



MULOCK PROPERTY 2020-05-15

MASTER PLAN

PHASE 1A APPENDICES



PLANT

Mulock Dr

Banbrooke Cres

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APPENDIX A DOCUMENT REVIEW CHART



MULOCK MP							
Background info provided by Town of Newmarket last updated: 19-12-10							
#	Type of document	Title of Report	name of elec file (if different)	weblink (if applicable)	Source / Author	date of report (if applicable)	brief description / comments
1	news article	First Peek at Newmarket's Mulock Estate has imaginations running wild	First peek at Newmarket's Mulock Estate has imaginations running wild (21 photos) - NewmarketToday.ca		Newmarket Today Website	19-10-22 (or earlier)	interview notes with mayor (Taylor) and vice-president of historical society (Playter) during picnic and public walk-through, interviews with members of public incl. ideas for house use and wishes for landscape, brief info on house purchase, public feedback in online comments
2	eng. report	Buildig Condition Assessment Report	Mulock Estate Assess RJBurnside 170929		Burnside	17-09-29	conditions assessment of house and accessory structures with ballpark costs to repair, most notably:
3	eng. report	Building and Site Features Review	Mulock Estate Bldg +Site features review 170825		exp Services	19-08-25	conditions assessment of house and accessory structures (Burnside report easier to read, unsure why had 2 reports done)
4	Des. Substances Survey	Designated Substances Survey	Mulock Estate Desig Substances Report 1709		Burnside	17-09	asbestos: pipe wrap, flooring, mastic – recommendation to prepare AMP (was this done?) lead: paint – worker precautions mercury: CFL bulbs and thermostat – remove Silica sand: concrete, masonry, bricks – worker precautions Benzene: fuel in ASTs – no special treatment
5	eng. Letter / report	Condition assessment main house (foundation walls)	Mulock Estate Foundation Report 191031		Burnside	17-10-31	Condition assessment main house foundations with repair details and cost estimate. Assessment incl. boreholes
6	geotech report	Geotechnical Investigation	Mulock Estate geotech report 1709		Soil Engineers Ltd.	17-10	
7	report	Current Market Value Appraisal	Mulock Estate Market Appraisal 160206		Suncorp Valuations	16-02-06	classifies project site as "redevelopment land" w/ med to high density commercial and residential uses (in the absence of its use as parkland), with mention of heritage residence, out-buildings, pool, woodlot Incl. info on property taxes (page 14) market value: 18,560,000 (base on highest & best use)
8	report	Updated Current Market Value Appraisal	Mulock Estate market Appraisal 161031		Suncorp Valuations	16-10-31	updated market value: 20,900,000
9	eng. report	Observation Report (during material sample collection and boreholes, and of repairs)	Mulock Estate Observation Report 180406		exp Services	18-04-06	reports on samples taken for des. Sub. Survey etc. (e.g. boreholes)
10	eng. report	Observation Report (during repairs)	Mulock Estate Observation Report 180514		exp Services	18-05-14	reports on repairs of sampled areas
11	eng. report	Phase 1 Environmental Site Assessment	Mulock Estate Phase 1 Enviro Report 171003		Soil Engineers Ltd.	17-10-03	for fuel tanks / pesticides (farm use)
12	eng. report	Preliminary Phase 2 Environmental Site Assessment	Mulock Estate Phase 2 Enviro Report 171120		Soil Engineers Ltd.	17-11-20	for fuel tanks / pesticides (farm use)
13	Planning Document	Recreation Playbook, Town of Newmarket Recreation Master Plan 2015-2025	Newmarket Recreation Playbook_2015		Newmarket	2015	see summary in word doc of same name
14	Planning Document	Cultural Master Plan 2009-2019	Newmarket_cultural_master_plan_web_final		Newmarket	approved 2009?	to establish strategic direction for the Town's provision of Culture through 2018
15	by-law	By-law to designate a property as being of arch. and hist. value of interest	Schedule 7 - 2003-168 Designation of 16780 Yonge Street - Mulock House		Newmarket	03-12-15	see file "Reports_summarized.docx"
16	staff report	Mulock Estate Planning Vision Staff Report	Schedule 8 - Staff Report 2018-10 - Mulock Estate Planning Vision		Newmarket	18-02-26	see file "Reports_summarized.docx"
17	presentation	Mulock Estate Planning Vision	Schedule 9 - Mulock Estate - Future Planning Vision - Feb 26 18		Newmarket	18-02-26	see file "Reports_summarized.docx"
18	report	William Mulock History (biography)	William Mulock Biography from Laura		LS, Newmarket	19-03-22	biography William Mulock re: time at UfoT, government. incl. no citations
19	spreadsheet	Tree inventory	meta data		Newmarket Forestry	19-10-23 (or earlier)	

