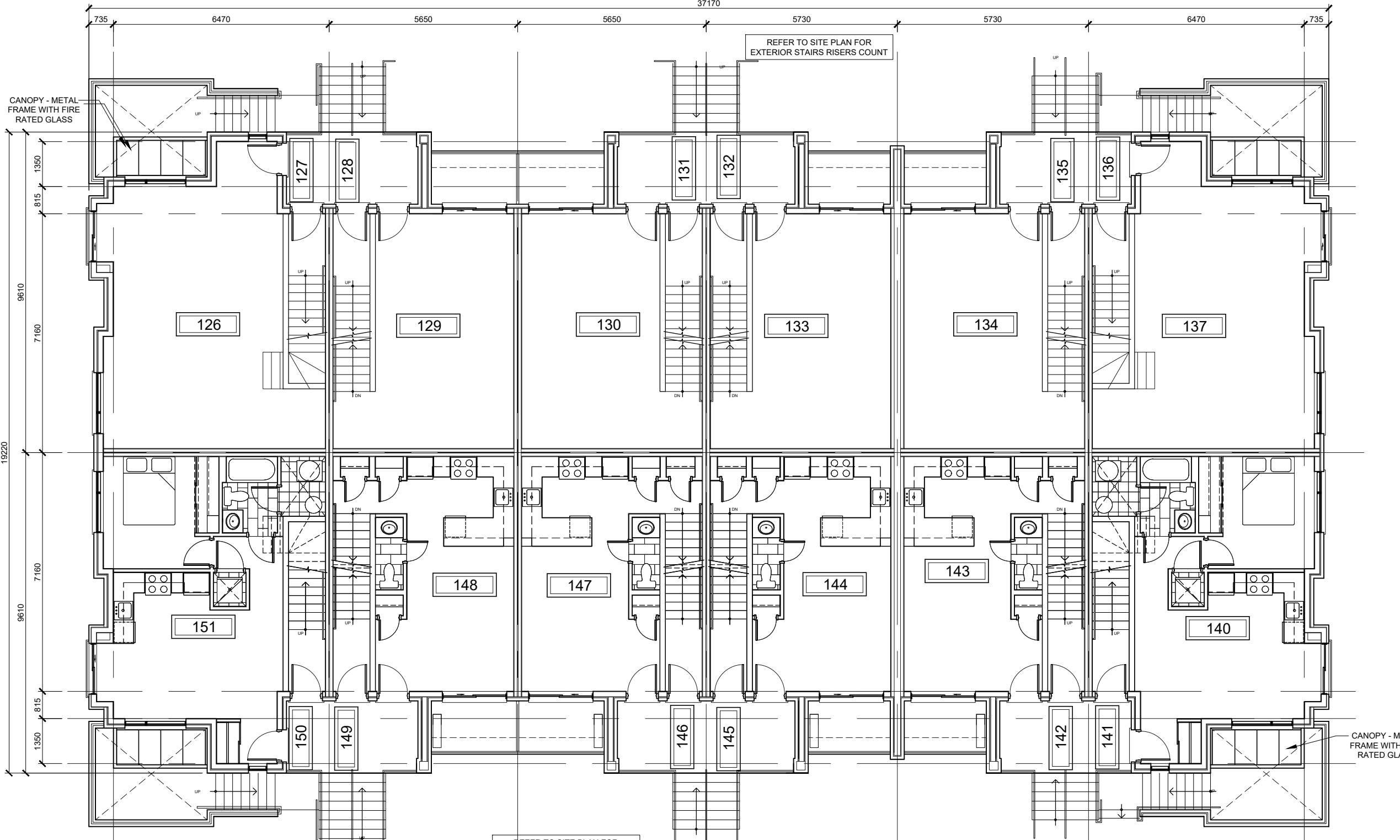
LOWER LEVEL - BLOCK 7

SCALE: 1:125

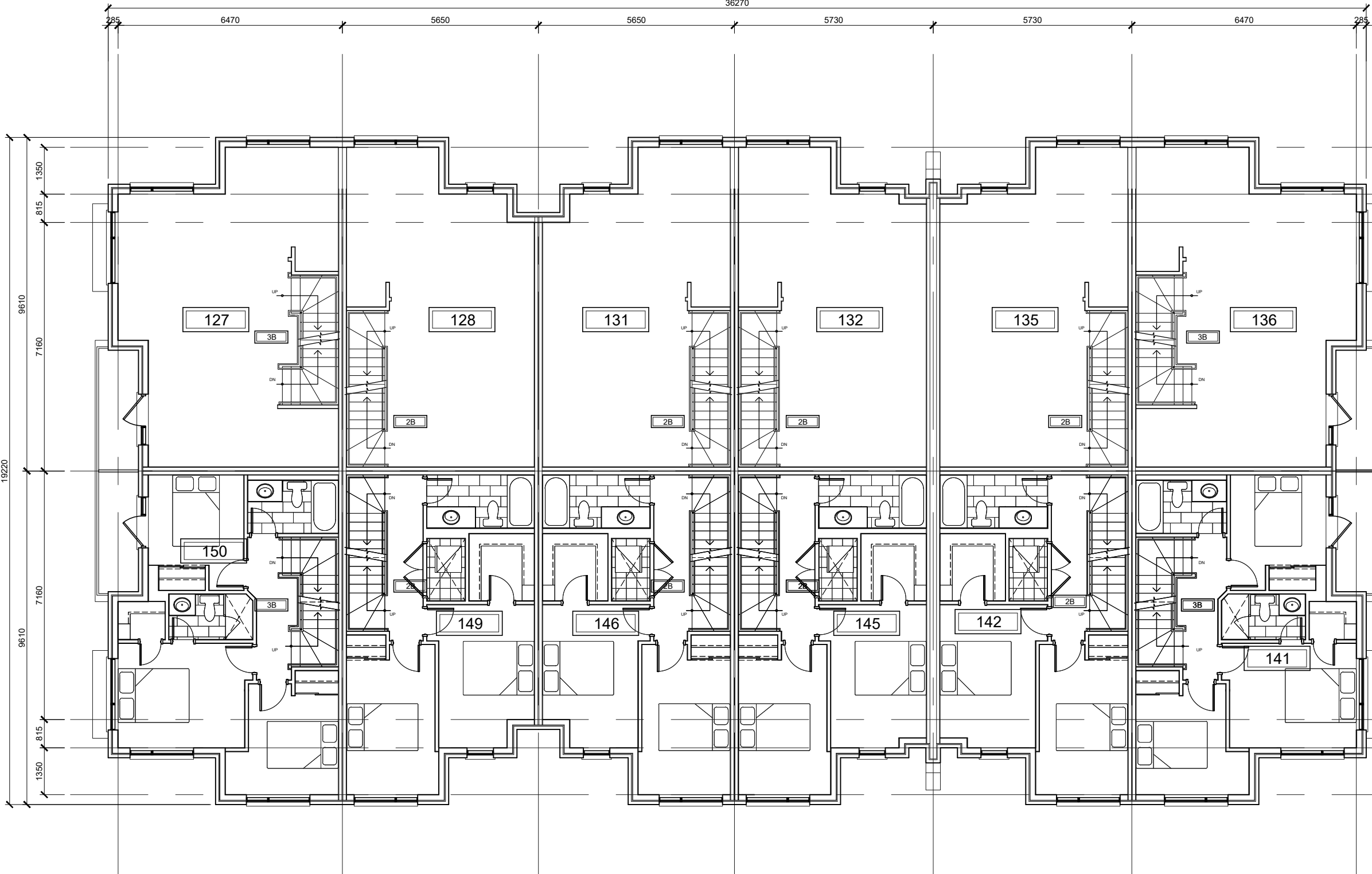
640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR EACH  
SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 7  
A330 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)



2 GROUND FLOOR - BLOCK 7  
A330 SCALE: 1:125 586.7 SQ.M. (6,315 SQ.FT.)



4 THIRD FLOOR - BLOCK 7  
A330 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)

[illegible]

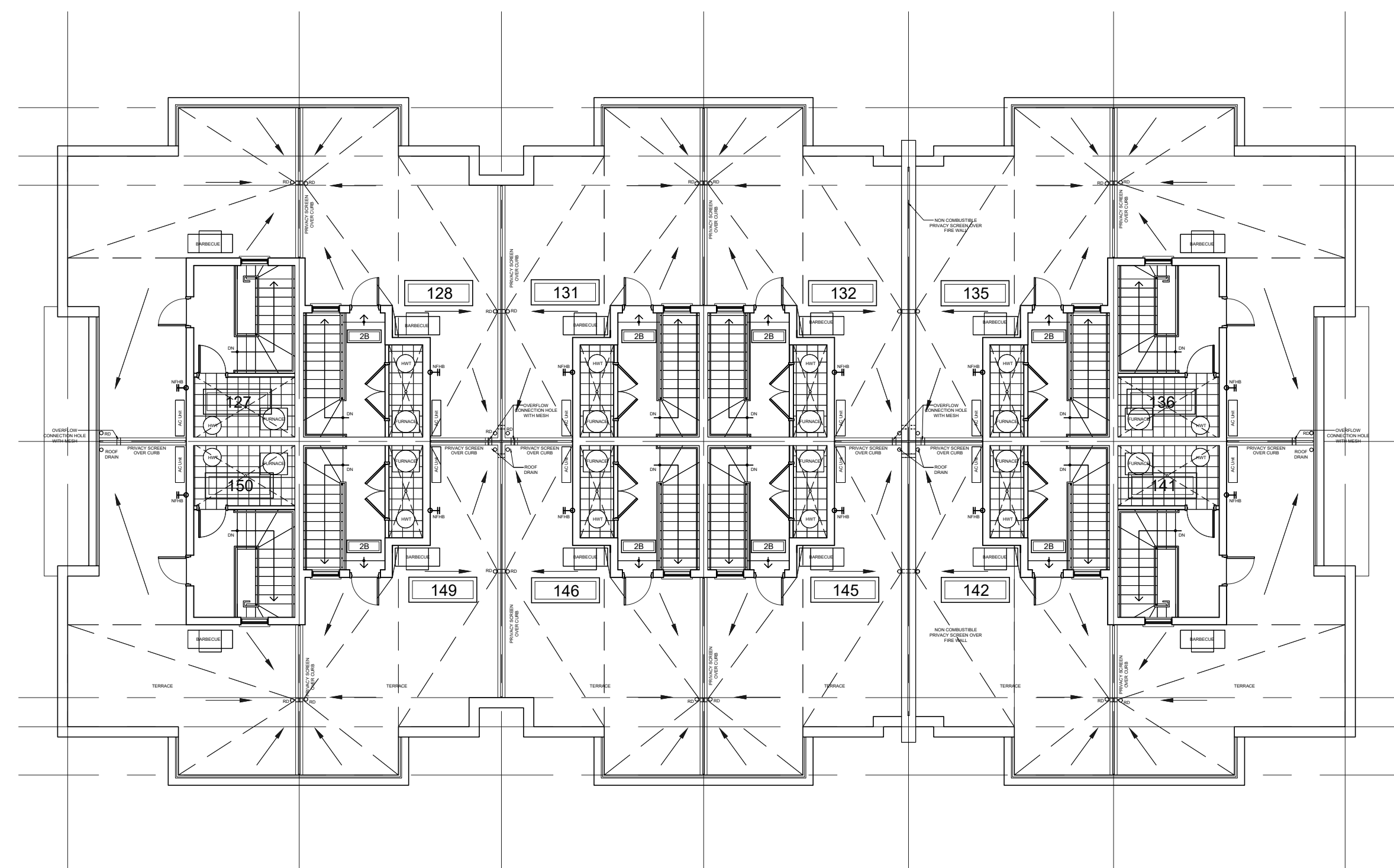
 <p style="font-size: 1.2em; margin: 0;">ARCHITECTS</p> <p style="margin: 0;">8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p style="text-align: center;"><i>gr.</i></p> <p>GREGORY PATRICK RASPIN LICENCE 6890</p> <p style="color: blue; font-style: italic;">April 19, 2020</p>	 <p style="text-align: right; font-size: 0.8em;">© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: <b>MARIANNEVILLE DEVELOPMENTS LIMITED</b> 26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: <b>MIXED-USE RESIDENTIAL</b> BLOCK 164 / 165 GLENWAT - NEWMARKET, ON</p>	
<p>DRAWING TITLE: <b>FLOOR PLANS BLOCK 7</b></p>	
<p>DATE: 18/11/19</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:125</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p style="font-size: 2.5em; font-weight: bold;">S17066      A330</p>	



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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

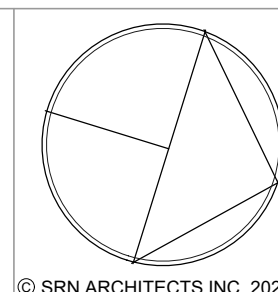
[illegible]

1 MECHANICAL PENTHOUSE - BLOCK 7  
A331 SCALE: 1:125 169.4 SQ.M. (1,823 SQ.FT.)



ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 11

DATE: 18/11/19

SCALE: 1:125

DRAWN BY: N.W.

BY: N.W.

PROJECT NUMBER:

PROJECT NUMBER:

DRAWING NUMBER:

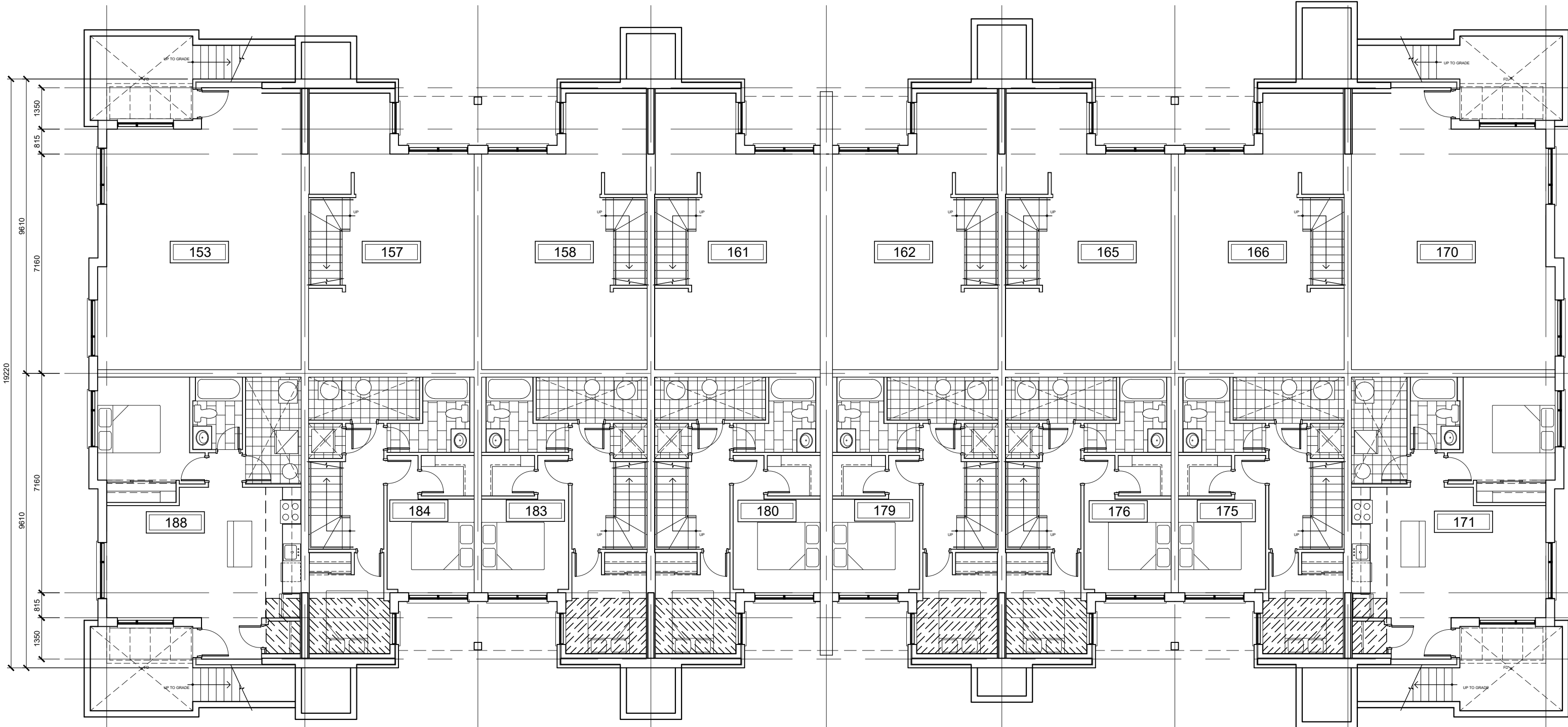
S17066 | A331



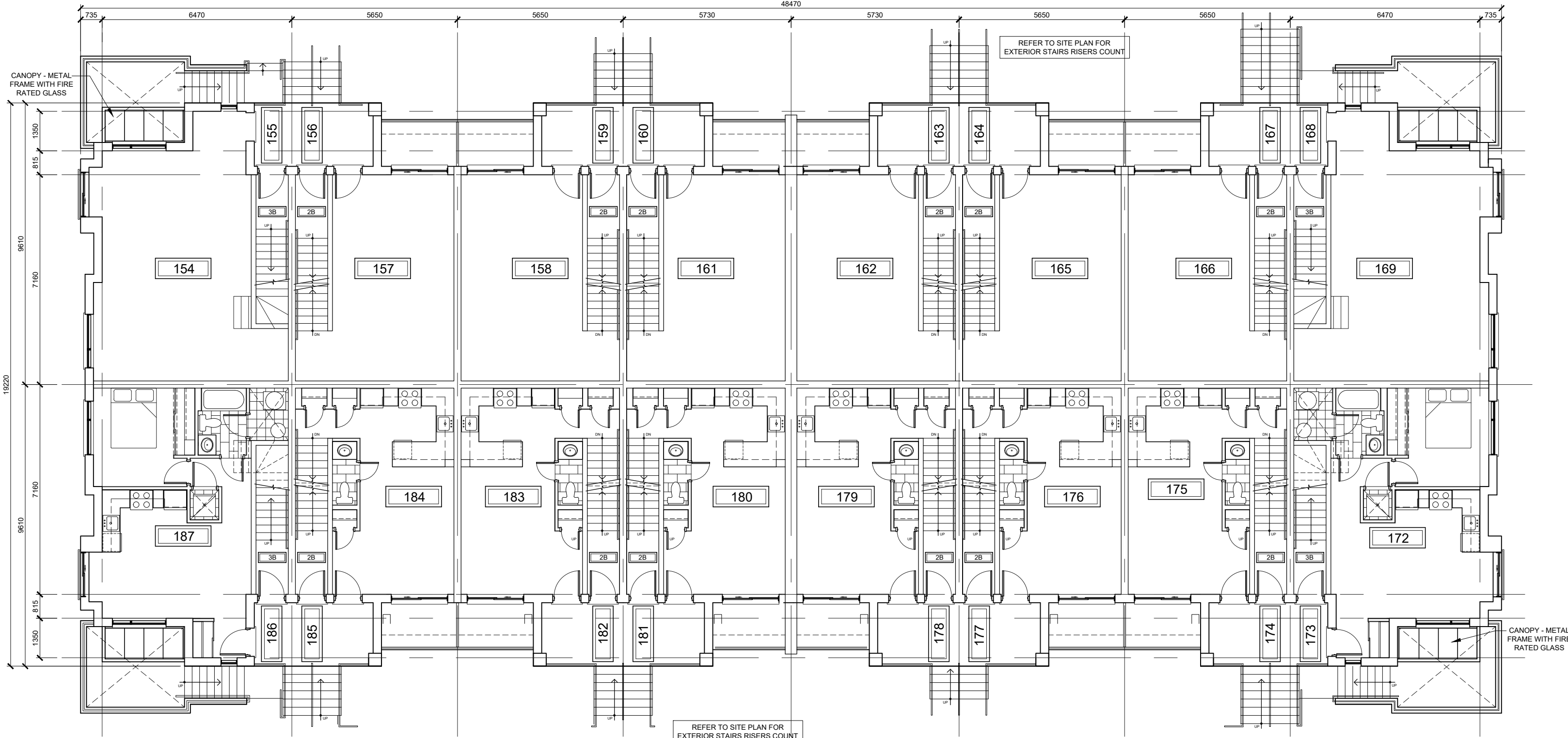
THESE DRAWINGS ARE NOT TO BE SCALED:  
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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	28/07/20	CLIENT REVIEW
0	04/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:



1 LOWER LEVEL - BLOCK 8  
A332 SCALE: 1:125  
835.5 SQ.M. (8,993 SQ.FT.)  
417.75 SQ.M. + 417.75 SQ.M. FOR  
EACH SIDE OF THE FIRE WALL




2 GROUND FLOOR - BLOCK 8  
A332 SCALE: 1:125 757.7 SQ.M. (8,156 SQ.FT.)



SRN  
ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



SRN ARCHITECTS INC. 2020

CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 8

DATE: 18/11/19 SCALE: 1:125

DRAWN BY: N.W. | CHECKED BY: G.P.R

PROJECT NUMBER:	DRAWING NUMBER:
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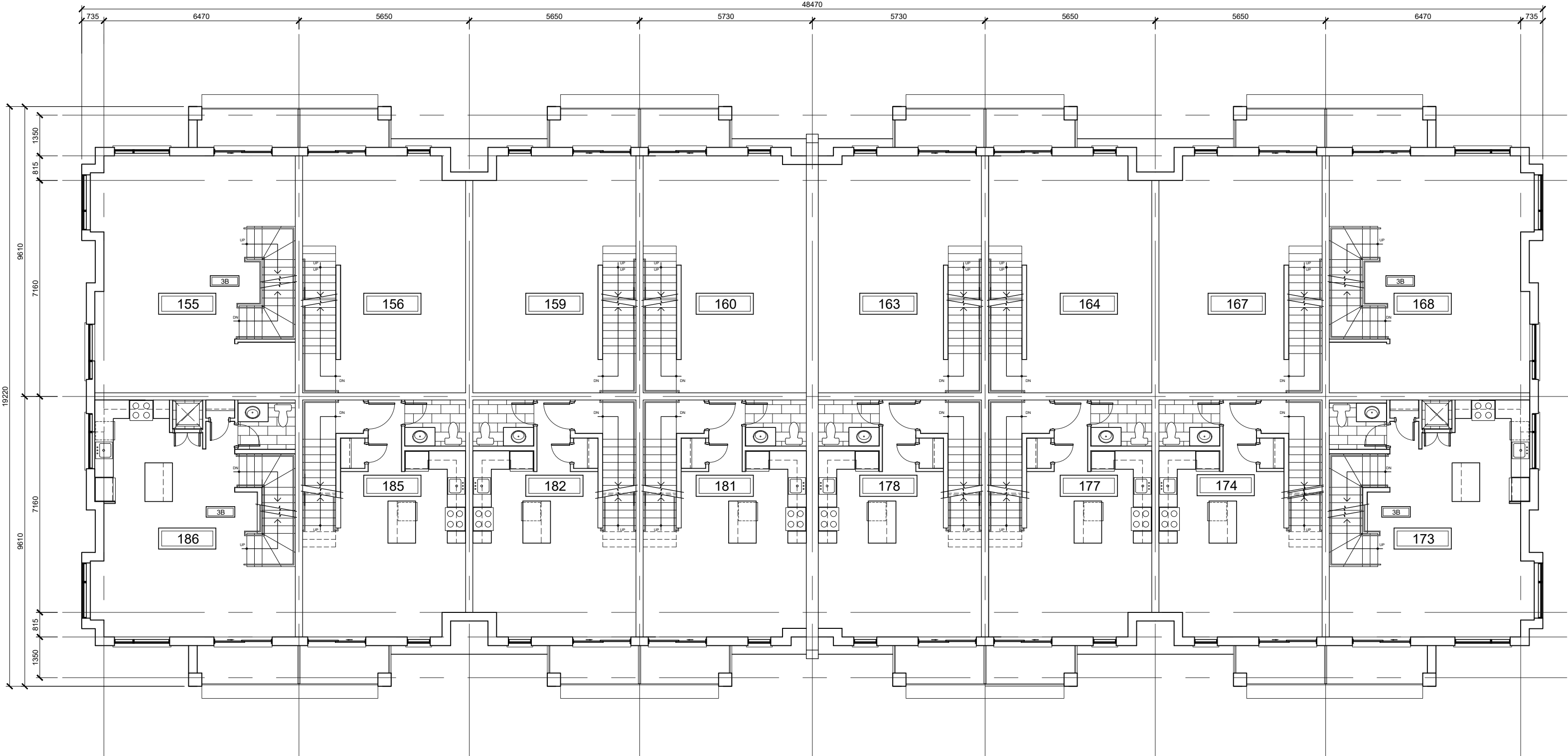
S17066 A332



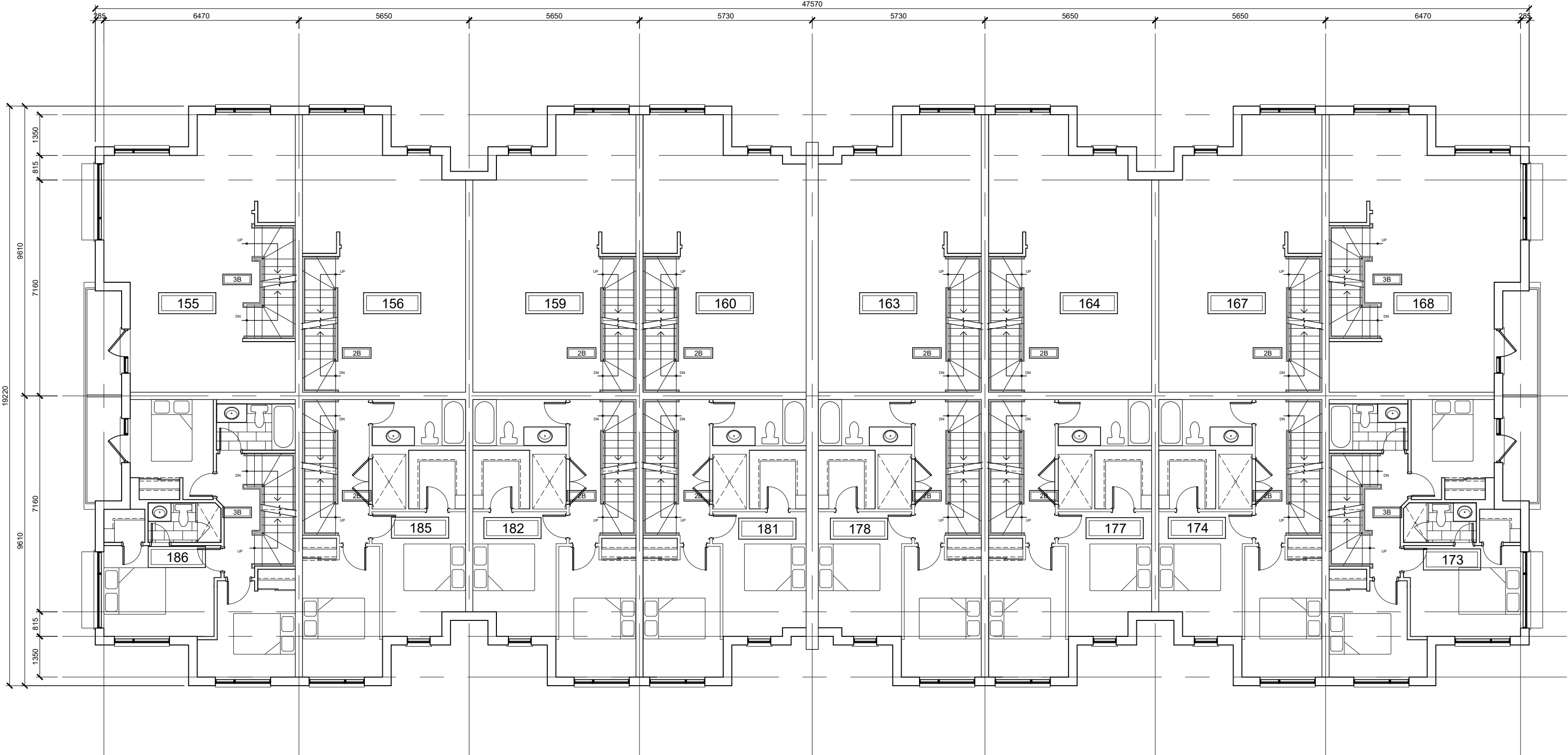
THESE DRAWINGS ARE NOT TO BE SCALED:  
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	28/07/20	CLIENT REVIEW
0	04/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:



1 SECOND FLOOR - BLOCK 8  
A333 SCALE: 1:125 788.6 SQ.M. (8,488 SQ.FT.)



2 THIRD FLOOR - BLOCK 8  
A333 SCALE: 1:125 836.7 SQ.M. (9,006 SQ.FT.)

[illegible]

 <p>ARCHITECTS</p> <p>8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p><i>gr.</i></p> <p>GREGORY PATRICK RASPIN LICENCE 6890</p> <p><i>April 19, 2020</i></p>	 <p>© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: MARIANNEVILLE DEVELOPMENTS LIMITED 26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: MIXED-USE RESIDENTIAL BLOCK 164 / 165 GLENWAT - NEWMARKET, ON</p>	
<p>DRAWING TITLE: FLOOR PLANS BLOCK 8</p>	
<p>DATE: 18/11/19</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:125</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p>S17066 A333</p>	



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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

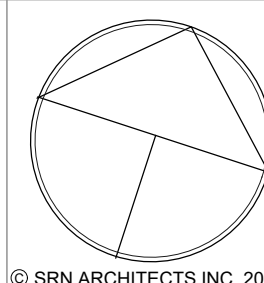
	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



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DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

LOOR PLANS  
BLOCK 8

DATE: 18/11/19

SCALE: 1:125

DRAWN BY: N.W.

CHECKED BY: G.P.F.

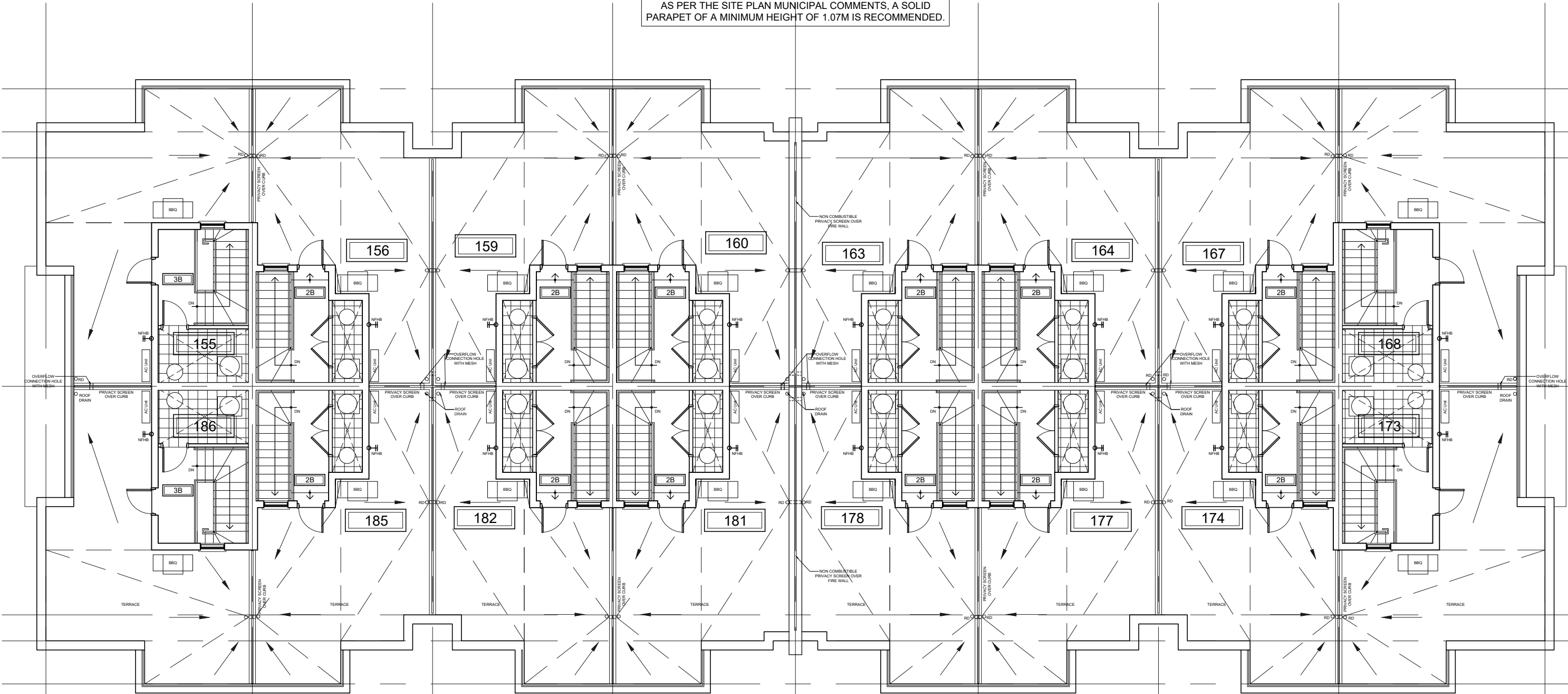
PROJECT NUMBER:

RAWING NUMBER

**S17066**

Λ 22

S17066 | A334



FOR ROOFTOP OUTDOOR AMENITY OF ALL BLOCKS LOCATED  
ALONG DAVIS DRIVE:  
AS PER THE SITE PLAN MUNICIPAL COMMENTS, A SOLID  
PARAPET OF A MINIMUM HEIGHT OF 1.07M IS RECOMMENDED.

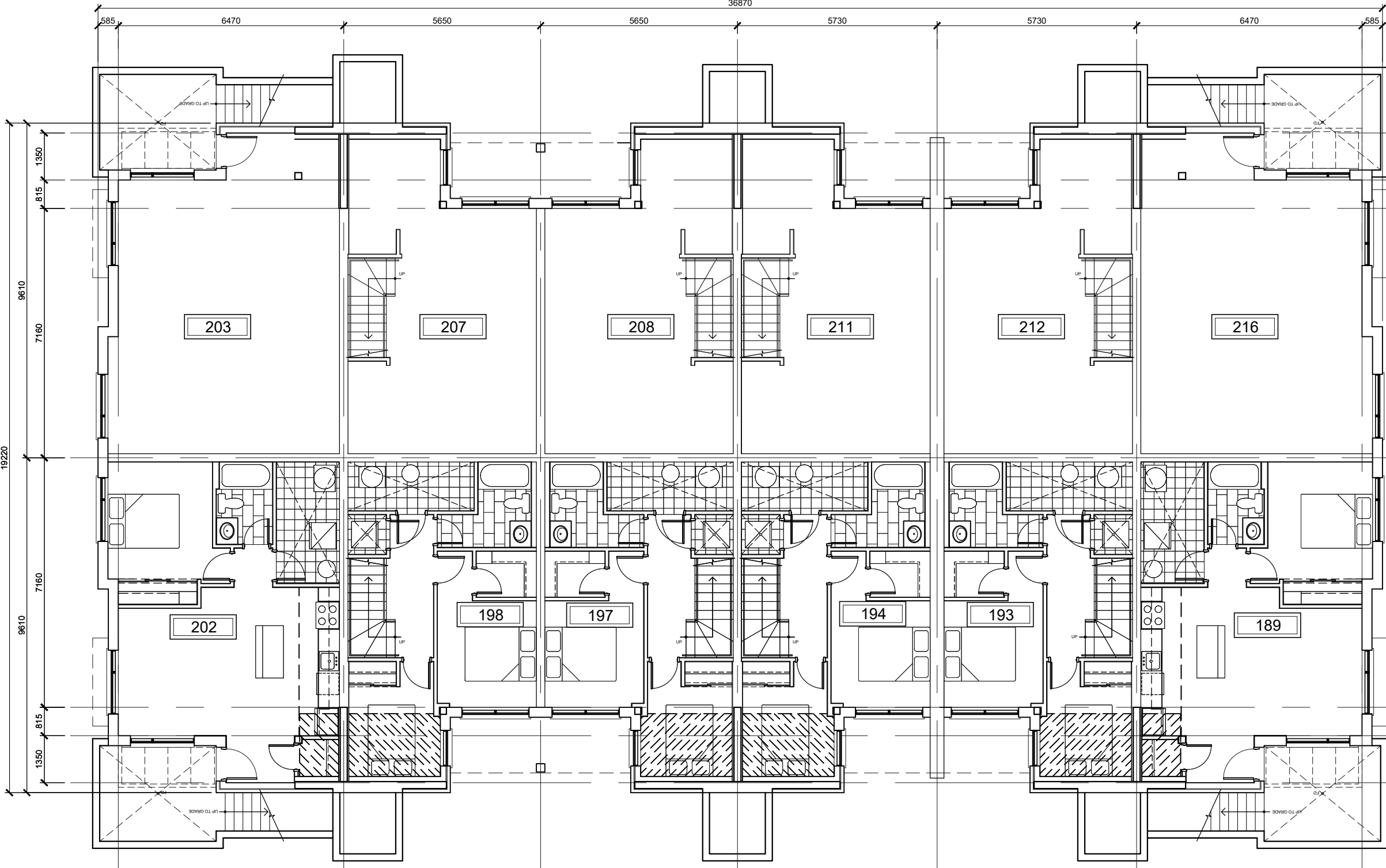
1 MECHANICAL PENTHOUSE - BLOCK 8  
A333 SCALE: 1:125 221.2 SQ.M. (2,381 SQ.FT.)



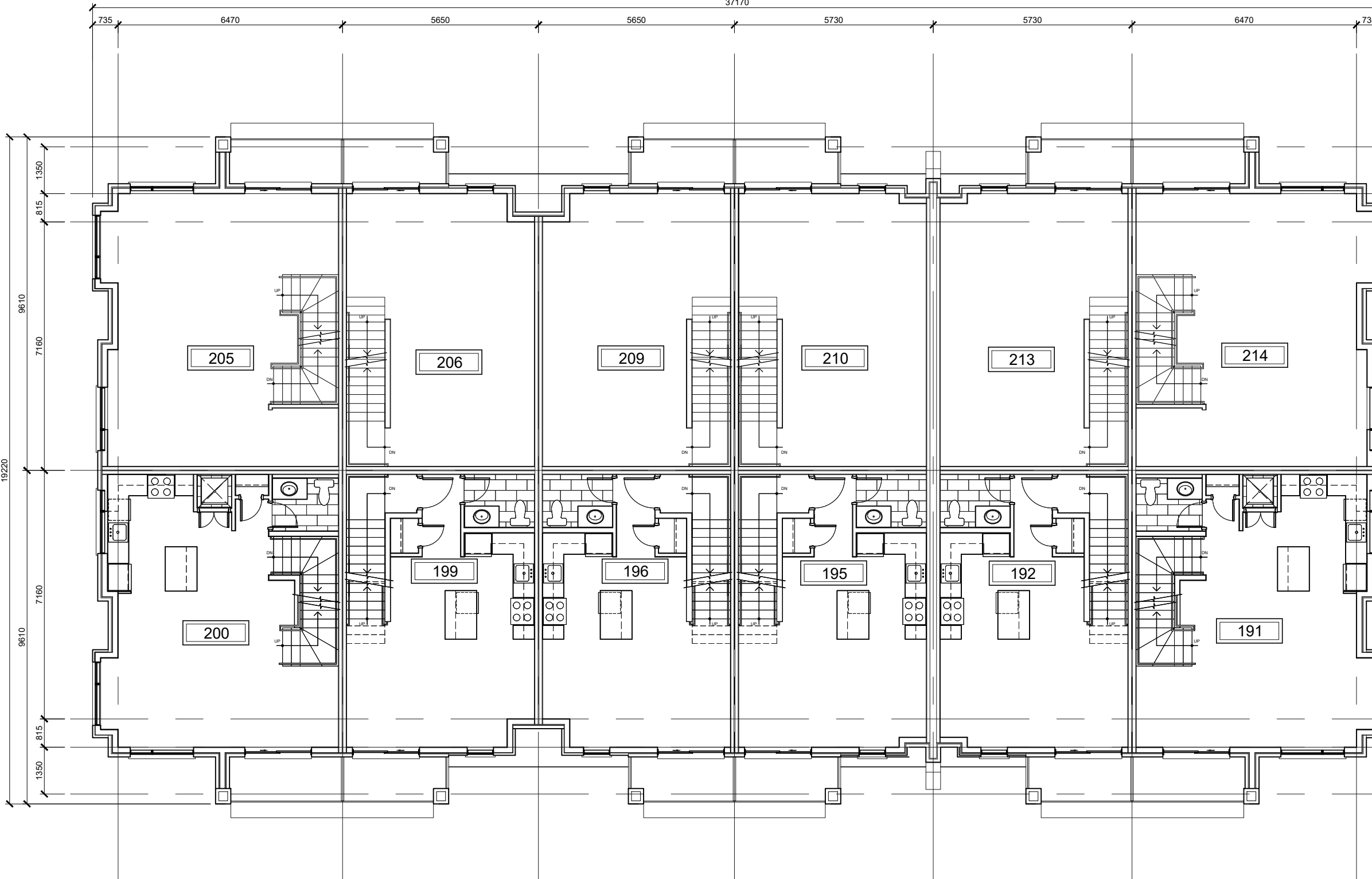
THESE DRAWINGS ARE NOT TO BE SCALED:  
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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

DATE	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 28/07/20	CLIENT REVIEW
0 04/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

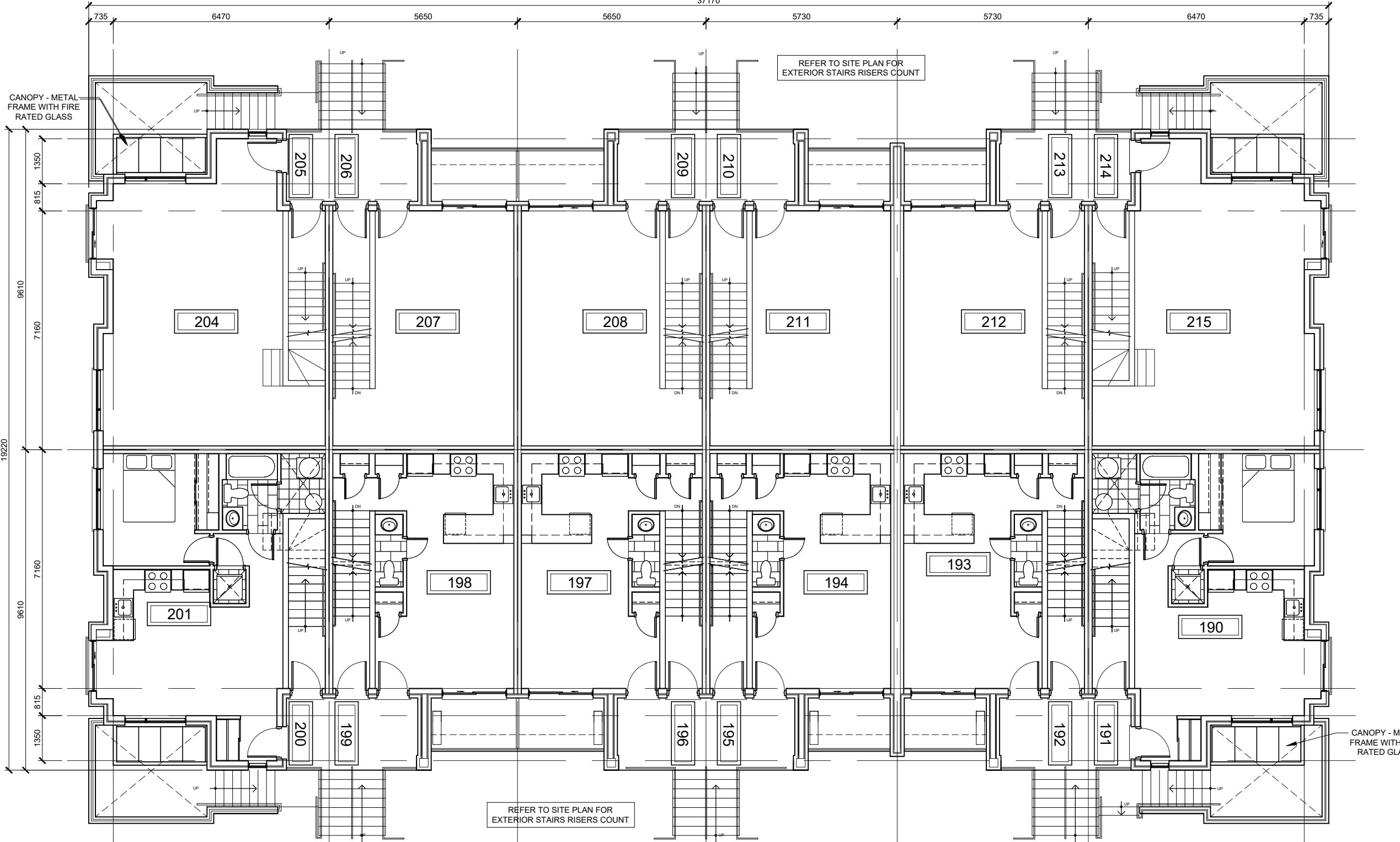
ADDITIONAL NOTES:



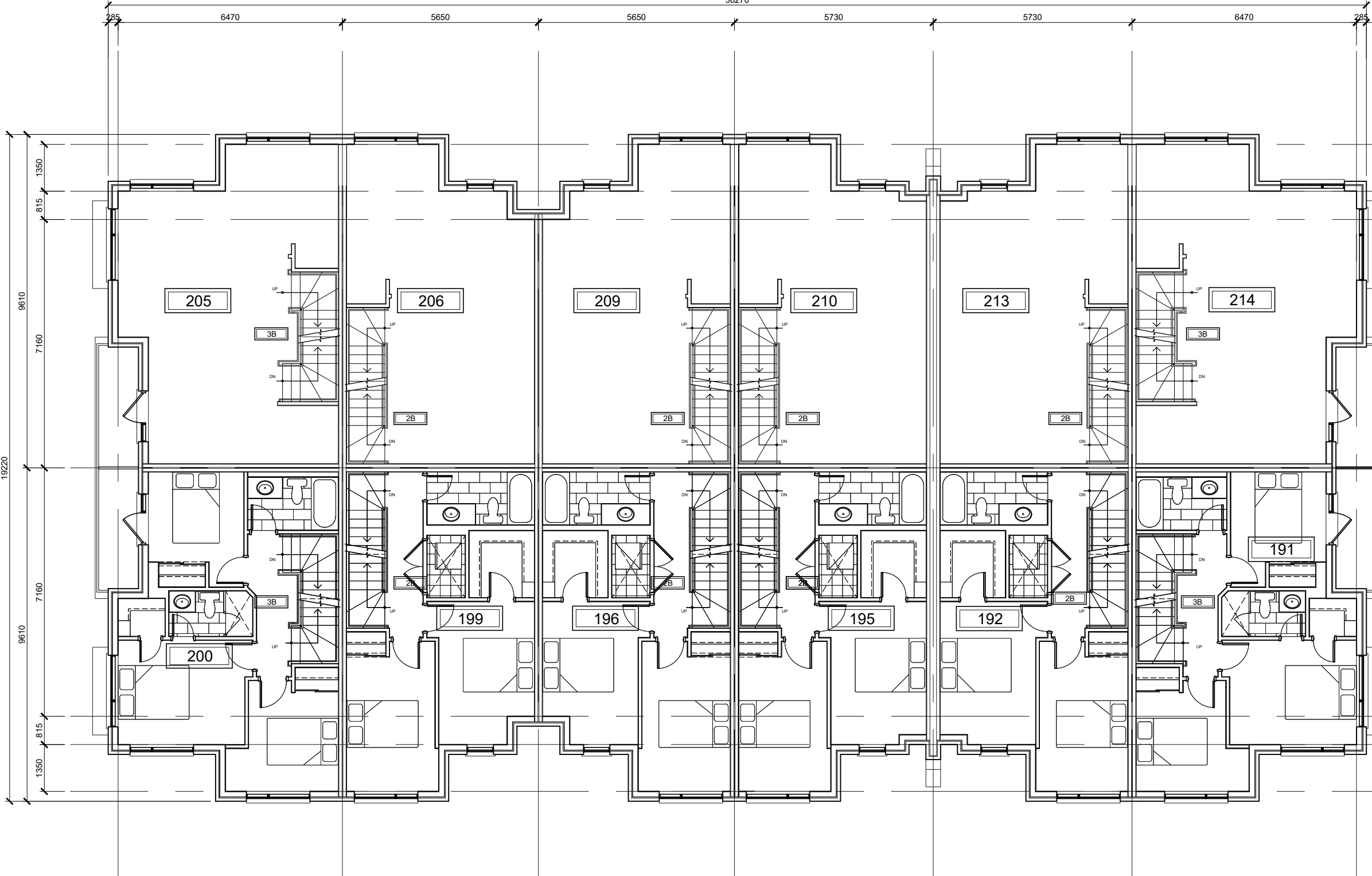
1  
A335 LOWER LEVEL - BLOCK 9  
SCALE: 1:125  
640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR EACH  
SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 9  
A335 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)



2 GROUND FLOOR - BLOCK 9  
A335 SCALE: 1:125 586.7 SQ.M. (6,315 SQ.FT.)



4 THIRD FLOOR - BLOCK 9  
A335 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)

[illegible]

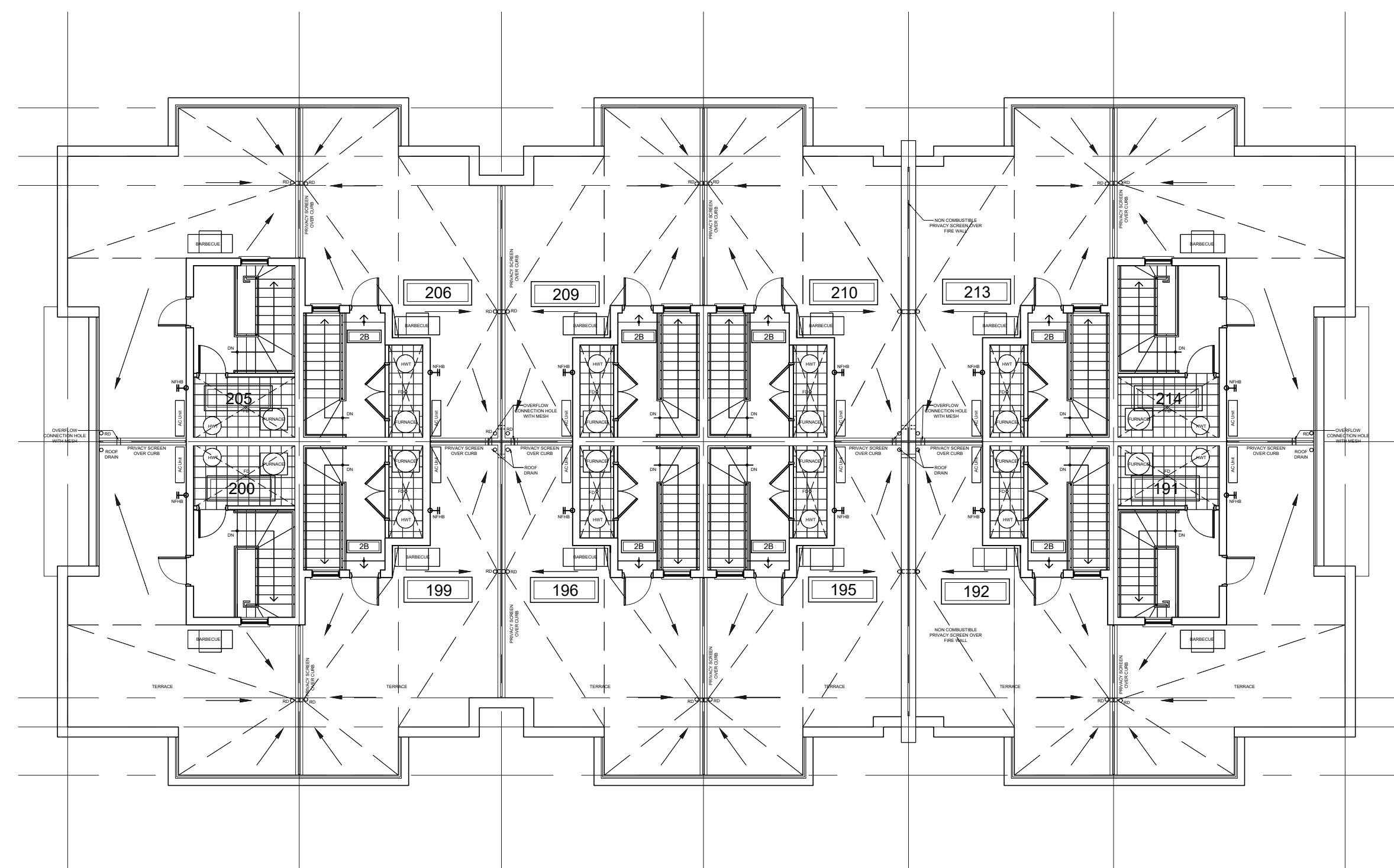
 <p style="font-size: 1.2em; margin: 0;">8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p style="text-align: center;"><i>gr.</i></p> <p>GREGORY PATRICK RASPIN LICENCE 6800</p> <p style="text-align: center; color: blue;">April 19, 2020</p>	 <p style="text-align: right;">© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: <b>MARIANNEVILLE DEVELOPMENTS LIMITED</b> 26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: <b>MIXED-USE RESIDENTIAL</b> BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE: <b>FLOOR PLANS BLOCK 9</b></p>	
<p>DATE: 18/11/19</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:125</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p style="font-size: 2.5em; font-weight: bold;">S17066      A335</p>	



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DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 04/07/20	CLIENT REVIEW
0 28/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

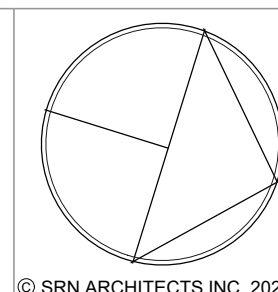
[illegible]

5 MECHANICAL PENTHOUSE - BLOCK 9  
A336 SCALE: 1:125 169.4 SQ.M. (1,823 SQ.FT.)



ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 9

SCALE: 1:125

CHECKED BY: G.P.R

DRAWING NUMBER

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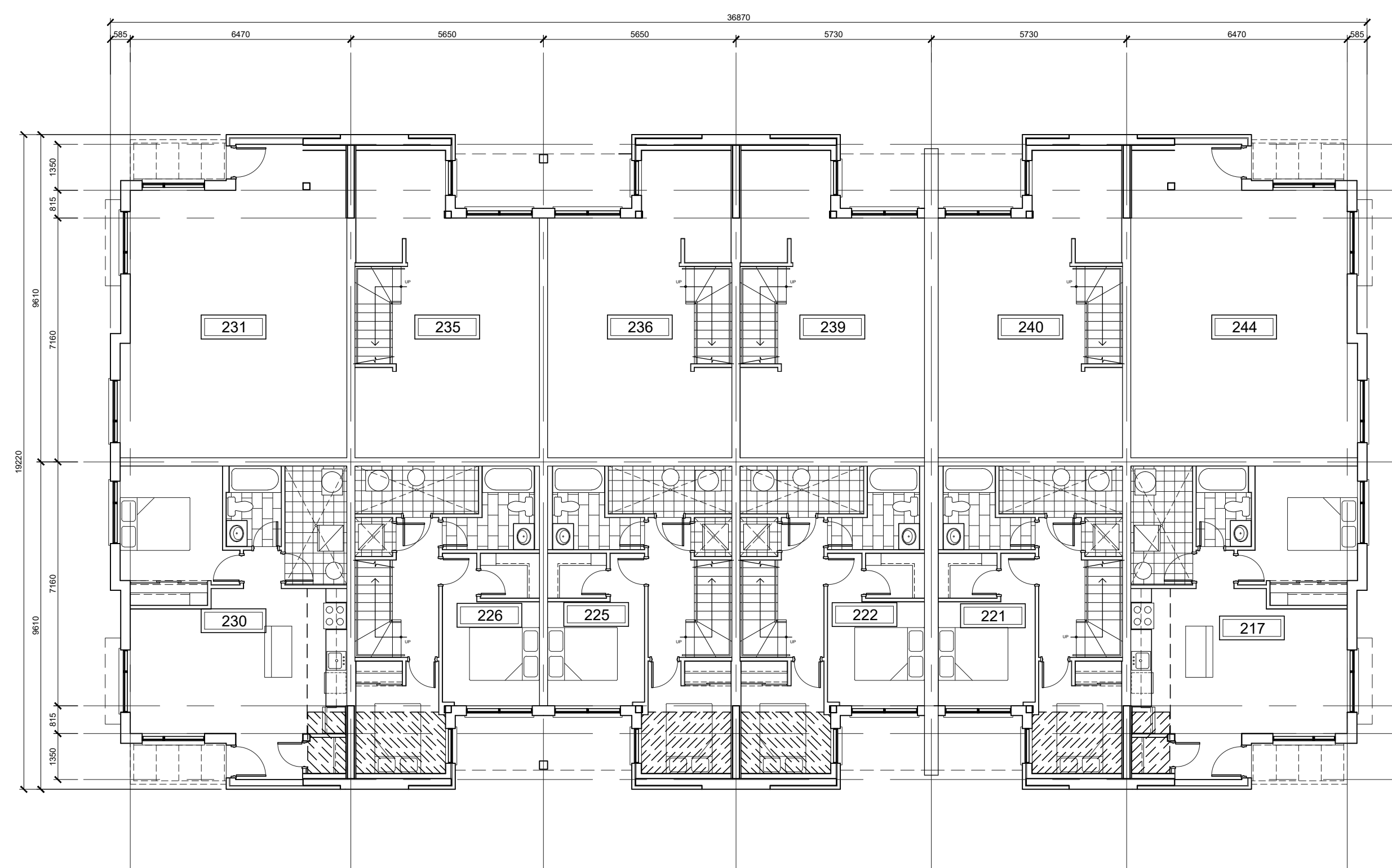
S17066 | A336



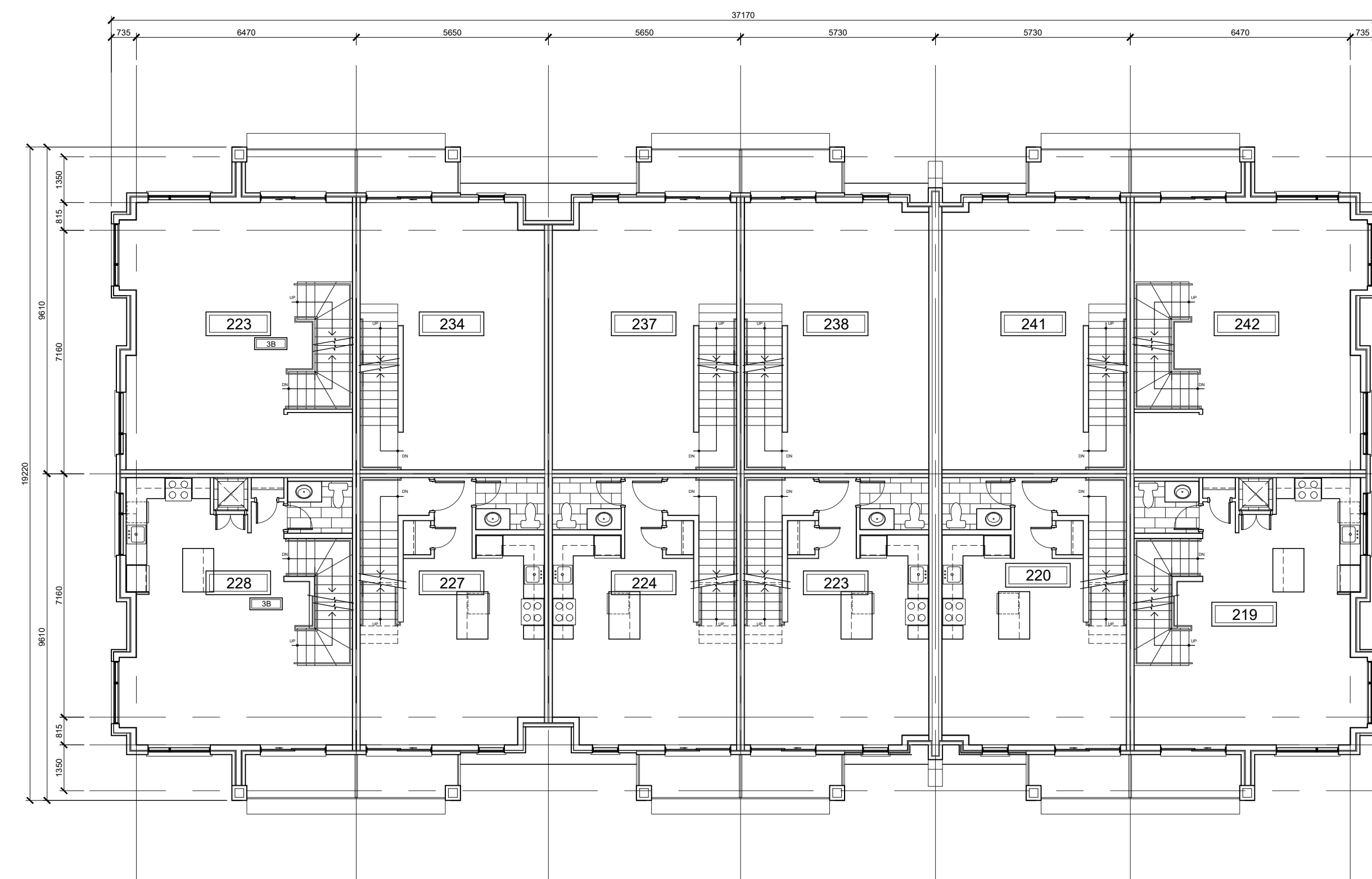
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DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 04/07/20	CLIENT REVIEW
0 28/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

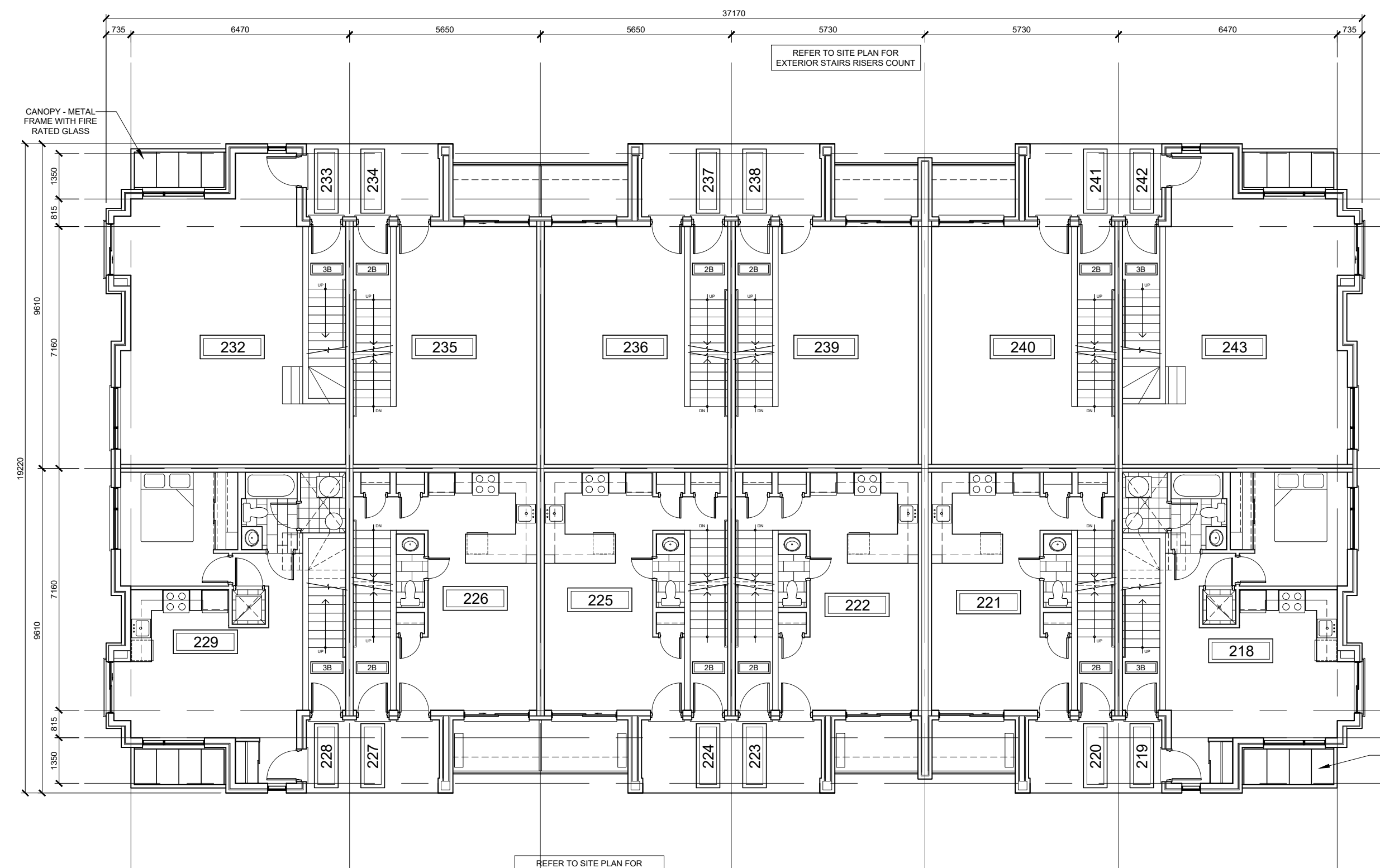
ADDITIONAL NOTES:



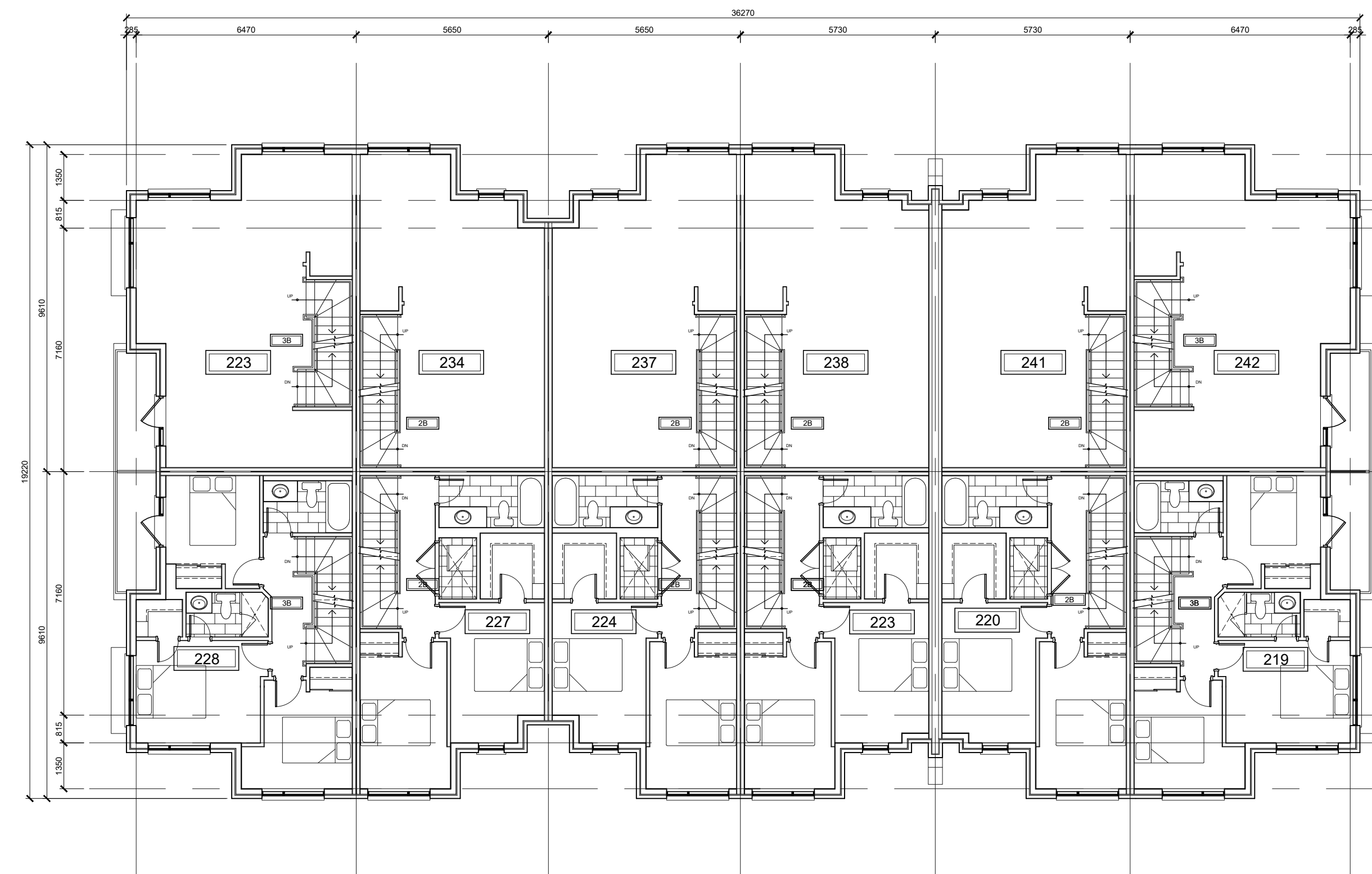
1  
A337 LOWER LEVEL - BLOCK 10  
SCALE: 1:125  
640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR  
EACH SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 10  
A337 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)



2 GROUND FLOOR - BLOCK 10  
A337 SCALE: 1:125 586.7 SQ.M. (6,315 SQ.FT.)



4 THIRD FLOOR - BLOCK 10  
A337 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)

[illegible]

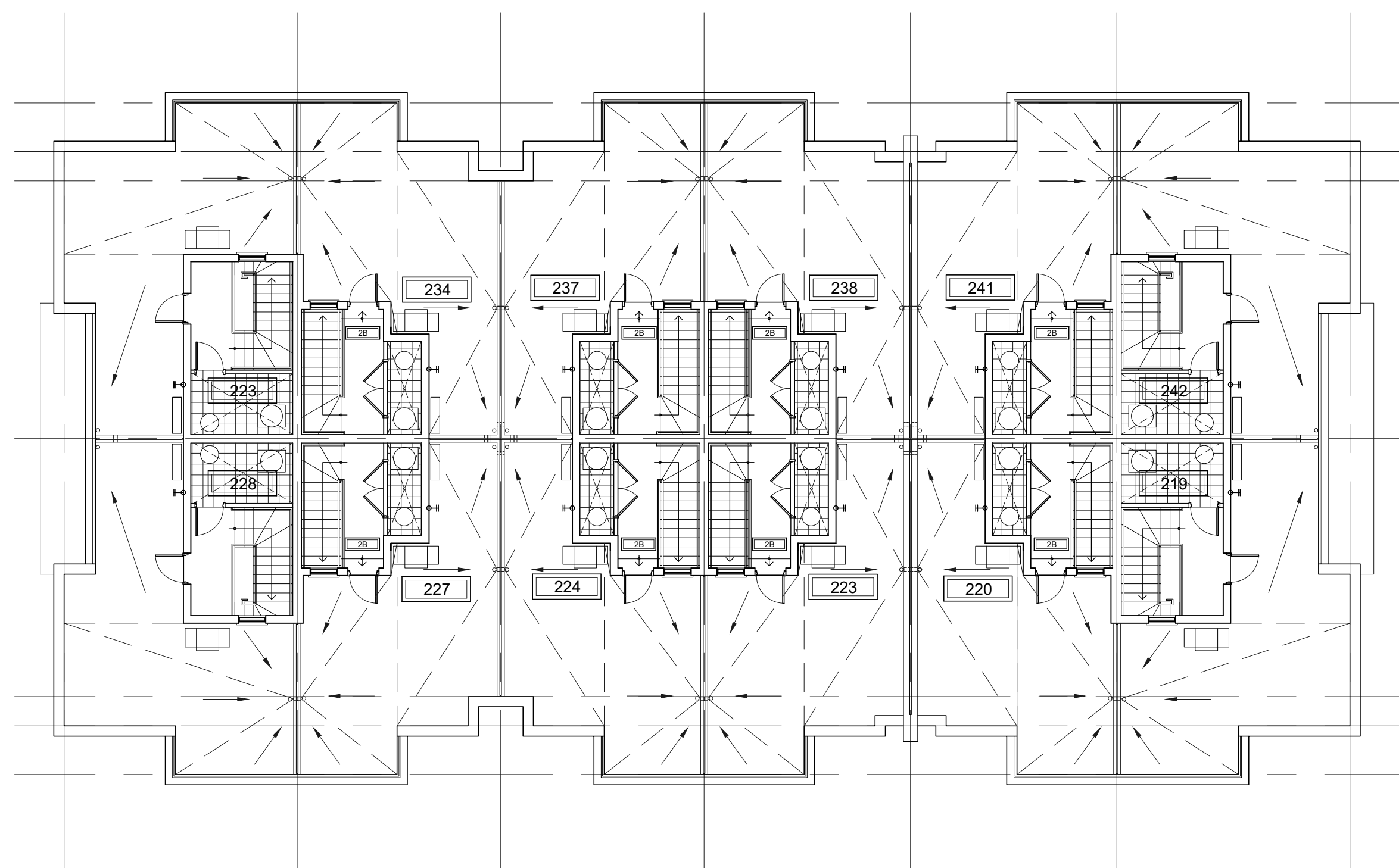
 <p style="font-size: 1.2em; margin: 0;">8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
<p style="text-align: center;">ONTARIO ASSOCIATION OF ARCHITECTS</p> <p style="text-align: center;"><i>gr.</i></p> <p style="text-align: center;">GREGORY PATRICK RASPIN LICENCE 6800</p> <p style="text-align: center;">April 19, 2020</p>	 <p style="text-align: center;">© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: <b>MARIANNEVILLE DEVELOPMENTS LIMITED</b> 26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: <b>MIXED-USE RESIDENTIAL</b> BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE:</p> <p style="text-align: center; font-size: 1.5em;"><b>FLOOR PLANS BLOCK 10</b></p>	
<p>DATE: 18/11/19</p> <p>DRAWN BY: N.W.</p> <p>PROJECT NUMBER:</p>	<p>SCALE: 1:125</p> <p>CHECKED BY: G.P.R.</p> <p>DRAWING NUMBER:</p>
<p style="font-size: 3em; font-weight: bold;">S17066      A337</p>	



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NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

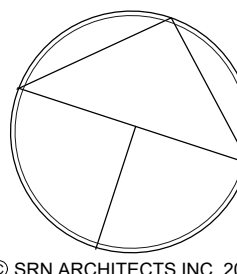
### ADDITIONAL NOTES



1 MECHANICAL PENTHOUSE - BLOCK 10  
A338 SCALE: 1:125 169.4 SQ.M. (1,823 SQ.FT.)

[illegible]The logo for SRN Architects, featuring the letters "SRN" in a large, bold, orange sans-serif font, with the word "ARCHITECTS" in a smaller, grey sans-serif font directly below it.

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE

FLOOR PLAN  
BLOCK 10

DATE: 18/11/19

SCALE: 1:125

DRAWN BY: N.W

CHECKED BY: G.P.F.

PROJECT NUMBER

DRAWING NUMBER

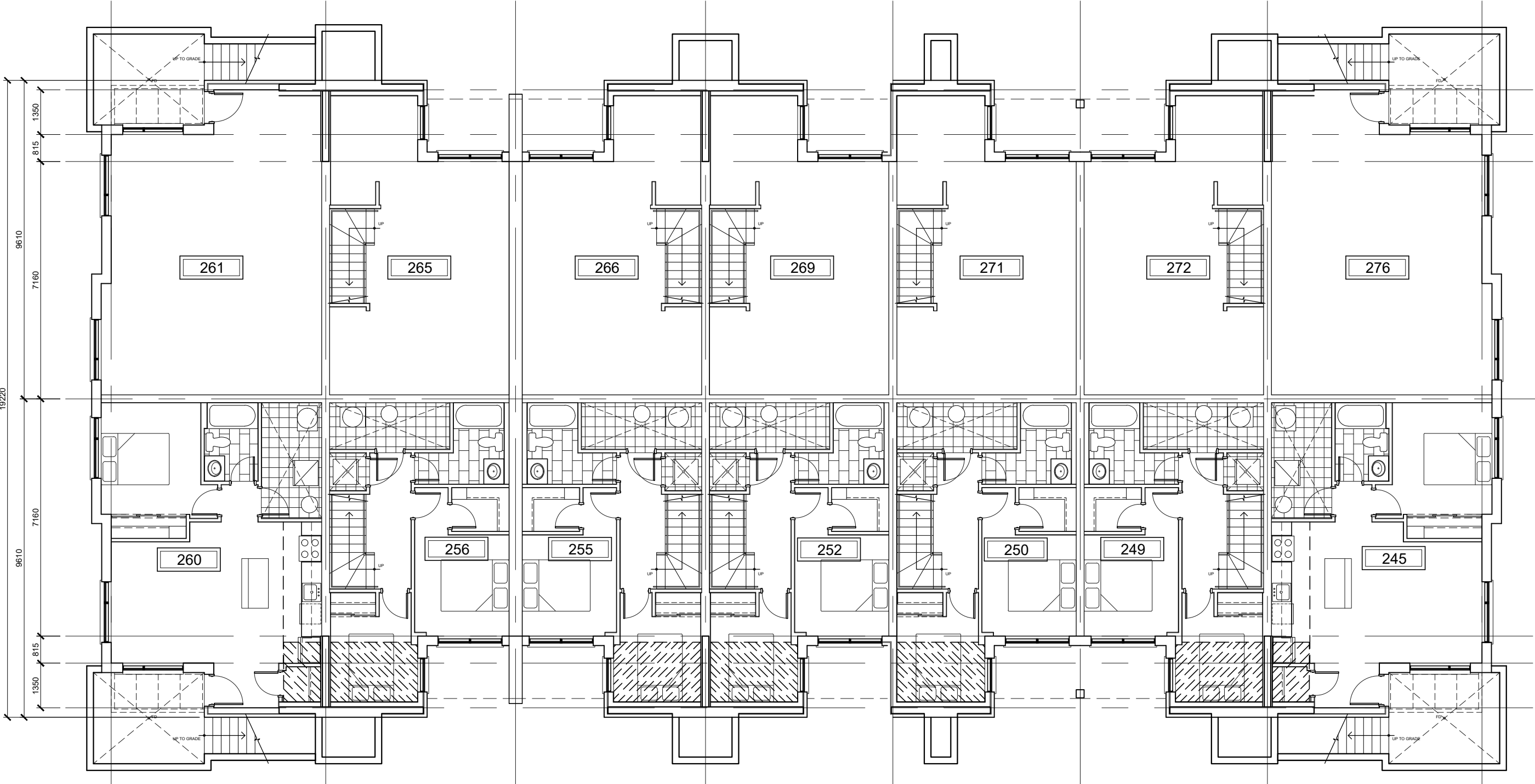
S17066 | A338



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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

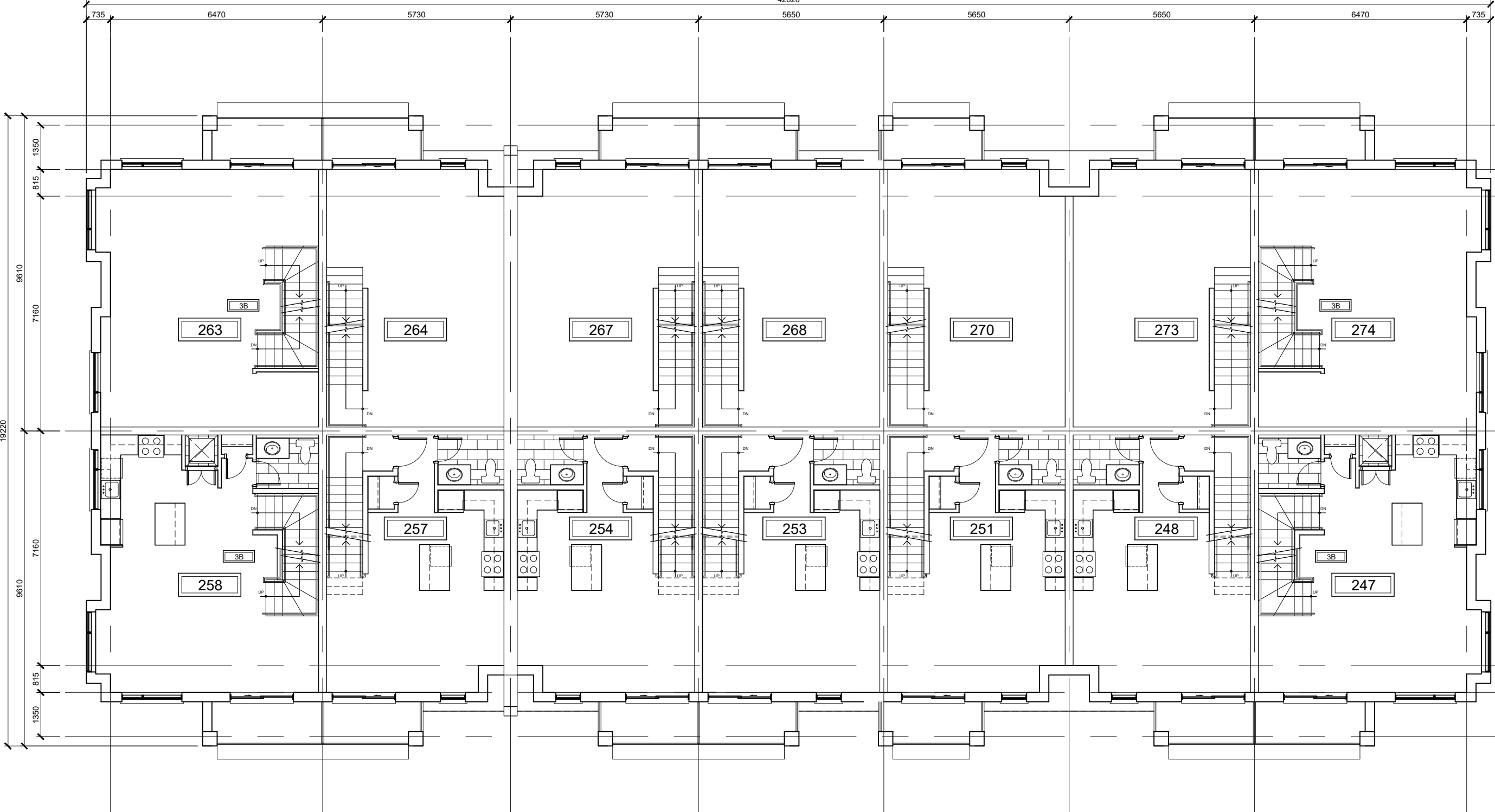
DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 24/07/20	CLIENT REVIEW
0 08/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:



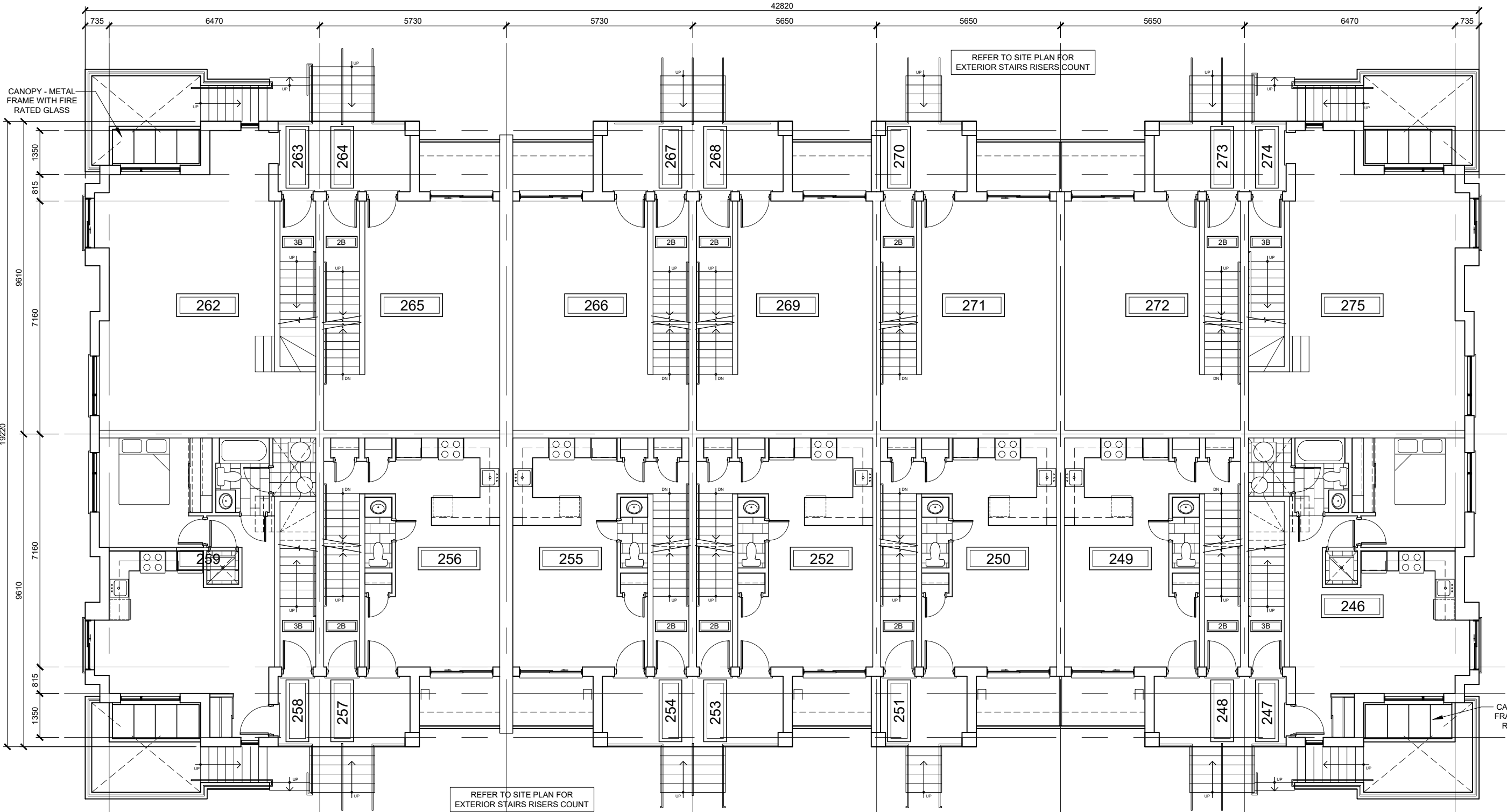
1 LOWER LEVEL - BLOCK 11  
A339 SCALE: 1:125

738.85 SQ.M. (7,953 SQ.FT.)  
223.0 SQ.M. + 515.85 SQ.M. FOR  
EACH SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 11  
A339 SCALE: 1:125

697.3 SQ.M. (7,506 SQ.FT.)

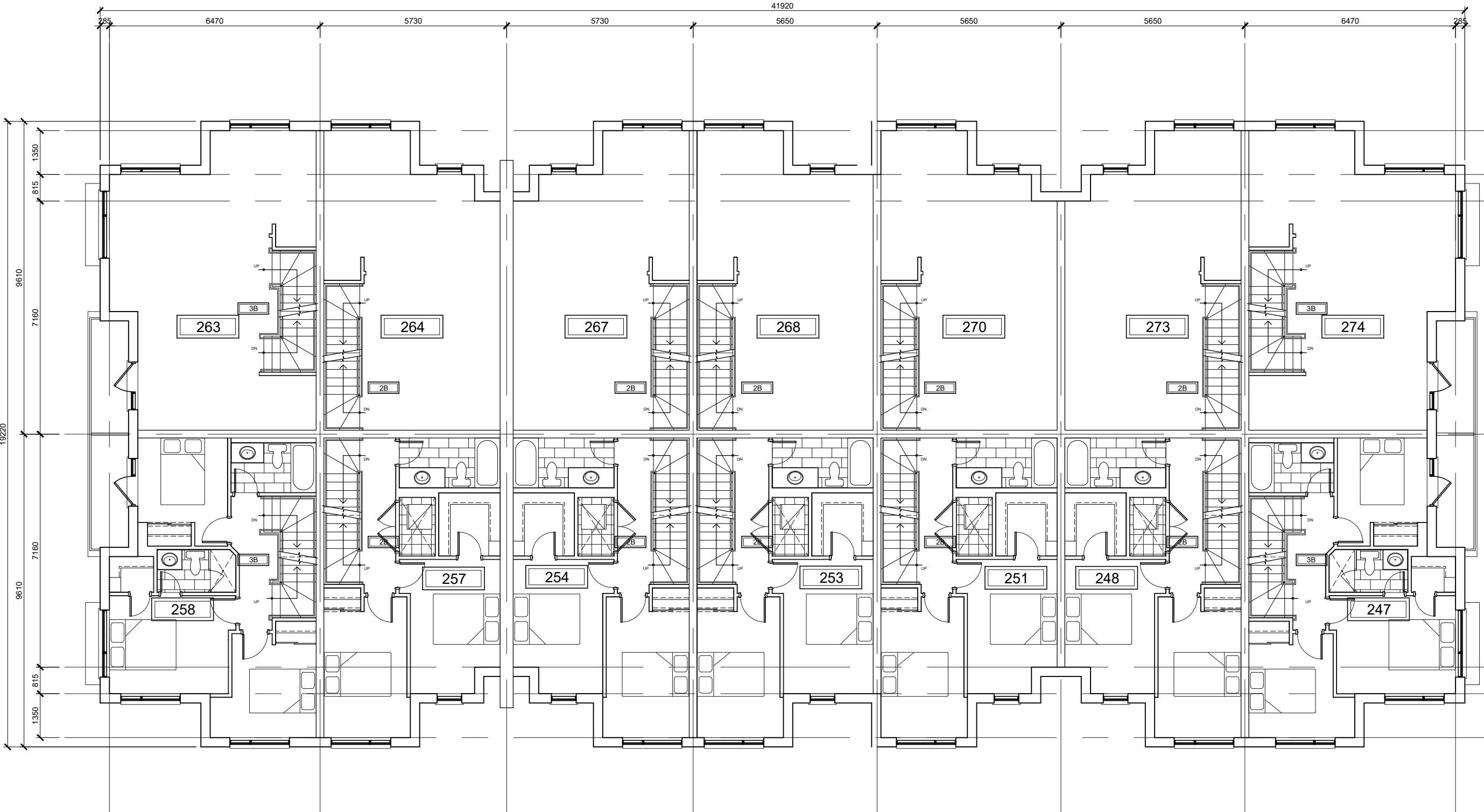


2  
A339

GROUND FLOOR - BLOCK 11

SCALE: 1:125

673.6 SQ.M. (7,251 SQ.FT.)



4 THIRD FLOOR - BLOCK 11  
A339 SCALE: 1:125

737.6 SQ.M. (7,940 SQ.FT.)

[illegible]

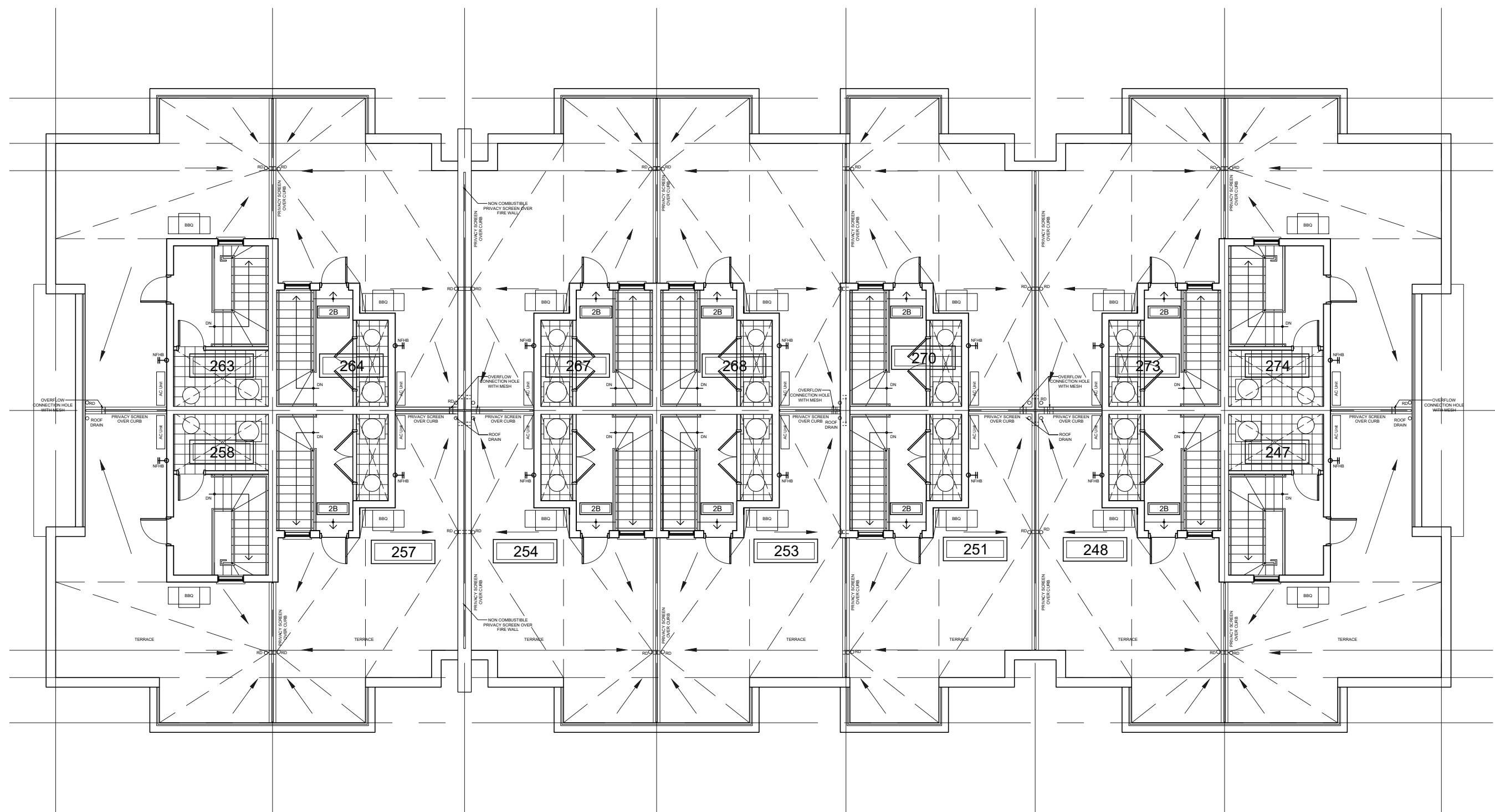
 <p style="font-size: 1.2em; margin: 0;">8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
 <p style="font-size: 0.8em; margin-top: 5px;">© SRN ARCHITECTS INC. 2022</p>	
CLIENT: <b>MARIANNEVILLE DEVELOPMENTS LIMITED</b> 26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129	
PROJECT: <b>MIXED-USE RESIDENTIAL</b> BLOCK 164 / 165 GLENWAY - NEWMARKET, ON	
DRAWING TITLE: <b>FLOOR PLAN BLOCK 11</b>	
DATE: 18/11/19	SCALE: 1:125
DRAWN BY: N.W.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:
<div style="display: flex; justify-content: space-between; font-size: 2.5em; font-weight: bold;"> <span>S17066</span> <span>A339</span> </div>	



THESE DRAWINGS ARE NOT TO BE SCALED:  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

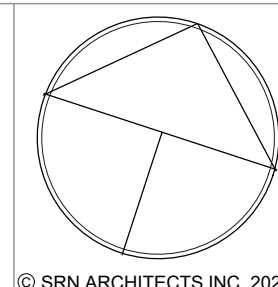
ADDITIONAL NOTES:

[illegible]

1 MECHANICAL PENTHOUSE - BLOCK 11  
A340 SCALE: 1:125 196.6 SQ.M. (2,116 SQ.FT.)



8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 11

DATE: 18/11/19	SCALE: 1:125
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DRAWN BY: N.W.      CHECKED BY: G.P.R.

PROJECT NUMBER:	DRAWING NUMBER:
-----------------	-----------------

S17066 | A340



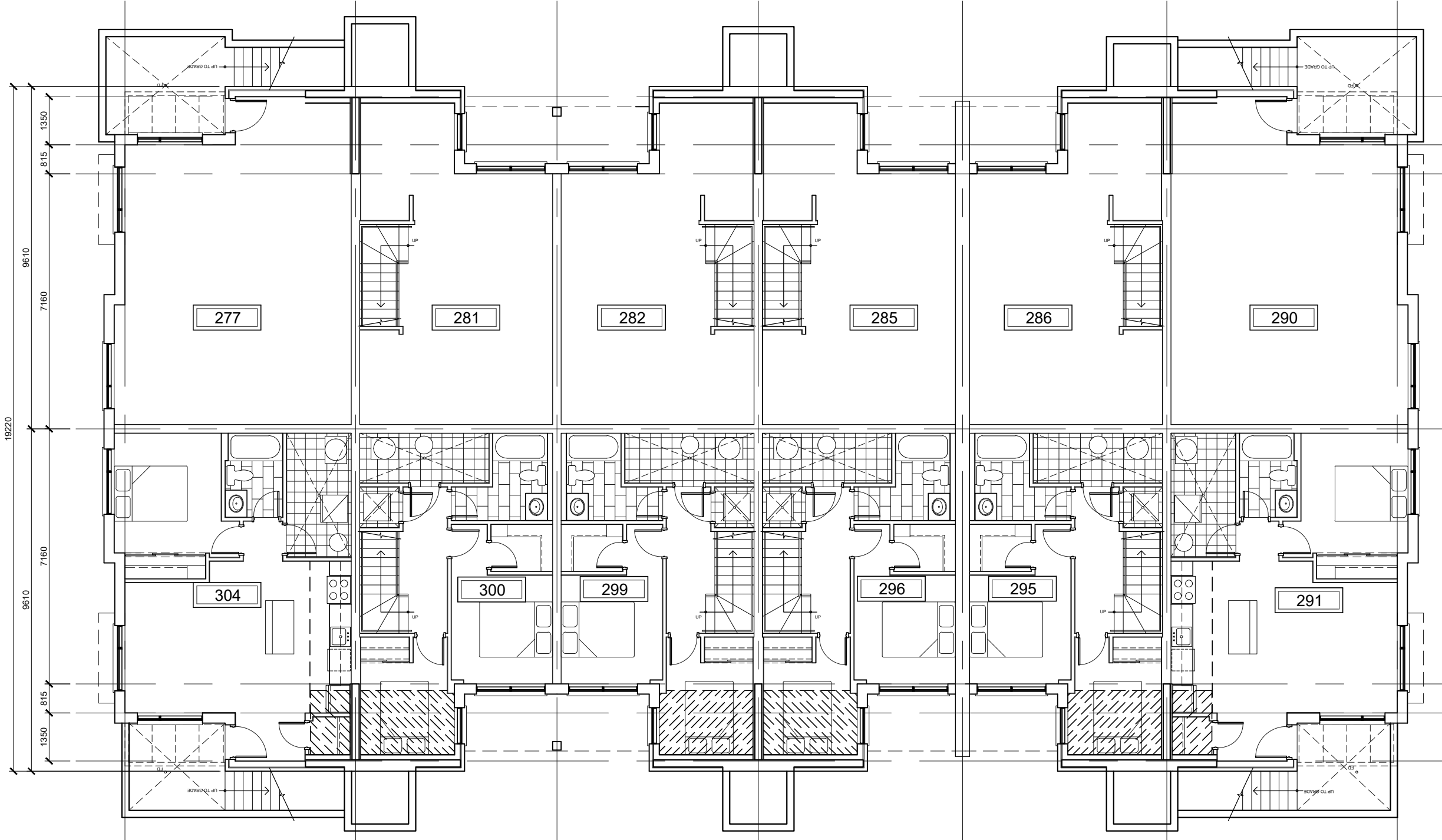
THESE DRAWINGS ARE NOT TO BE SCALED:  
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO:	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

### ADDITIONAL NOTES

[illegible]

 <p>ARCHITECTS</p> <p>8395 JANE STREET, SUITE 202 VAUGHAN, ONTARIO. L4K 5Y2 PHONE: 905.417-5515 FAX: 905.417-5517</p>	
 <p>OF ARCHITECTS</p> <p><i>gr.</i></p> <p>GREGORY PATRICK RASPIN LICENCE 6809</p> <p>APR 15 12, 2020</p>	 <p>© SRN ARCHITECTS INC. 2020</p>
<p>CLIENT: MARIANNEVILLE DEVELOPMENTS LIMITED</p> <p>26 LESMIL ROAD, UNIT 3 TORONTO, ONTARIO. M3B 2T5 (P) 416.733.3128 (F) 416.733.3129</p>	
<p>PROJECT: MIXED-USE RESIDENTIAL</p> <p>BLOCK 164 / 165 GLENWAY - NEWMARKET, ON</p>	
<p>DRAWING TITLE:</p> <p>FLOOR PLANS BLOCK 12</p>	
DATE: 18/11/19	SCALE: 1:125
DRAWN BY: N.W.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:
S17066	A341

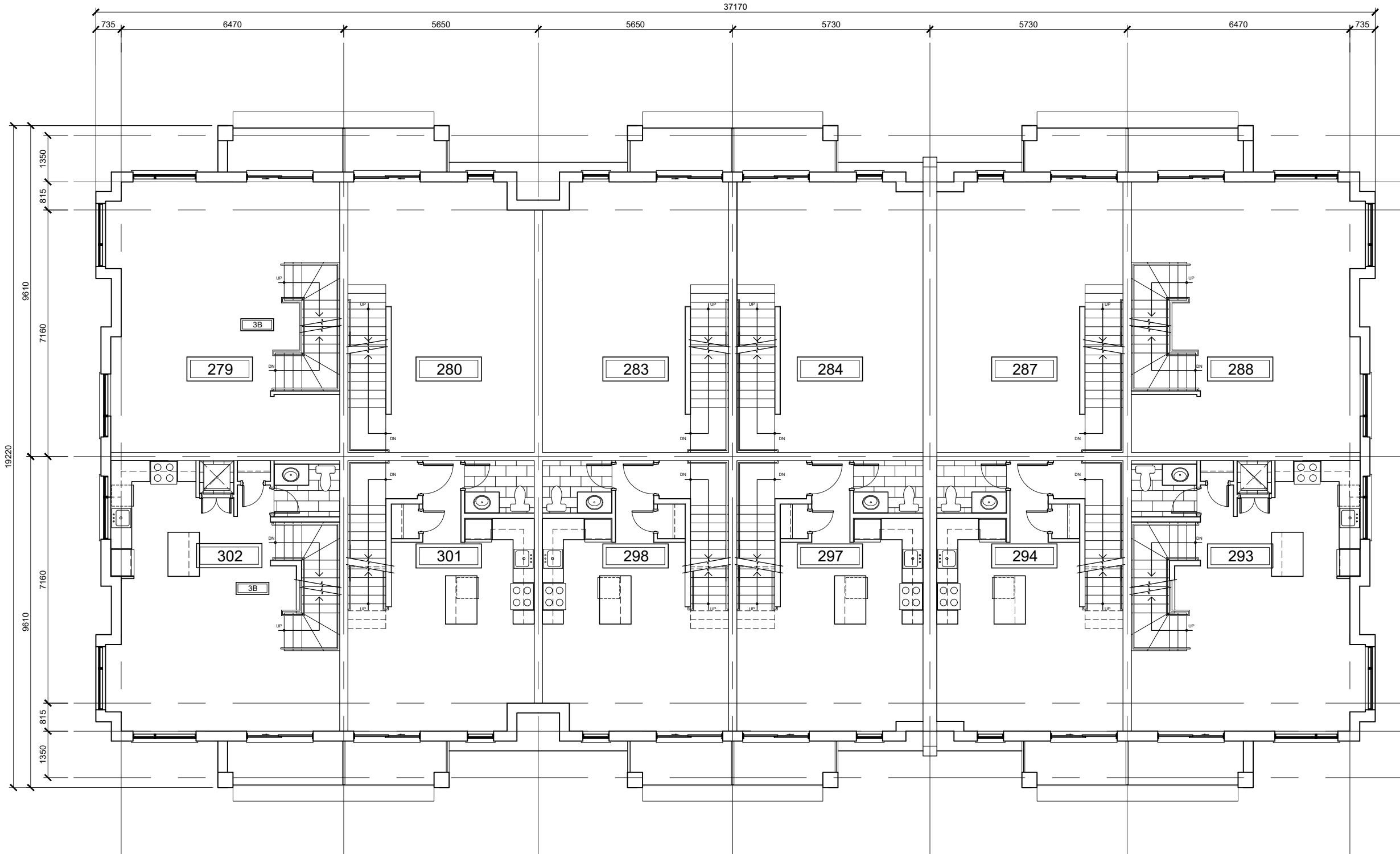


1  
A341

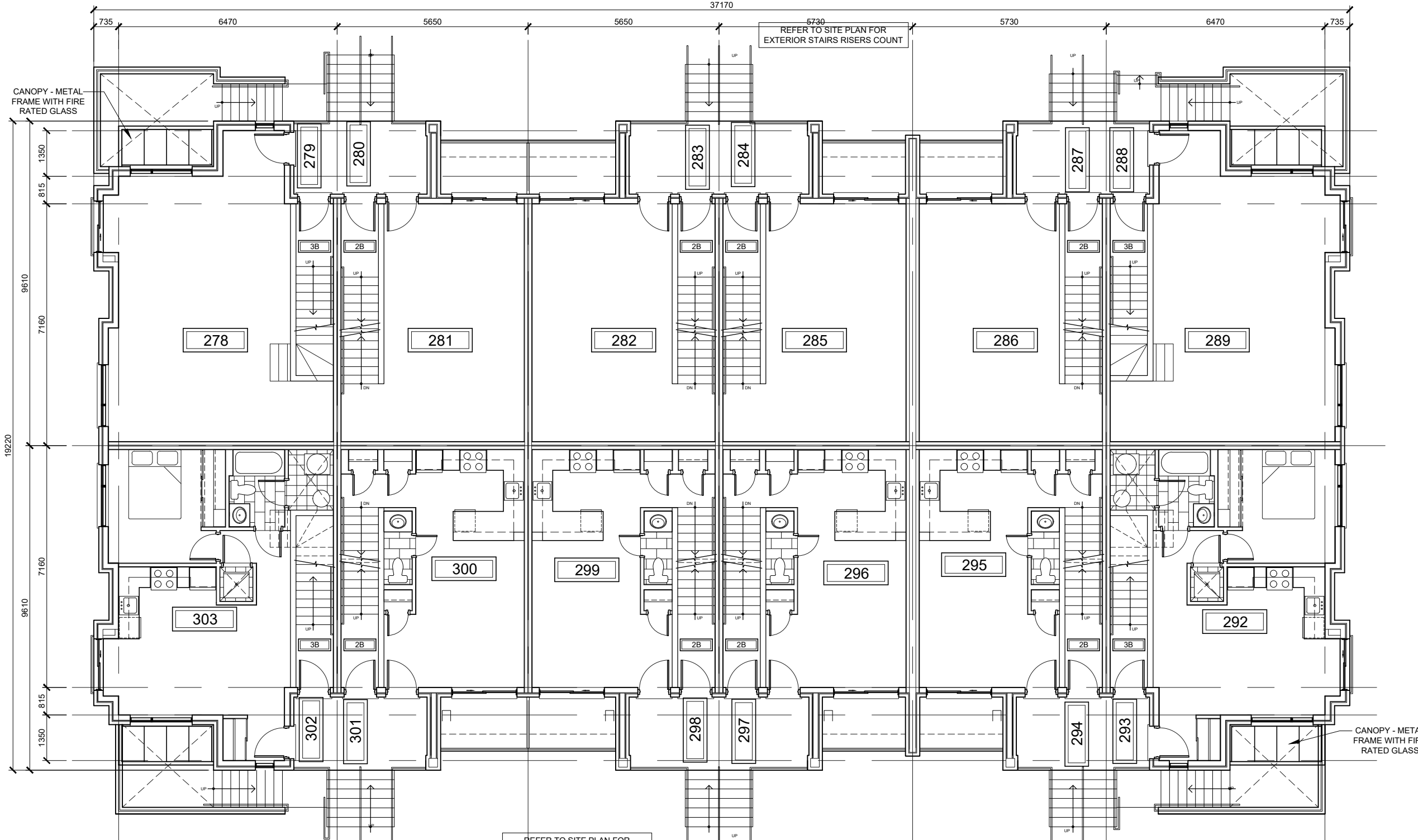
LOWER LEVEL - BLOCK 12

SCALE: 1:125

640.8 SQ.M. (6,898 SQ.FT.)  
417.8 SQ.M. + 223.0 SQ.M. FOR EACH  
SIDE OF THE FIRE WALL



3 SECOND FLOOR - BLOCK 12  
A341 SCALE: 1:125 603.9 SQ.M. (6,501 SQ.FT.)

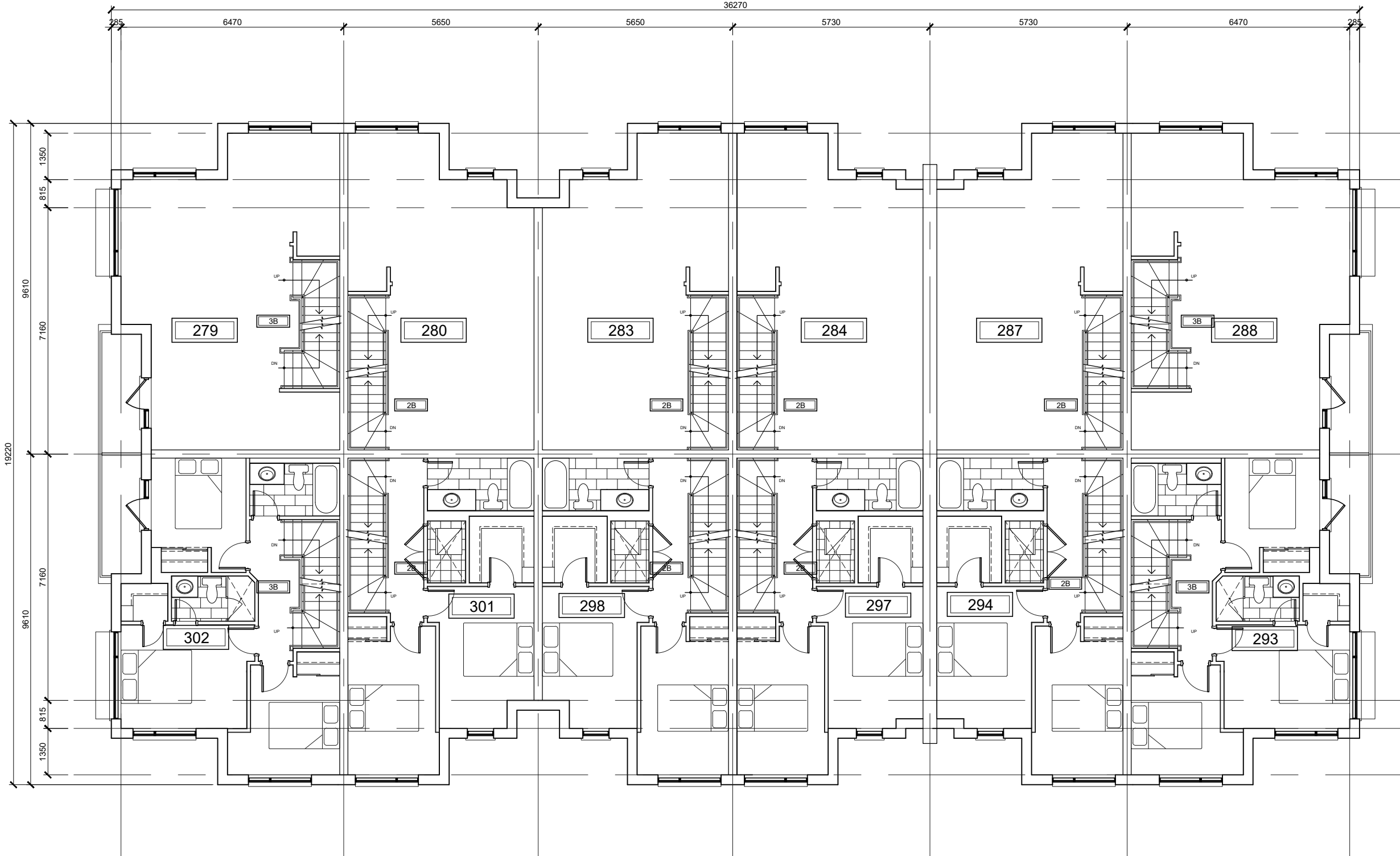


2  
A341

GROUND FLOOR - BLOCK 12

SCALE: 1:125

586.7 SQ.M. (6,315 SQ.FT.)



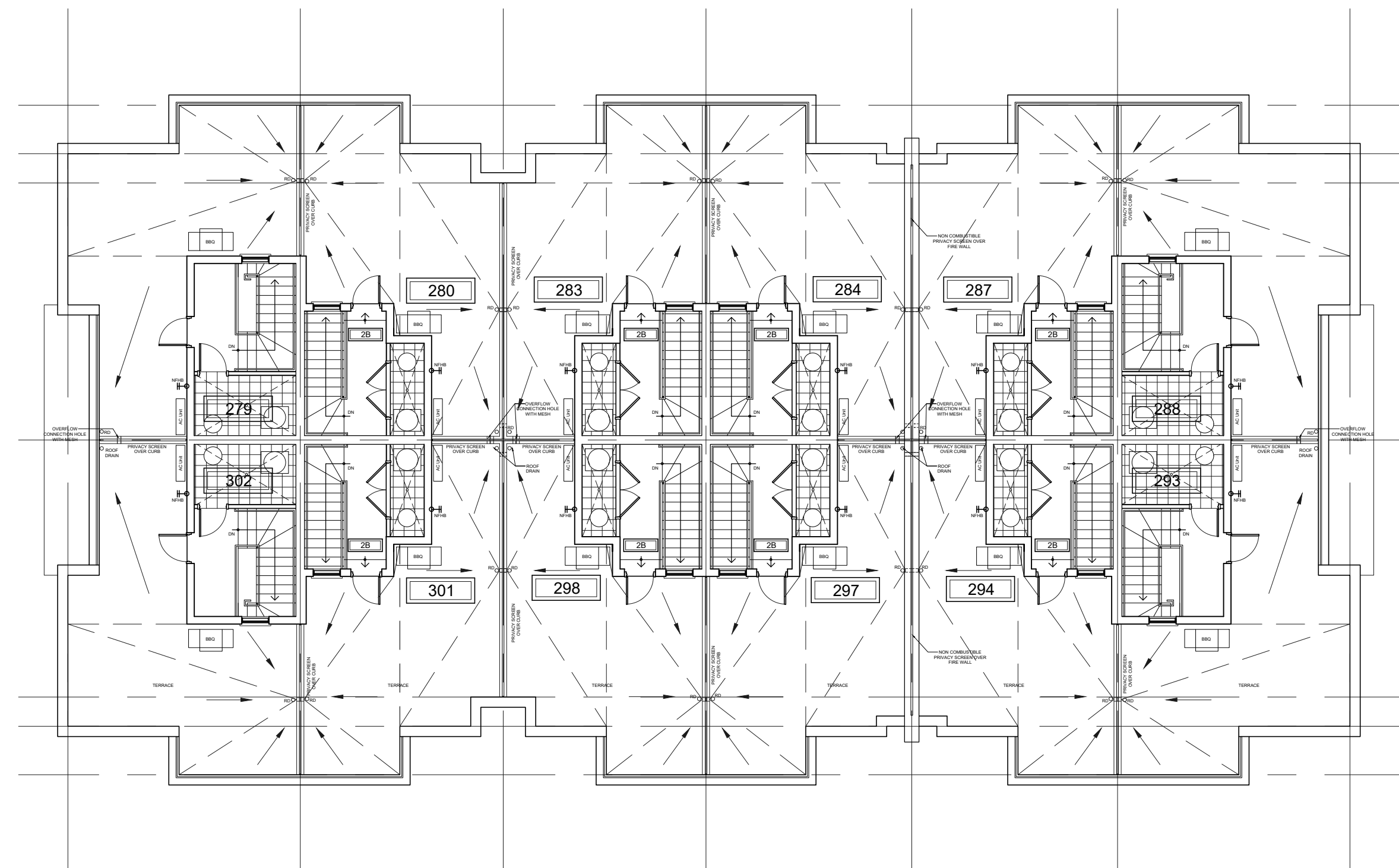
4 THIRD FLOOR - BLOCK 12  
A341 SCALE: 1:125 635.5 SQ.M. (6,841 SQ.FT.)



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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	28/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

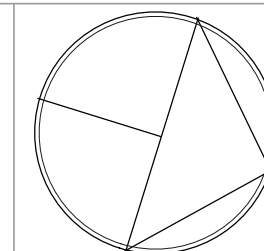
[illegible]

1 MECHANICAL PENTHOUSE - BLOCK 12  
A342 SCALE: 1:125 169.4 SQ.M. (1,823 SQ.FT.)



ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



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CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

FLOOR PLANS  
BLOCK 12

DATE: 18/11/19

SCALE: 1:125

DRAWN BY: N.W.

CHECKED BY: G.P.R

PROJECT NUMBER:






DRAWING NUMBER:

S17066 A342



NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

	BLOCKS 1, 2, 4, 7, 9 AND 11 MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK - CONTEMPORARY SERIES - MOUNTAIN GRAY (PREMIUM PLUS)
	BLOCKS 3, 5, 6, 8, 10 AND 12 MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK - CONTEMPORARY SERIES - ROYAL GRAY (PREMIUM PLUS)
	MASONRY (BRICK) ACCENT COLOUR - BRAMPTON BRICK - (PREMIUM PLUS) CONTEMPORARY SERIES - ESPRESSO.
	MASONRY / STONE BASE - BRAMPTON BRICK - CONTEMPO - PATTERN (PATTERN C - 100% LARGE)
	HARDIE BOARD SIDING / VINYL SIDING OR EQUIVALENT SAGE - STANDARD FROM MITTEN SIDINGS & ACCESSORIES.

[illegible]


 OF  
 ARCHITECTS  
*GP*  
 GREGORY PATRICK RASPIN  
 LICENCE  
 6606  
 August 28, 2020

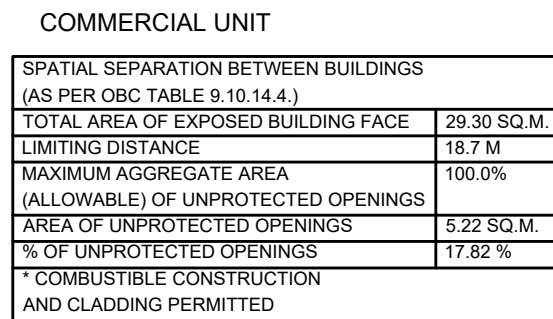
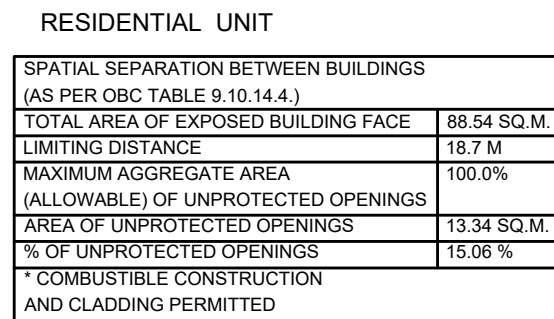
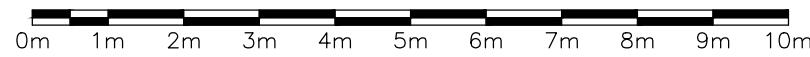
© SRN ARCHITECTS INC. 2020

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DATE: 04/01/19	SCALE: 1:75
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PROJECT NUMBER:	DRAWING NUMBER:
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S17066	A400
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COMMERCIAL UNIT	
SPATIAL SEPARATION BETWEEN BUILDINGS (AS PER OBC TABLE 9.10.14.4.)	
TOTAL AREA OF EXPOSED BUILDING FACE	29.30 SQ.M.
LIMITING DISTANCE	7.1 M
MAXIMUM AGGREGATE AREA (ALLOWABLE) OF UNPROTECTED OPENINGS	95.0%
AREA OF UNPROTECTED OPENINGS	5.22 SQ.M.
% OF UNPROTECTED OPENINGS	17.82 %
* COMBUSTIBLE CONSTRUCTION AND CLADDING PERMITTED	

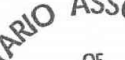


NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

	BLOCKS 1, 2, 4, 7, 9 AND 11 MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK - CONTEMPORARY SERIES - MOUNTAIN GRAY (PREMIUM PLUS)
	BLOCKS 3, 5, 6, 8, 10 AND 12 MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK - CONTEMPORARY SERIES - ROYAL GRAY (PREMIUM PLUS)
	MASONRY (BRICK) ACCENT COLOUR - BRAMPTON BRICK - (PREMIUM PLUS) CONTEMPORARY SERIES - ESPRESSO
	MASONRY / STONE BASE - BRAMPTON BRICK - CONTEMPORARY - PATTERN (PATTERN C - 100% LARGE)
	HARDIE BOARD SIDING / VINYL SIDING OR EQUIVALENT SAGE - STANDARD FROM MITTEN SIDINGS & ACCESSORIES.

[illegible]

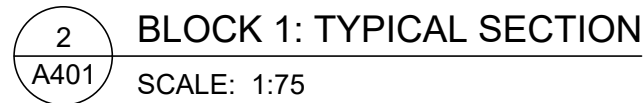
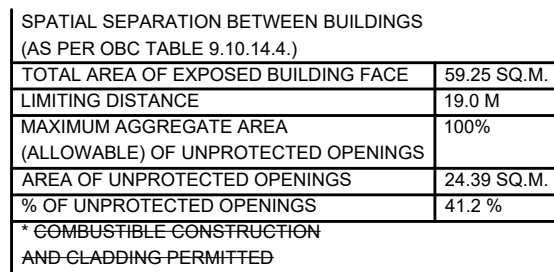

 OF  
 ARCHITECTS  
*GR.*  
 GREGORY PATRICK RASPIN  
 LICENCE  
 6696  
 AUGUST 28, 2020

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PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

PROJECT NUMBER:	DRAWING NUMBER:
-----------------	-----------------








S17066	A401
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NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

	BLOCKS 1, 2, 4, 7, 9 AND 11
	BLOCKS 3, 5, 6, 8, 10 AND 12
	MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK - CONTEMPORARY SERIES - MOUNTAIN GRAY (PREMIUM PLUS)
	BLOCKS 3, 5, 6, 8, 10 AND 12 MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK - CONTEMPORARY SERIES - ROYAL GRAY (PREMIUM PLUS)
	MASONRY (BRICK) ACCENT COLOUR - BRAMPTON BRICK (PREMIUM PLUS) CONTEMPORARY SERIES - ESPRESSO
	MASONRY / STONE BASE - BRAMPTON BRICK - CONTEMPO - DOVER (PATTERN C - 100% LARGE)
	HARDIE BOARD SIDING / VINYL SIDING OR EQUIVALENT SAGE - STANDARD FROM MITTEN SIDINGS & ACCESSORIES.

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHQC 1750 BY METAL ARCHITECTURE.  
  
ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT.

ALL TERRACE DIVIDER TO BE BLACK  
ANODIZED METAL FRAME WITH  
FROSTED GLASS INSERT.

[illegible]

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517


 OF  
 ARCHITECTS  
*GP.*  
 GREGORY PATRICK RASPIN  
 LICENCE  
 6696  
 AUGUST 28, 2020

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CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

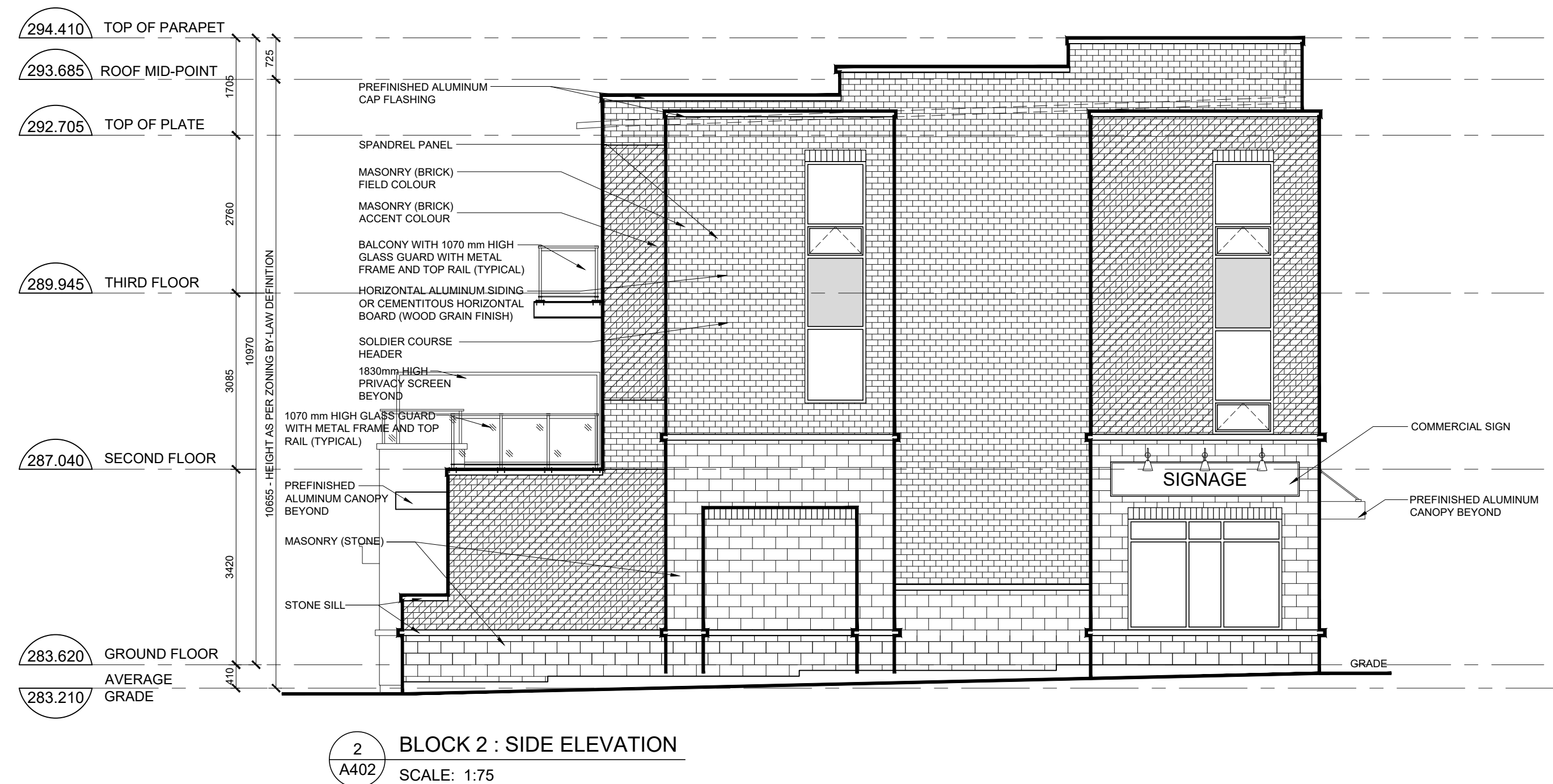
BLOCK 2 - ELEVATIONS

DATE: 04/01/19	SCALE: 1:75
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DRAWN BY: N.W.	CHECKED BY: G.P.R.
----------------	--------------------

PROJECT NUMBER:	DRAWING NUMBER:
-----------------	-----------------

S17066	A402
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RESIDENTIAL UNIT	
SPATIAL SEPARATION BETWEEN BUILDINGS (AS PER OBC TABLE 9.10.14.4.)	
TOTAL AREA OF EXPOSED BUILDING FACE	88.54 SQ.M.
LIMITING DISTANCE	2.0 M
MAXIMUM AGGREGATE AREA (ALLOWABLE) OF UNPROTECTED OPENINGS	11.5%
AREA OF UNPROTECTED OPENINGS	7.22 SQ.M.
% OF UNPROTECTED OPENINGS	8.2 %
* COMBUSTIBLE CONSTRUCTION AND CLADDING PERMITTED	

COMMERCIAL UNIT	
SPATIAL SEPARATION BETWEEN BUILDINGS (AS PER CBC TABLE 9.10.14.4.)	
TOTAL AREA OF EXPOSED BUILDING FACE	29.30 SQ.M.
LIMITING DISTANCE	2.0 M
MAXIMUM AGGREGATE AREA (ALLOWABLE) OF UNPROTECTED OPENINGS	23.0%
AREA OF UNPROTECTED OPENINGS	5.22 SQ.M.
% OF UNPROTECTED OPENINGS	17.82 %
* COMBUSTIBLE CONSTRUCTION AND CLADDING PERMITTED	

DISTANCE BETWEEN BLOCK 2 AND 3 = 6.235M.  
DISTANCE FOR UNPROTECTED OPENING LOCATED  
AT 2M FROM BLOCK 2 AND 4.2M FOR BLOCK 3



RESIDENTIAL UNIT	
SPATIAL SEPARATION BETWEEN BUILDINGS (AS PER OBC TABLE 9.10.14.4.)	
TOTAL AREA OF EXPOSED BUILDING FACE	88.54 SQ.M.
LIMITING DISTANCE	7.1 M
MAXIMUM AGGREGATE AREA (ALLOWABLE) OF UNPROTECTED OPENINGS	45.0%
AREA OF UNPROTECTED OPENINGS	13.34 SQ.M.
% OF UNPROTECTED OPENINGS	15.06 %
* COMBUSTIBLE CONSTRUCTION AND CLADDING PERMITTED	

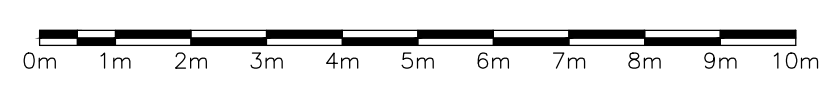
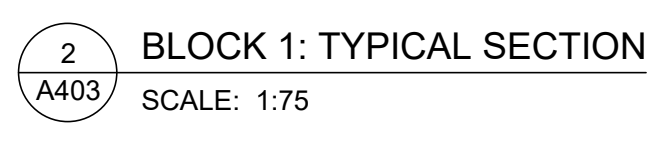
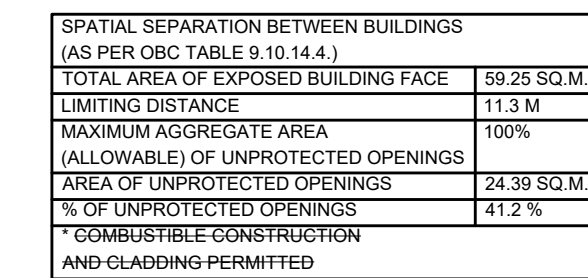
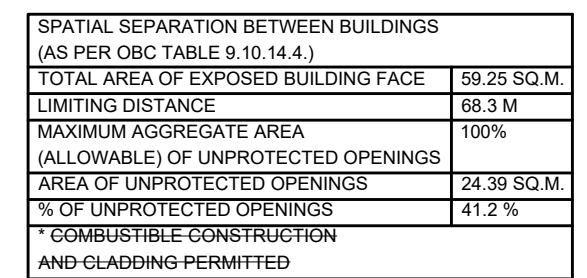
COMMERCIAL UNIT	
SPATIAL SEPARATION BETWEEN BUILDINGS (AS PER OBC TABLE 9.10.14.4.)	
TOTAL AREA OF EXPOSED BUILDING FACE	29.30 SQ.M.
LIMITING DISTANCE	7.1 M
MAXIMUM AGGREGATE AREA (ALLOWABLE) OF UNPROTECTED OPENINGS	95.0%
AREA OF UNPROTECTED OPENINGS	5.22 SQ.M.
% OF UNPROTECTED OPENINGS	17.82 %
* COMBUSTIBLE CONSTRUCTION AND CLADDING PERMITTED	



NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

[illegible]


 OF  
 ARCHITECTS  
 GREGORY PATRICK RASPIN  
 LICENCE  
 6696  
 August 28, 2020







1  
A404  
TYPICAL REAR ELEVATION  
SCALE: 1:75



2  
A404  
BLOCK 2 - EAST ELEVATION  
SCALE: 1:75



3  
A404  
TYPICAL SIDE ELEVATION  
SCALE: 1:75



4  
A404  
TYPICAL FRONT ELEVATION  
SCALE: 1:75



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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO.	DATE	ISSUED FOR:
6	31/10/18	CLIENT REVIEW
7	06/12/18	CLIENT REVIEW
8	13/12/18	CLIENT REVIEW
9	19/12/18	ISSUED FOR ZONING REVIEW
10	22/01/19	CLIENT REVIEW
11	15/10/19	CONSULTANT COORD.
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW

ADDITIONAL NOTES:

WINDOWS:  
-WINDOWS TO BE SEALED TO THE AIR & VAPOR  
BARRIER  
-WINDOWS THAT SEPARATE HEATED SPACE FROM  
UNHEATED SPACE SHALL HAVE AN OVERALL  
COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup> K)  
OR  
-AN ENERGY RATING OF NOT LESS THAN 25 FOR  
WINDOWS  
-BASEMENT WINDOWS WITH LOAD BEARING  
STRUCTURAL FRAME SHALL BE DOUBLE GLAZED  
WITH LOW-E COATING  
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT  
OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup> K)  
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL  
TO 17%

MATERIALS LEGEND:

BLOCKS 1, 2, 4, 7, 9 AND 11  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK, CONTEMPORARY  
SERIES - MOUNTAIN GRAY (PREMIUM PLUS)  
BLOCKS 3, 5, 6, 8, 10 AND 12  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK, CONTEMPORARY  
SERIES - ROYAL GRAY (PREMIUM PLUS)  
MASONRY (BRICK) ACCENT COLOUR -  
BRAMPTON BRICK, (PREMIUM PLUS)  
CONTEMPORARY SERIES - ESPRESSO.

MASONRY / STONE BASE - BRAMPTON  
BRICK - CONTEMPO - DOVER  
(PATTERN C - 100% LARGE)  
HARDIE BOARD SIDING / VINYL SIDING  
OR EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
SIDING & ACCESSORIES.

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHDC 1750 BY METAL ARCHITECTURE.  
ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT.

ALL TERRACE DIVIDER TO BE BLACK  
ANODIZED METAL FRAME WITH  
FROSTED GLASS INSERT.

NO.	DATE	REVISION COMMENT:

**SRN**  
ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517

xxv(04/2020) © SRN ARCHITECTS INC. 2020

CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT: **MIXED-USE RESIDENTIAL**  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE: **LIVE/WORK  
TYP. COLOURED ELEVATIONS**

DATE: 29/10/19 SCALE: 1:75

DRAWN BY: N.W. CHECKED BY: G.P.R.

PROJECT NUMBER: DRAWING NUMBER:


**S17066 A404**



NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	24/07/20	CLIENT REVIEW
20	08/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS:
- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

BLOCKS 3, 2, 7, 4 AND 5  
 MASONRY (BRICK) FINE COLOUR -  
 BRAMPTON BRICK - CENTIMETRE  
 SERIES - MOUNTAIN GRAY (PREMIUM FL)  
 BLOCKS 3, 5, 6, 8, 10 AND 12  
 MASONRY (BRICK) FINE COLOUR -  
 BRAMPTON BRICK (CENTIMETRE)  
 SERIES - ROYAL GRAY (PREMIUM PLUS)


 MASONRY (BRICK) ACENT COLOUR -  
 BRAMPTON BRICK (PREMIUM PLUS)  
 CENTIMETRE SERIES (EXPRESSO)

MASONRY / STONE BASE - BRAMPTON  
 BRICK - CENTIMETRE - COVER  
 (PATTERN - 100% LINDEN)  
 STONE BASE SIDING / VINYL SIDING  
 OR EQUIVALENT  
 SILLING - STANDARD FROM MITTEN  
 SIDING & ACCESSORIES

HORIZONTAL ALUMINUM SIDING OR  
 CEMENTITIOUS HORIZONTAL BOARD  
 WITH GRAY GRAIN FINISH  
 CEDAR, HARRY WOOD COLLECTION  
 MOORE 1750 METAL ARCHITECTURE

ALL WINDOW FRAMES AND MULLIONS  
 TO BE BLACK

ALL GUTTERS AND RAILINGS TO BE  
 40mm SQUARED BLACK ANODIZED  
 RAILING WITH GLASS INSERT

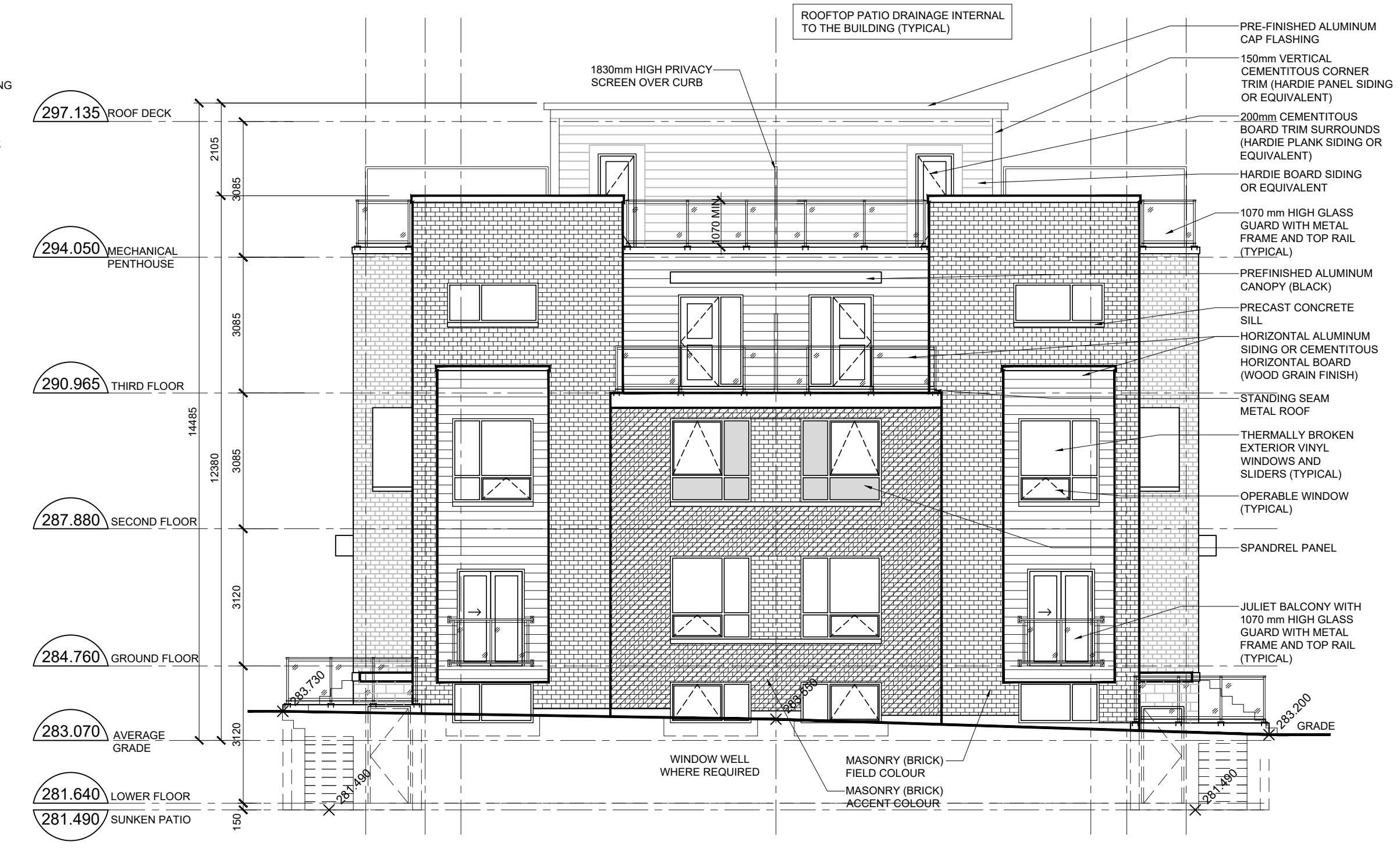
ALL TERRACE DRIVE TO BE BLACK METAL  
 FINISH WITH FROSTED GLASS OR WHITE  
 VINYL

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO, L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



DATE: 28/10/19	SCALE: 1:100
DRAWN BY: N.W/F.K.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:

S17066 | A420



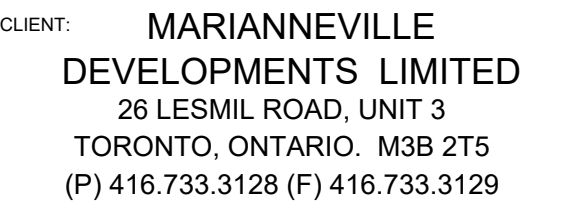


NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	20/07/20	CLIENT REVIEW
20	08/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS:
- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

BLOCKS 1, 2, 3, 4, 7 AND 12  
 BRAMPTON (BRICK) FINE COLOUR -  
 BRAMPTON BRICK - CONTEMPORARY  
 SERIES - MOUNTAIN GRASS (PREMIUM PLUS!)  
 BLOCKS 3, 5, 6, 8, 9 AND 10  
 MASONRY (BRICK) FINE COLOUR -  
 BRAMPTON BRICK - CONTEMPORARY  
 SERIES - ROYAL GRAY (PREMIUM PLUS)  
 BLOCKS 11 AND 13  
 MASONRY (BRICK) ACENT COLOUR -  
 BRAMPTON BRICK (PREMIUM PLUS)  
 CONTEMPORARY SERIES - EXPRESSO  
 MASONRY / STONE BASE - BRAMPTON  
 BRICK - CONTEMPO - DOVER  
 (PATTERN C - 100% RANGE)  
 HONEY COMB SIDING / VINYL SIDING  
 OR EQUIVALENT  
 SAGE - STANDARD FROM MITTEN  
 AND ACCESSORIES  
 HORIZONTAL ALUMINUM SIDING OR  
 CEMENTITOUS HORIZONTAL BOARD  
 WITH GRAIN FINISH  
 CEDAR, HARRY WOOD COLLECTION  
 MCMO 1750 METAL ARCHITECTURE.  
 ALL WINDOW FRAMES AND MULLIONS  
 TO BE BLACK  
 ALL GUARDS AND RAILINGS TO BE  
 40mm SQUARED BLACK ANODIZED  
 ALUMINUM WITH GLASS INSERT.  
 ALL TERRACE DOORS TO BE BLACK METAL  
 FRAME WITH FROSTED GLASS OR WHITE  
 VINYL

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517

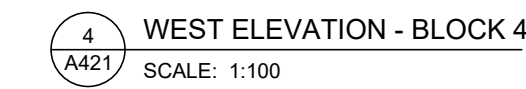
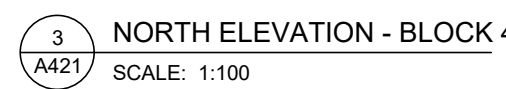


DRAWING TITLE:

TOWNHOUSES - BLOCK 4  
ELEVATIONS

PROJECT NUMBER:	DRAWING NUMBER:
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

S17066 | A421





NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%


 BLOCKS 1, 2, 4, 7, 9 AND 11  
 MASONRY (BRICK) FIELD COLOUR -  
 BRAMPTON BRICK (CONTEMPORARY  
 SERIES - MOUNTAIN GRAY (PREMIUM PLUS)  
 BLOCKS 3, 5, 6, 10 AND 12  

 MASONRY (BRICK) FIELD COLOUR -  
 BRAMPTON BRICK (CONTEMPORARY  
 SERIES - ROYAL GRAY (PREMIUM PLUS)  

 MASONRY (BRICK) ACCENT COLOUR -  
 BRAMPTON BRICK (PREMIUM PLUS)  
 CONTEMPORARY SERIES - ESPRESSO  
  
 MASONRY / STONE BASE - BRAMPTON  
 BRICK - CONTEMP (PREMIUM PLUS)  
 (PATTERN C - 100% LARGE)  
 HARDBOARD SIDING / VINYL SIDING  
 OR EQUIVALENT  
 SAGE - STANDARD FROM WHITE  
 SIDING & ACCESSORIES  
  
 HORIZONTAL ALUMINUM SIDING OR  
 CEMENTITIOUS HORIZONTAL BOARD  
 (WOOD GRAN FINISH)  
 CEDAR, HARRY WOOD COLLECTION  
 MOOC 1750 BY METAL ARCHITECTURE  
  
 ALL WINDOW FRAMES AND MULLIONS  
 TO BE BLACK  
  
 ALL GUARDS AND RAILINGS TO BE  
 10mm SQUARED BLACK FINISHED  
 RAILING WITH GLASS INSERT.

[illegible]

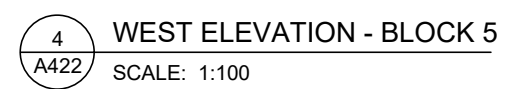
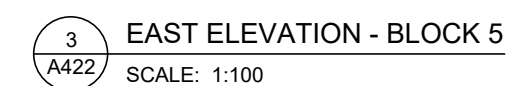
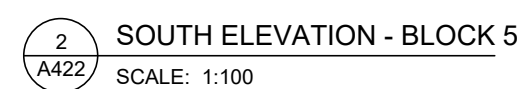
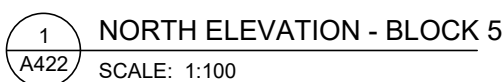
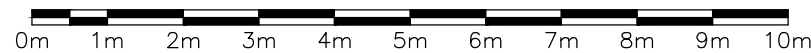
**CLIENT: MARIANNEVILLE  
DEVELOPMENTS LIMITED  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129**

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**PROJECT: MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON**

DATE: 28/10/19	SCALE: 1:100
DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:

S17066	A422
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NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHT SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

 BLOCKS 1, 2, 4, 7, 9 AND 11  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - MOUNTAIN GRAY (PREMIUM PLUS)

 BLOCKS 3, 5, 6, 8, 10 AND 12  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - ROYAL GRAY (PREMIUM PLUS)

 MASONRY (BRICK) ACCENT COLOUR -  
BRAMPTON BRICK: (PREMIUM PLUS)  
CONTEMPORARY SERIES - ESPRESSO.

 MASONRY / STONE BASE - BRAMPTON  
BRICK - CONTEMPO - DOVER  
(PATTERN C - 100% LARGE)  
HARDIE BOARD SIDING / VINYL SIDING  
OR EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
SIDING & ACCESSORIES.

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHQC 1750 BY METAL ARCHITECTURE.

ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT.

ALL TERRACE DIVIDER TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
VINYL

[illegible]

CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
 26 LESMIL ROAD, UNIT 3  
 TORONTO, ONTARIO. M3B 2T5  
 (P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

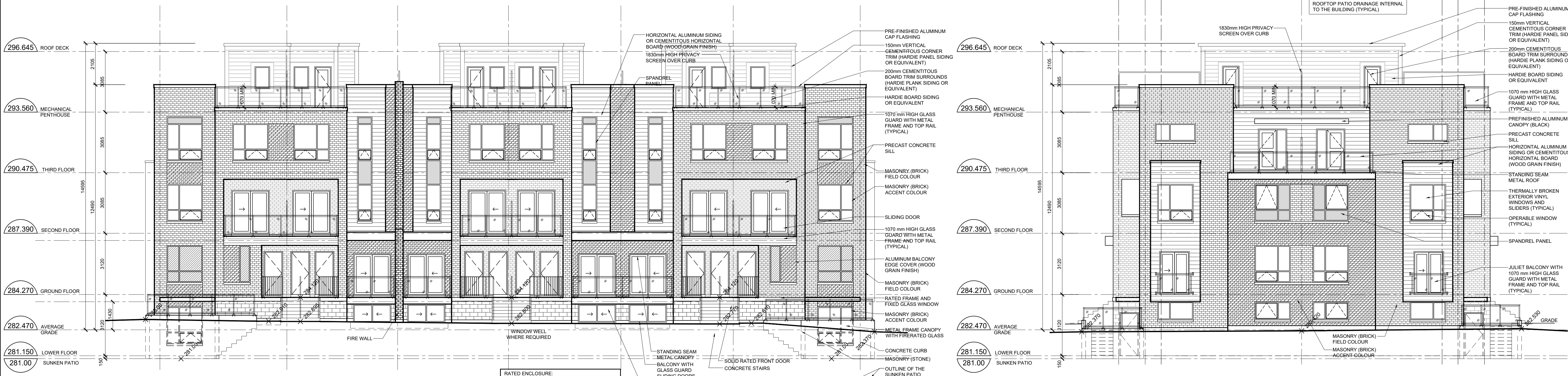
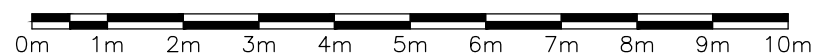
**TOWNHOUSES - BLOCK 6  
ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R.
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PROJECT NUMBER:	DRAWING NUMBER:
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S17066	A423
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2 NORTH ELEVATION - BLOCK 6  
A423 SCALE: 1/4"=1'-0"

4 SOUTH ELEVATION - BLOCK 6  
A423 SCALE: 1:100



THESE DRAWINGS ARE NOT TO BE SCALED:  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 04/07/20	CLIENT REVIEW
0 28/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$  OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

**MATERIALS LEGEND:**

- BLOCKS 1, 2, 4, 7, 9 AND 11  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK; CONTEMPORARY  
SERIES - MOUNTAIN GRAY (PREMIUM PLUS  
BLOCKS 3, 5, 6, 8, 10 AND 12)  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK; CONTEMPORARY  
SERIES - ROYAL GRAY (PREMIUM PLUS  
BLOCKS 1, 2, 4, 7, 9 AND 11)  
MASONRY (BRICK) ACCENT COLOUR -  
BRAMPTON BRICK; (PREMIUM PLUS  
CONTEMPORARY SERIES - ESPRESSO,  
MASONRY (STONE) BASE - BRAMPTON  
STONE; CONTEMPORARY SERIES -  
PATTERN C - 100% LARGE)  
HARDIE BOARD SIDING / VINYL SIDING  
EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
WOODS & ACCESSORIES  
HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
HARRIS, HARRY WOOD COLLECTION  
MHQC 1750 BY METAL ARCHITECTURE.
- ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK
- ALL GUARDS AND RAILINGS TO BE  
BLACK SQUARED BLACK POLISHED  
RAILING WITH GLASS INSERT.
- ALL TERRACE DRIVE TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
VINYL.

[illegible]

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO, L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*SRN*  
GREGORY PATRICK RASPIN  
LICENCE  
6606  
April 15, 2020

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CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

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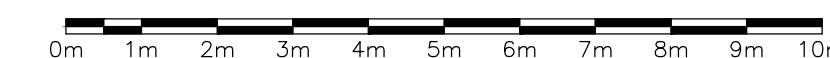
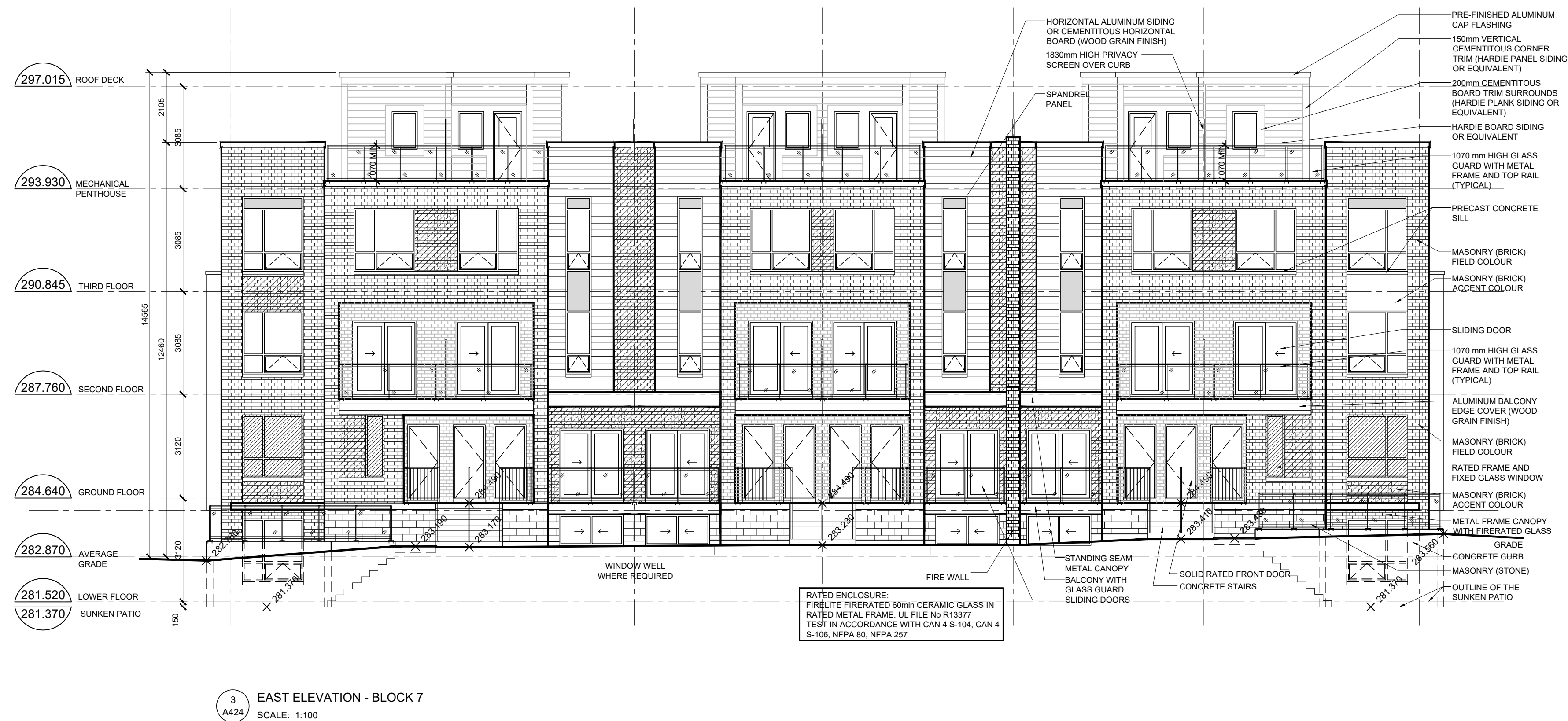
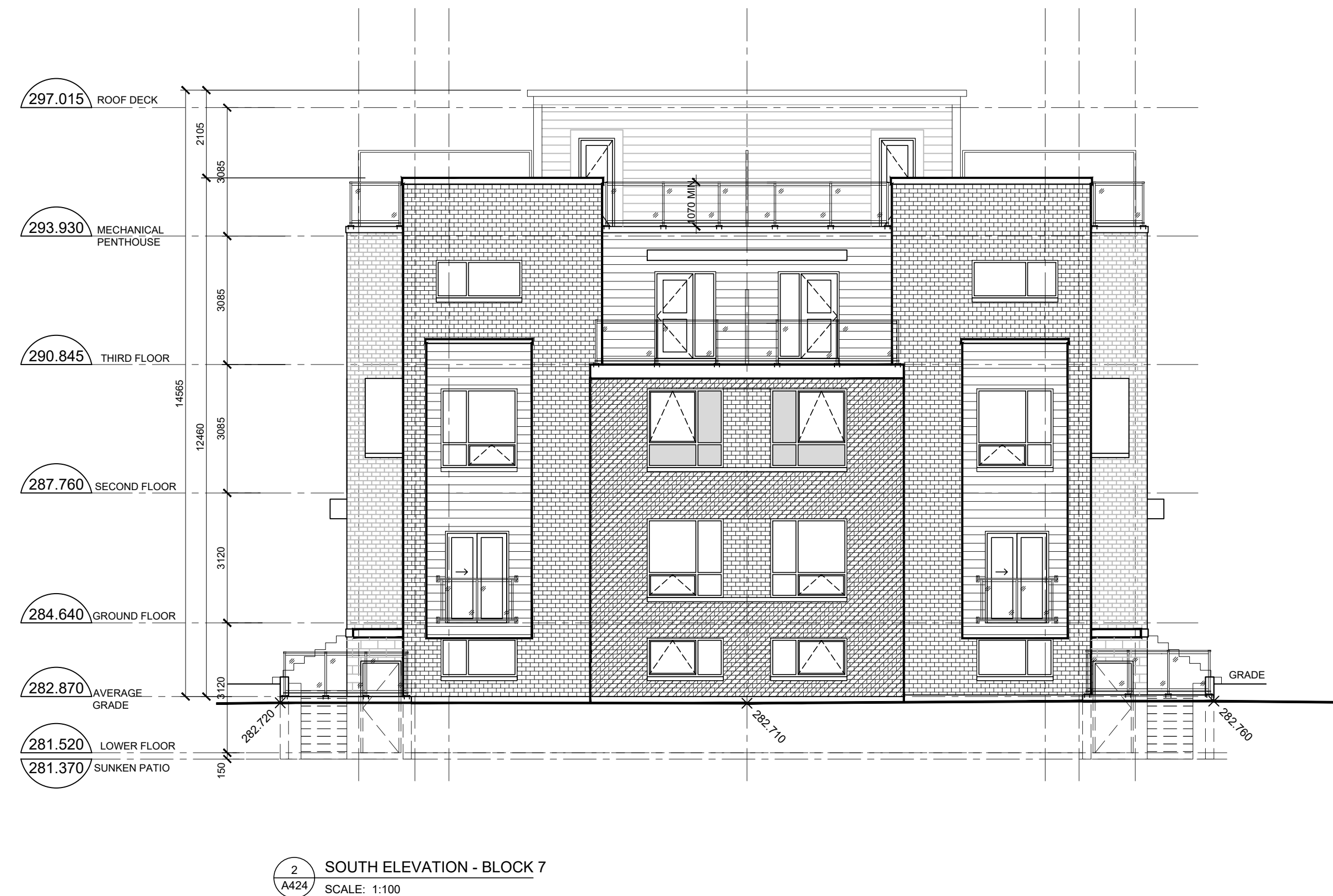
PROJECT: **MIXED-USE RESIDENTIAL**  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

**TOWNHOUSES - BLOCK 7  
ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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PROJECT NUMBER:	DRAWING NUMBER:
S17066	A424





THESE DRAWINGS ARE NOT TO BE SCALED:  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.


NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

### ADDITIONAL NOTES


WINDOWS:  
-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER  
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR  
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS  
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING  
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)  
-FOR CROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%.

**MATERIALS LEGEND:**


**BLOCKS 1, 2, 4, 7, 9 AND 11**  
**MASONRY (BRICK) FIELD COLOUR -**  
**BRAMPTON BRICK: CONTEMPORARY**  
**SERIES - MOUNTAIN GRAY (PREMIUM PLUS)**



**BLOCKS 3, 5, 6, 8, 10 AND 12**  
**MASONRY (BRICK) FIELD COLOUR -**  
**BRAMPTON BRICK: CONTEMPORARY**  
**SERIES - ROYAL GRAY (PREMIUM PLUS)**



 MASONRY (BRICK) ACCENT COLOUR -  
BRAMPTON BRICK: (PREMIUM PLUS)  
CONTEMPORARY SERIES - ESPRESSO.



MASONRY / STONE BASE - BRAMPTON  
BRICK - CONTEMPO - DOVER  
(PATTERN C - 100% LARGE)  
HARDIE BOARD SIDING / VINYL SIDING  
OR EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
SIDING & ACCESSORIES

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHOC 1750 BY METAL ARCHITECTURE.

ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT

ALL TERRACE DIVIDER TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
LAMINATE

[illegible]

SRN  
ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



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CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

**TOWNHOUSES - BLOCK 1**

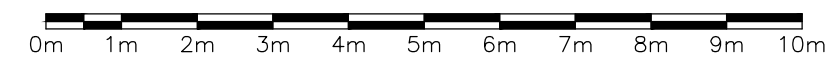
**ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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DRAWN BY: N.W./F.K.	CHECKED BY: G.F.
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PROJECT NUMBER:	DRAWING NUMBER:
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S17066 A42






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NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION


### ADDITIONAL NOTES

WINDOWS:  
-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER  
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR  
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS  
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING  
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)  
-FOR GROSS GLAZED AREAS LESS THAN AND EQUIVALENT TO 17%


**MATERIALS LEGEND:**




**BLOCKS 1, 2, 4, 7, 9 AND 11**  
**MASONRY (BRICK) FIELD COLOUR -**  
**BRAMPTON BRICK: CONTEMPORARY**  
**SERIES - MOUNTAIN GRAY (PREMIUM PLUS)**



**BLOCKS 3, 5, 6, 8, 10 AND 12**  
**MASONRY (BRICK) FIELD COLOUR -**  
**BRAMPTON BRICK: CONTEMPORARY**  
**SERIES - ROYAL GRAY (PREMIUM PLUS)**

 MASONRY (BRICK) ACCENT COLOUR -  
BRAMPTON BRICK: (PREMIUM PLUS)  
CONTEMPORARY SERIES - ESPRESSO.



MASONRY / STONE BASE - BRAMPTON  
BRICK - CONTEMPO - DOVER  
(PATTERN C - 100% LARGE)  
HARDIE BOARD SIDING / VINYL SIDING  
OR EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
SIDING & ACCESSORIES.

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHQC 1750 BY METAL ARCHITECTURE.

ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT

ALL TERRACE DIVIDER TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
VINYL

[illegible]

ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



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CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

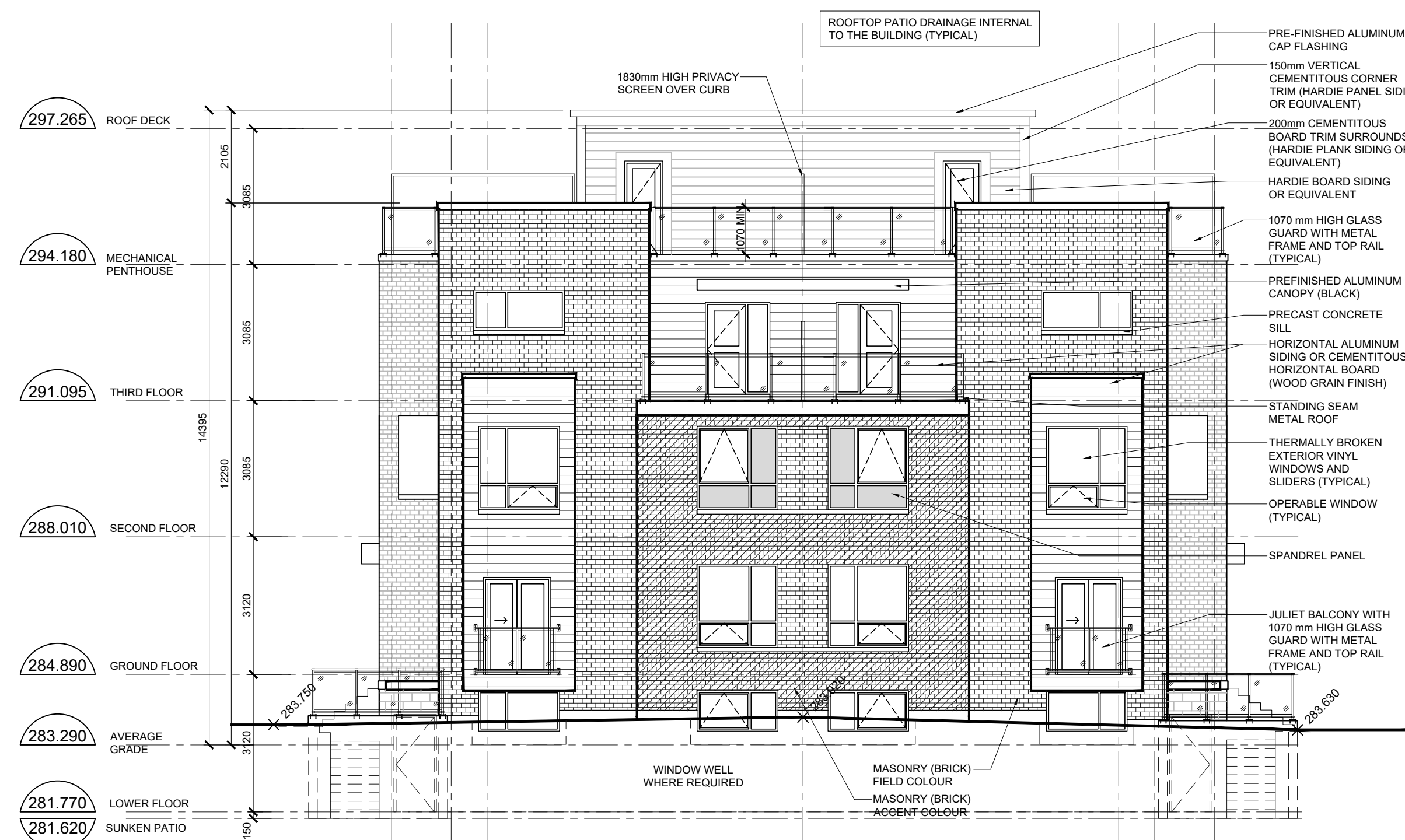
**TOWNHOUSES - BLOCK 8  
ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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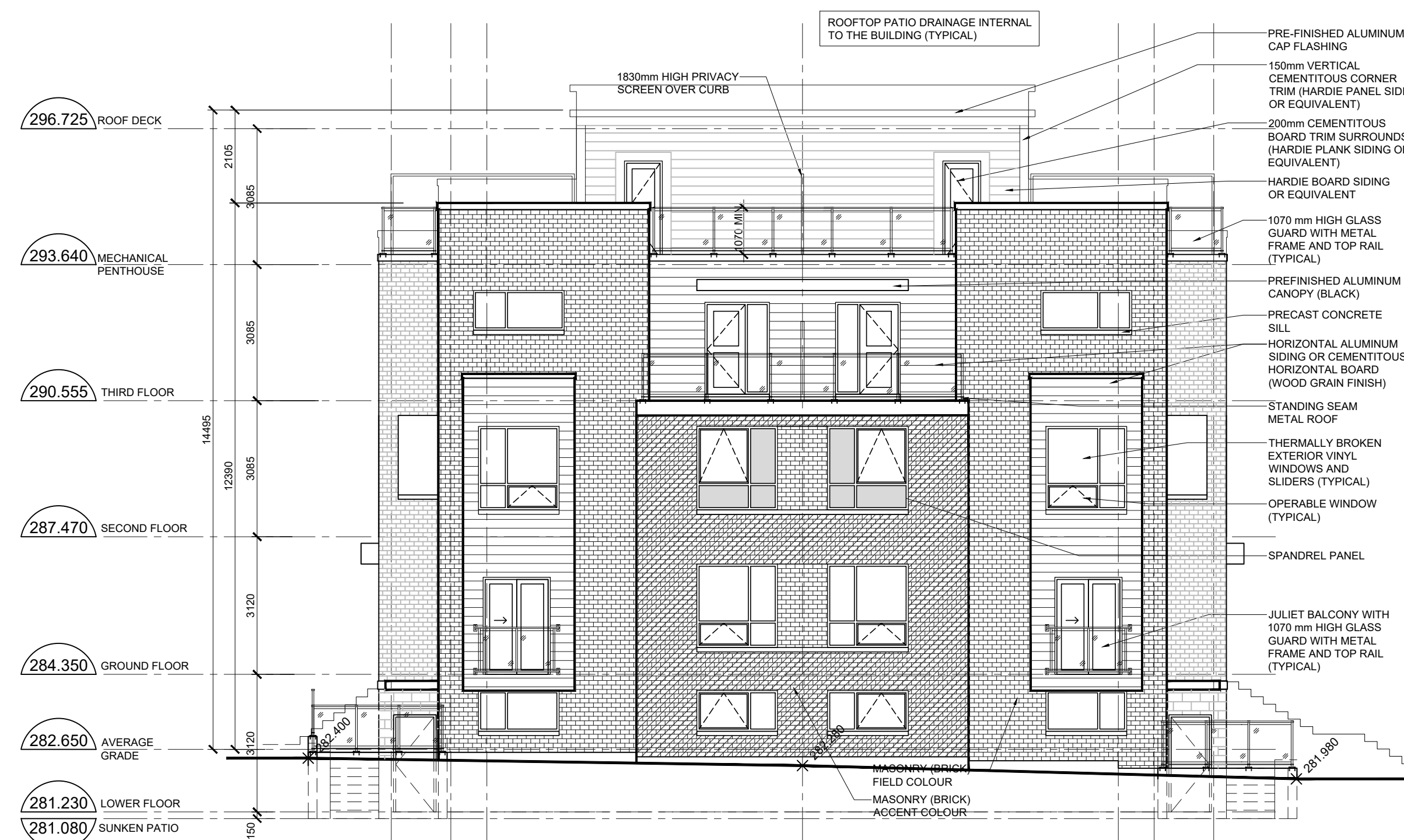
DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R.
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PROJECT NUMBER:	DRAWING NUMBER:
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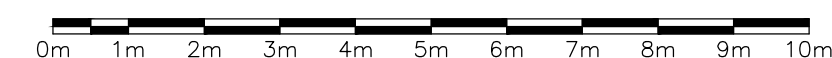
S17066	A426
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1 WEST ELEVATION - BLOCK 8  
A426 SCALE: 1:100



2 EAST ELEVATION - BLOCK 8  
A426 SCALE: 1:100





NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	24/07/20	CLIENT REVIEW
20	08/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

- WINDOWS:
- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

BLOCKS 1, 2, 4, 7, 9 AND 11  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - MOUNTAIN GRAY (PREMIUM PLUS)  
BLOCKS 3, 5, 6, 8, 10 AND 12  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - ROYAL GRAY (PREMIUM PLUS)  
MASONRY (BRICK) ACCENT COLOUR -  
BRAMPTON BRICK: (PREMIUM PLUS)  
CONTEMPORARY SERIES - ESPRESSO.  
MASONRY / STONE BASE - BRAMPTON  
BRICK: CONTEMPORARY  
(PATTERN C - 100% LARGE)  
HONEY COMB SIDING / VINYL SIDING  
IS EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
AND 4 ACCESSORIES  
HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS SIDING BOARD  
(WITH GRAY FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MQH 1750 BY BRICK ARCHITECTURE.  
ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK  
ALL GUARDS AND RAILINGS TO BE  
A BLACK SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT.  
ALL TERRACE DOOR TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
VINYL

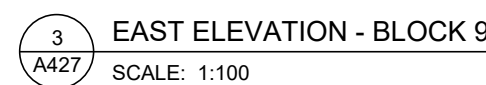
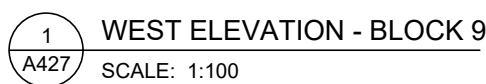
**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



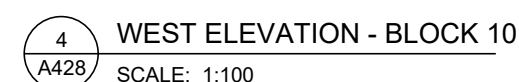
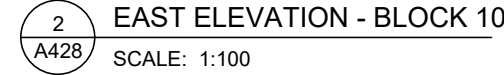
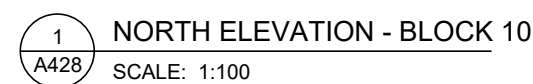
DRAWING TITLE:

TOWNHOUSES - BLOCK 9  
ELEVATIONS

S17066 A427








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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

**MATERIALS LEGEND:**

- 
 BLOCKS 1, 2, 4, 7, 9 AND 10  
 MASONRY (BRICK) FIELD COLOUR -  
 BRAMPTON BRICK: CONTEMPORARY  
 SERIES - MOUNTAIN GRAY (PREMIUM PLUS)  
 BLOCKS 3, 5, 6, 8, 10 AND 11  
 MASONRY (BRICK) FIELD COLOUR -  
 BRAMPTON BRICK: CONTEMPORARY  
 SERIES - ROYAL GRAY (PREMIUM PLUS)  
 MASONRY (BRICK) ACCENT COLOUR -  
 BRAMPTON BRICK: (PREMIUM PLUS)  
 CONTEMPORARY SERIES - ESPRESSO.  
 MASONRY / STONE BASE - BRAMPTON  
 BRICK: CONTEMP. DESIGNER  
 (PATTERN C - 100% LARGE)  
 HARDIE BOARD SIDING / VINYL SIDING  
 OR EQUIVALENT  
 SAGE - STANDARD FROM MITTEN  
 SIDING & ACCESSORIES  
 HORIZONTAL ALUMINUM SIDING OR  
 CEMENTitious HORIZONTAL BOARD  
 (WOOD GRAIN FINISH)  
 CEDAR, HARVEY WOOD COLLECTION  
 MHIC 1750 BY METAL ARCHITECTURE.
- ALL WINDOW FRAMES AND MULLIONS  
 TO BE BLACK
- ALL GUARDS AND RAILINGS TO BE  
 10mm SQUARED BLACK ANODIZED  
 RAILING WITH GLASS INSERT.
- ALL TERRACE DIVIDER TO BE BLACK METAL  
 FRAME WITH FROSTED GLASS OR WHITE VINYL

[illegible]

**SRN**  
ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



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CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
**MIXED-USE RESIDENTIAL**  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

**TOWNHOUSES - BLOCK 10  
ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R
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PROJECT NUMBER:	DRAWING NUMBER:
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S17066	A428
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
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NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION


### ADDITIONAL NOTES


WINDOWS:  
-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER  
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR  
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS  
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING  
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)  
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

**MATERIALS LEGEND:**

 **BLOCKS 1, 2, 4, 7, 9 AND 11**  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - MOUNTAIN GRAY (PREMIUM PLUS)

 **BLOCKS 3, 5, 6, 8, 10 AND 12**  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - ROYAL GRAY (PREMIUM PLUS)

 **MASONRY (BRICK) ACCENT COLOUR -**  
BRAMPTON BRICK: (PREMIUM PLUS)  
CONTEMPORARY SERIES - ESPRESSO.



**MASONRY / STONE BASE - BRAMPTON  
BRICK - CONTEMPO - DOVER  
(PATTERN C - 100% LARGE)**

**HARDIE BOARD SIDING / VINYL SIDING  
OR EQUIVALENT  
SAGE - STANDARD FROM MITTEN  
SIDING & ACCESSORIES.**

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHQC 1750 BY METAL ARCHITECTURE.

ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

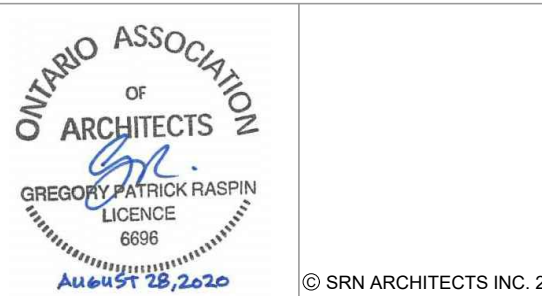
ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT.

ALL TERRACE DIVIDER TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
VINYL

[illegible]

**SRN**  
ARCHITECTS

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517



CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

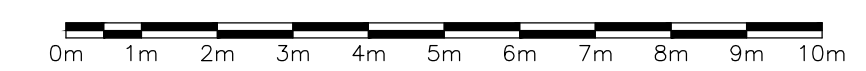
**TOWNHOUSES - BLOCK 11  
ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R.
---------------------	--------------------

PROJECT NUMBER:	DRAWING NUMBER:
-----------------	-----------------

S17066 A429






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NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION


### ADDITIONAL NOTES


WINDOWS:  
 -WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER  
 -WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR  
 -AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS  
 -BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING  
 -SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)  
 -FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%


**MATERIALS LEGEND:**


 BLOCKS 1, 2, 4, 7, 9 AND 11  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - MOUNTAIN GRAY (PREMIUM PLUS)


 BLOCKS 3, 5, 6, 8, 10 AND 12  
MASONRY (BRICK) FIELD COLOUR -  
BRAMPTON BRICK: CONTEMPORARY  
SERIES - ROYAL GRAY (PREMIUM PLUS)


 MASONRY (BRICK) ACCENT COLOUR - BRAMPTON BRICK (PREMIUM PLUS) OR TEMPORARY SEEDING - BARRIOSSO.


 MASONRY / STONE BASE - BRAMPTON BRICK - CONTEMPO - DOVER (PATTERN C - 100% LARGE).

 HARDIE BOARD SIDING / VINYL SIDING OR EQUIVALENT  
SAGE - STANDARD FROM MITTEN SIDING & ACCESSORIES.

 HORIZONTAL ALUMINUM SIDING OR CONTINUOUS HORIZONTAL BOARD (WOOD GRAIN FINISH)  
HARDY WOOD COLLECTION  
MOC 1750 BY METAL ARCHITECTURE.

 ALUMINUM FRAMES AND MULLIONS TO BE BLACK

 ALL GUARDS AND RAILINGS TO BE 40mm SQUARED BLACK ANODIZED RAILING WITH GLASS INSERT.

 ALL TERRACE DIVIDER TO BE BLACK METAL FRAME WITH FROSTED GLASS OR WHITE VINYL.

[illegible]

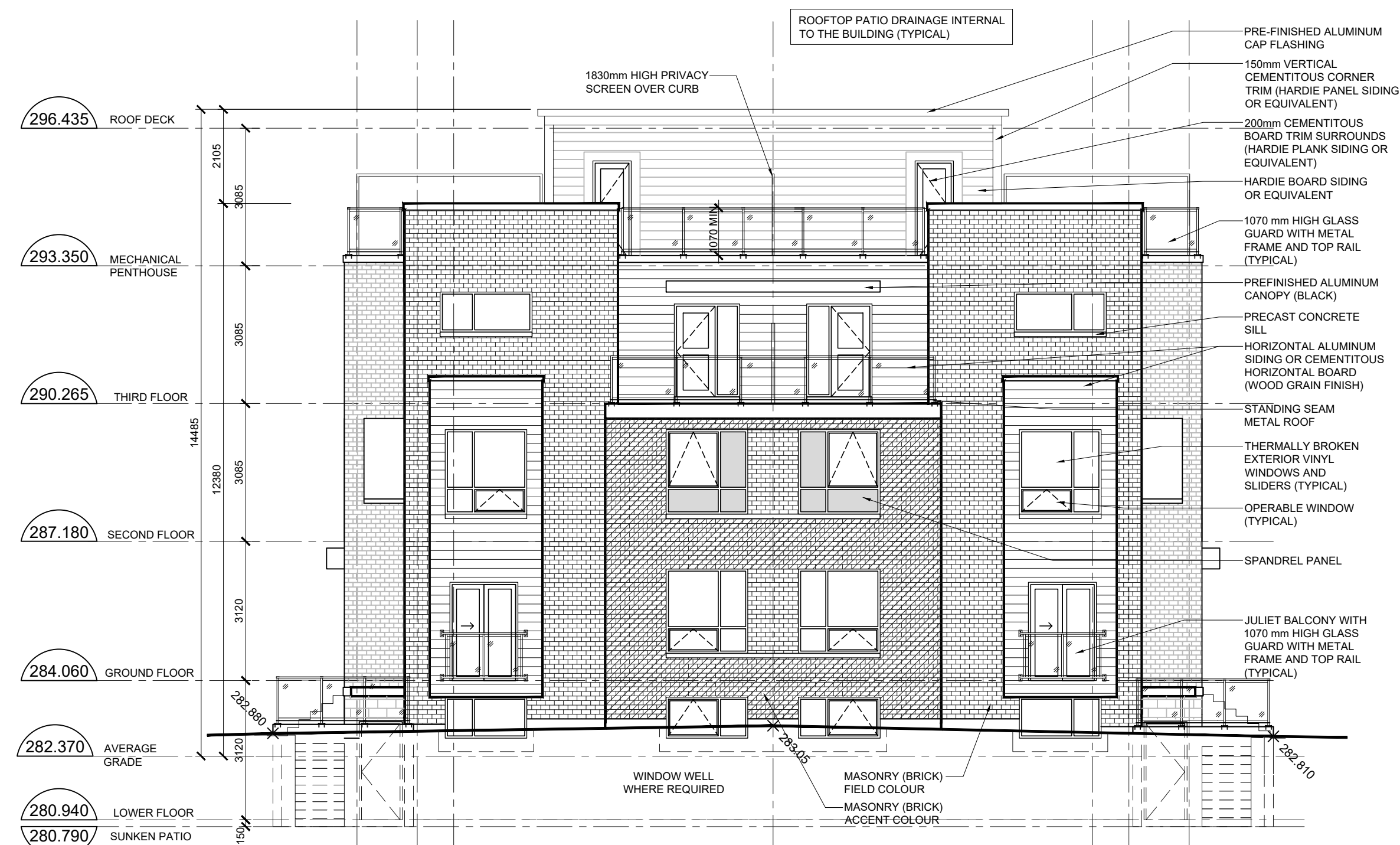
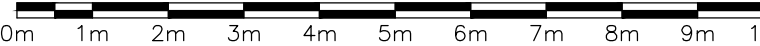
CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

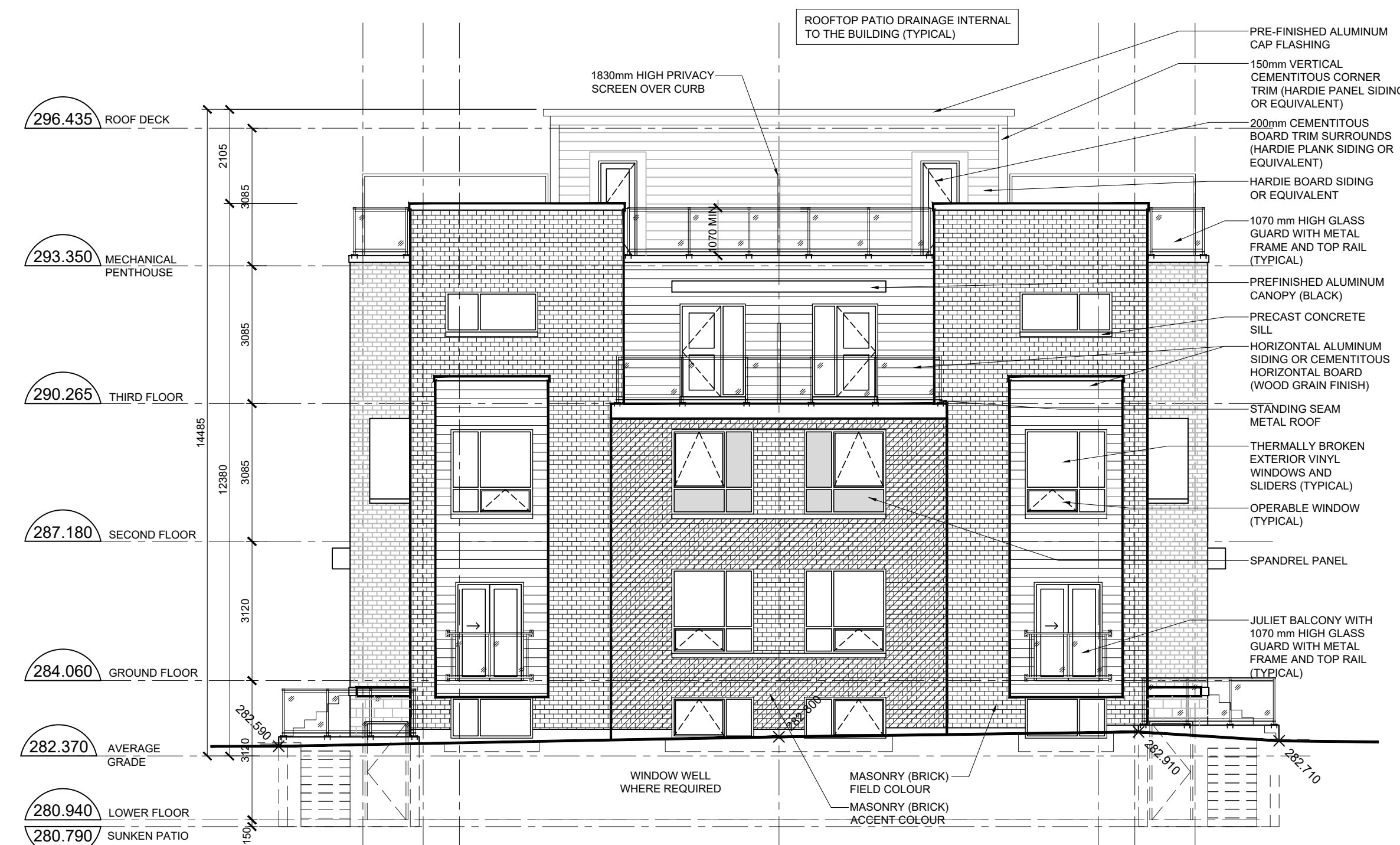
DRAWING TITLE:  
TOWNHOUSES - BLOCK 1  
ELEVATIONS

DATE: 28/10/19	SCALE: 1:100
DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R.
PROJECT NUMBER:	DRAWING NUMBER:

S17066 A430



1 EAST ELEVATION - BLOCK 11  
A430 SCALE: 1:100



2 WEST ELEVATION - BLOCK 11  
A430 SCALE: 1:100



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MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO.	DATE:	ISSUED FOR:
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW
17	09/06/20	MUNICIPAL REVIEW
18	16/06/20	FIRE DEPT REVIEW
19	28/07/20	CLIENT REVIEW
20	04/08/20	CONSULTANT COORD.
21	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>.K) OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

**MATERIALS LEGEND:**

**BLOCKS 1, 2, 4, 7, 9 AND 11**  
**MASONRY (BRICK) FIELD COLOUR -**  
**BRAMPTON BRICK: CONTEMPORARY**  
**SERIES - MOUNTAIN GRAY (PREMIUM PLUS)**

**BLOCKS 3, 5, 6, 8, 10 AND 12**  
**MASONRY (BRICK) FIELD COLOUR -**  
**BRAMPTON BRICK: CONTEMPORARY**  
**SERIES - ROYAL GRAY (PREMIUM PLUS)**

**MASONRY (BRICK) ACCENT COLOUR -**  
**BRAMPTON BRICK: (PREMIUM PLUS)**  
**CONTEMPORARY SERIES - ESPRESSO.**

**MASONRY / STONE BASE - BRAMPTON**  
**BRICK - CONTEMPO - DOVER**  
**(PATTERN C - 100% LARGE)**

HORIZONTAL ALUMINUM SIDING OR  
CEMENTITIOUS HORIZONTAL BOARD  
(WOOD GRAIN FINISH)  
CEDAR, HARRY WOOD COLLECTION  
MHQC 1750 BY METAL ARCHITECTURE.

ALL WINDOW FRAMES AND MULLIONS  
TO BE BLACK

ALL GUARDS AND RAILINGS TO BE  
40mm SQUARED BLACK ANODIZED  
RAILING WITH GLASS INSERT.

ALL TERRACE DIVIDER TO BE BLACK METAL  
FRAME WITH FROSTED GLASS OR WHITE  
VINYL.

[illegible]

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO, L4K 5Y2  
PHONE: 905.417-5515 FAX: 905.417-5517

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*SRN*  
GREGORY PATRICK RASPIN  
LICENCE  
66096  
August 18, 2020

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CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
TORONTO, ONTARIO. M3B 2T5  
(P) 416.733.3128 (F) 416.733.3129

---

PROJECT: **MIXED-USE RESIDENTIAL**  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

**TOWNHOUSES - BLOCK 12  
ELEVATIONS**

DATE: 28/10/19	SCALE: 1:100
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DRAWN BY: N.W./F.K.	CHECKED BY: G.P.R.
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S17066 | A431



1 EAST ELEVATION - BLOCK 1  
A431 SCALE: 1:100



2 SOUTH ELEVATION - BLOCK 1  
A431 SCALE: 1:100



3 WEST ELEVATION - BLOCK  
A431 SCALE: 1:100



4 NORTH ELEVATION - BLOCK 12  
A431 SCALE: 1:100





NO	DATE	ISSUED FOR:
7	06/12/18	CLIENT REVIEW
8	13/12/18	CLIENT REVIEW
9	19/12/18	ISSUED FOR ZONING REVIEW
10	22/01/19	CLIENT REVIEW
11	15/10/19	CONSULTANT COORD.
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW

**WINDOWS:**  
 -WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER  
 -WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACES SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m<sup>2</sup>K) OR  
 -AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS  
 -BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW E COATINGS  
 -SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m<sup>2</sup>K)  
 -FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

	BLOCKS 1, 2, 4, 7, 9 AND 11
	MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK: CONTEMPORARY SERIES - MOUNTAIN GRAY (PREMIUM PLUS)
	BLOCKS 3, 5, 6, 8, 10 AND 12
	MASONRY (BRICK) FIELD COLOUR - BRAMPTON BRICK: CONTEMPORARY SERIES - ROYAL GRAY (PREMIUM PLUS)
	MASONRY (BRICK) ACCENT COLOUR - RAMPTON BRICK: PREMIUM PLUS CONTEMPORARY SERIES - RED PRESS
	MASONRY / STONE BASE - BRAMPTON BRICK: CONTEMPO - DOVER (PATTERN C - 100% LARGE) HARD BOARD SIDING / VINYL SIDING OR EQUIVALENT SAGE - STANDARD FROM MITTEN SIDING ACCESSORIES
	HORIZONTAL ALUMINUM SIDING OR CEMENTITIOUS HORIZONTAL BOARD WITH GRAIN FINISH CEDAR: HARDY WOOD COLLECTION MCMO 1755 BY METAL ARCHITECTURE.
	ALL WINDOW FRAMES AND MULLIONS TO BE BLACK
	ALL GUARDS AND RAILINGS TO BE 40mm SQUARED GLASS ANODIZED RALU WITH GLASS INSERT.
	ALL TERRACE DIVIDER TO BE BLACK METAL FRAME WITH FROSTED GLASS OR WHITE VINYL.

**SRN**  
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8395 JANE STREET, SUITE 202  
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CLIENT: **MARIANNEVILLE**  
**DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
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(P) 416.733.3128 (F) 416.733.3129

DRAWING TITLE:

TYPICAL COLOURED  
ELEVATIONS

S17066	A435
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NO	DATE	ISSUED FOR:
7	06/12/18	CLIENT REVIEW
8	13/12/18	CLIENT REVIEW
9	19/12/18	ISSUED FOR ZONING REVIEW
10	22/01/19	CLIENT REVIEW
11	15/10/19	CONSULTANT COORD.
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2\text{K)}$
- OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2\text{K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

2, 3, 4, 7, 9 AND 11  
 MASONRY (BRICK) FIELD COLOUR -  
 BRAMPTON (BRICK) CONTEMPORARY  
 SERIES - MOUNTAIN GRAY (PREMIUM PLUS),  
 BRICKS - 3, 5, 8, 6, 10 AND 12;  
 MASONRY (BRICK) FIELD COLOUR -  
 BRAMPTON (BRICK) CONTEMPORARY  
 SERIES - ROYAL GRAY (PREMIUM PLUS)  
 MASONRY (BRICK) ACCENT COLOUR -  
 BRAMPTON (BRICK) CONTEMPORARY  
 SERIES - MOUNTAIN GRAY (PREMIUM PLUS),  
 MASONRY / STONE BASE - BRAMPTON  
 (BRICK) CONTEMPORARY - DOVER  
 (PATTERN C - 100% LARGE)  
 HARDY BOARD SIDING / VINYL SIDING  
 OR EQUIVALENT  
 SAGE - STANDARD FROM MITTEN  
 SIDING ACCESSORIES  
 HORIZONTAL ALUMINUM SIDING OR  
 CEMENTITIOUS HORIZONTAL BOARD  
 WITH GRAN FINISH  
 CEDAR, HARRY WOOD COLLECTION  
 MCMC 1750 BY METAL ARCHITECTURE,  
 ALL WINDOW FRAMES AND MULLIONS  
 TO BE BLACK  
 ALL GUARDS AND RAILINGS TO BE  
 40mm SQUARED BLACK ANODIZED  
 ALUMINUM WITH GLASS INSERT  
 ALL TERRACE DOOR TO BE BLACK METAL  
 FRAME WITH FROSTED GLASS OR WHITE  
 VINYL

**SRN**  
ARCHITECTS  
8395 JANE STREET, SUITE 202  
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CLIENT: **MARIANNEVILLE  
DEVELOPMENTS LIMITED**  
26 LESMIL ROAD, UNIT 3  
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DRAWING TITLE:

TYPICAL COLOURED  
ELEVATIONS - BLOCK 6 & 8

S17066	A436
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NO	DATE	ISSUED FOR:
7	06/12/18	CLIENT REVIEW
8	13/12/18	CLIENT REVIEW
9	19/12/18	ISSUED FOR ZONING REVIEW
10	22/01/19	CLIENT REVIEW
11	15/10/19	CONSULTANT COORD.
12	16/10/19	CLIENT REVIEW
13	18/11/19	SITE PLAN APPLICATION
14	14/04/20	CONSULTANT COORD.
15	28/05/20	CLIENT REVIEW
16	03/06/20	CLIENT REVIEW

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $1.6 \text{ W/(m}^2 \text{ K)}$  OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF  $2.8 \text{ W/(m}^2 \text{ K)}$
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

BLOCKS 1, 2, 4, 7, 9 AND 11  
 MASONRY (BRICK) FIELD COLOR - OUR  
 - BRAMPTON BRICK - CONTEMPORARY  
 SERIES - MOUNTAIN GRAY (PREMIUM PLUS)  
 BLOCKS 3, 5, 8, 10 AND 12  
 MASONRY (BRICK) FIELD COLOR -  
 - BRAMPTON BRICK - CONTEMPORARY  
 SERIES - ROYAL GRAY (PREMIUM PLUS)  
 MASONRY (BRICK) ACENT COLOR -  
 - BRAMPTON BRICK - (PREMIUM PLUS)  
 CONTEMPORARY SERIES - ESPRESSO  
 MASONRY - STONE BASE - DOVER  
 (PATTERN C - 100% LARGE)  
 HARDIE BOARD SIDING / VINYL SIDING  
 OR EQUIVALENT  
 SAGE - STANDARD FROM MITTEN  
 SIDING & ACCESSORIES  
 HORIZONTAL ALUMINUM SIDING OR  
 CEMENTITIOUS HORIZONTAL BOARD  
 (WOOD GRAIN FINISH)  
 CEDAR, HARRY WOOD COLLECTION  
 MHOC 1750 BY METAL ARCHITECTURE.  
 ALL WINDOW FRAMES AND MULLIONS  
 TO BE BLACK  
 ALL GUARDS AND RAILINGS TO BE  
 40mm SQUARED BLACK ANODIZED  
 RAILING WITH GLASS INSERT  
 ALL TERRACE DIVIDER TO BE BLACK METAL  
 FRAME WITH FROSTED GLASS OR WHITE  
 VINYL

**SRN**  
ARCHITECTS  
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DRAWING TITLE:

TYPICAL COLOURED  
ELEVATIONS

S17066	A437
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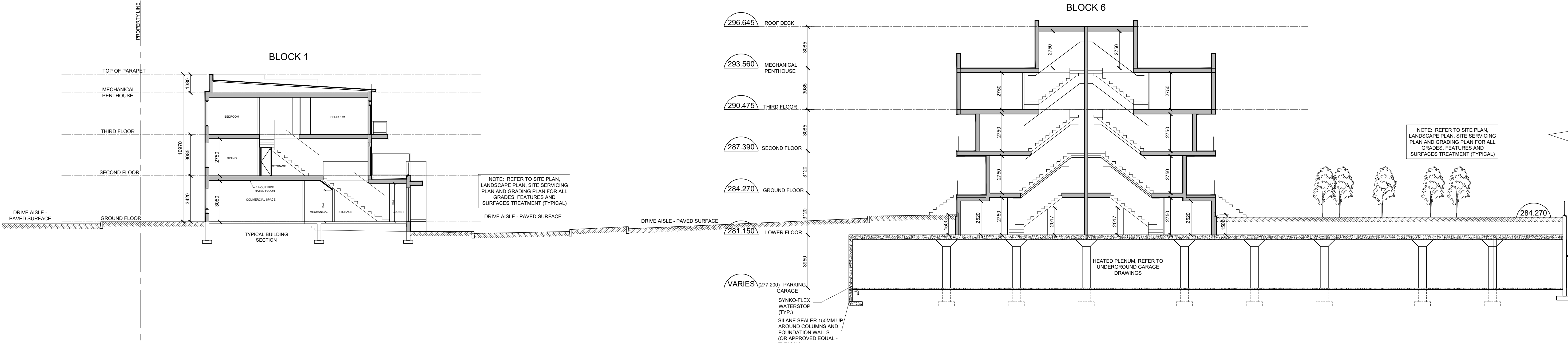




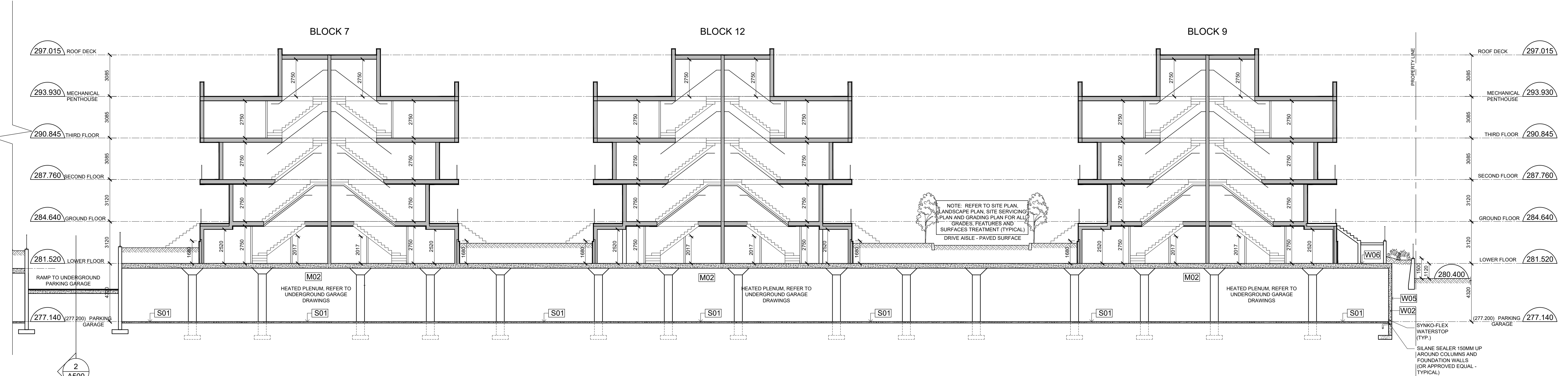
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

	DATE:	ISSUED FOR:
2	16/10/19	CLIENT REVIEW
3	18/11/19	SITE PLAN APPLICATION
4	14/04/20	CONSULTANT COORD.
5	28/05/20	CLIENT REVIEW
6	03/06/20	CLIENT REVIEW
7	09/06/20	MUNICIPAL REVIEW
8	16/06/20	FIRE DEPT REVIEW
9	04/07/20	CLIENT REVIEW
0	08/08/20	CONSULTANT COORD.
1	26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:



1 SITE SECT  
A500 SCALE: 1:150



1 SITE SECT  
A500 SCALE: 1:150

[illegible]

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ARCHITECTS

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VAUGHAN, ONTARIO. L4K 5Y2  
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PROJECT:  
MIXED-USE RESIDENTIAL  
GLENVIEW - NEW MARKET  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

TYPICAL SITE SECTIONS

DATE: 18/09/2019

SCALE: 1:150

DRAWN BY: N.W. / J.O.

CHECKED BY: G.P.R

PROJECT NUMBER:

DRAWING NUMBER:

S17066

# A500



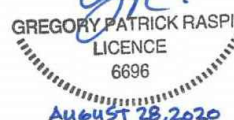
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

DATE:	ISSUED FOR:
2 16/10/19	CLIENT REVIEW
3 18/11/19	SITE PLAN APPLICATION
4 14/04/20	CONSULTANT COORD.
5 28/05/20	CLIENT REVIEW
6 03/06/20	CLIENT REVIEW
7 09/06/20	MUNICIPAL REVIEW
8 16/06/20	FIRE DEPT REVIEW
9 04/07/20	CLIENT REVIEW
0 28/08/20	CONSULTANT COORD.
1 26/08/20	SITE PLAN APPLICATION

ADDITIONAL NOTES:

[illegible]

8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO. L4K 5Y2  
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(P) 416.733.3128 (F) 416.733.3129

PROJECT:  
MIXED-USE RESIDENTIAL  
BLOCK 164 / 165  
GLENWAY - NEWMARKET, ON

DRAWING TITLE:

TYPICAL SITE SECTIONS

SCALE: 1:150

CHECKED BY: G.P.R

DRAWING NUMBER:

S17066 | A501