20	weblink	Oak Ridges Moraine Conservation Plan	Oak Ridges Moraine Conservation Plan	https://www.newmarket.ca/TownGovernment/Pages/Strategies,%20Plans%20and%20Publications/Plans/Oak-Ridges-Moraine-Conservation-Plan.aspx	internet		see file "Reports_summarized.docx"
21	weblink	Mulock Property	Mulock Property	https://www.newmarket.ca/LivingHere/Pages/Parks,%20Trails%20and%20Sport%20Fields/Mulock-Property.aspx	internet		vision for property: to create an iconic community park/outdoor space, with passive and active recreation opportunities in all seasons. inspiration drawn from Central Park (NYC), outdoor skating trails (Gage Park, Brampton), Arrowhead Ice Trail (Huntsville) purchase cost: 24\$ million questions to public re: desired uses incl. render of possible uses, and links to "concept videos" incl. links to other resource material such as engineering reports, Media Release
22		Public Art Plan (Final Draft)	PublicArtPlan	https://www.newmarket.ca/ThingsToDo/Documents/PublicArtPlan.pdf	Town of Newmarket Website	(2013-2023)	Document appears to be incomplete, and includes multiple copies of the same spreadsheet. Text outlines priority areas for public art (specific locations and corridors along Davis and Yonge - map included), suggests a budget for art (on a per project basis), explains what public art is (eg. temporary vs. permanent), who qualifies as 'artist', and the Town's mandate to maintain permanent art. Goal is to attract tourists, support revitalization of downtown, support economic growth / local businesses, be attractive to young people.
23	plan amendment, report	Urban Centres Secondary Plan (Official Plan Amendment #10 for the Town of Newmarket Official Plan)	Urban Centres Secondary Plan October 25 2016 Consolidation	https://www.newmarket.ca/LivingHere/Documents/Planning%20Department/Secondary%20Plan/Urban%20Centres%20Secondary%20Plan%20-%20October%2025%202016%20Consolidation.pdf	Town of Newmarket Website	16-10-25	
24	weblink	Link to Secondary Plan and supporting documents / research		https://www.newmarket.ca/LivingHere/Pages/Planning%20and%20development/Urban-Centres-Secondary-Plan.aspx	Town of Newmarket Website		
25	weblink to video	Rendered 3D flyover of proposed summer use	Mulock Estate/Farm Proposed Concept Video – Summer, showing conceptual building massing - YouTube	https://www.youtube.com/watch?v=fjI83BYebd4	Town of Newmarket Youtube Channel	18-02-23	rendering incl. skating rink, parking lots, trails, pond, pavilion, new surrounding buildings
26	weblink to video	Rendered 3D flyover of proposed winter use	Mulock Estate/Farm Proposed Concept Video – Winter - YouTube	https://www.youtube.com/watch?v=9uONTg4fVnk	Town of Newmarket Youtube Channel	18-02-16	rendering incl. skating rink, parking lots, skate trails, skate pond, pavilion, new surrounding buildings
27	report	Active Transportation Implementation Plan, Final Report	Newmarket Active Transportation Plan Report	https://www.newmarket.ca/LivingHere/Documents/Newmarket%20Active%20Transportation%20Plan%20Report.pdf	WSP, Town of Newmarket	18-07	see summary in word doc of same name
28	report	Active Transportation Implementation Plan Summary Information Report	10 - 2018-54 Active Transportation Implementation Plan Summary	https://www.newmarket.ca/TownGovernment/Documents/10%20-%202018-54%20Active%20Transportation%20Implementation%20Plan%20Summary.pdf	Town of Newmarket	19-03-15	Background: WSP hired to advise on scheduling for construction for active transportation routes in 2017 (follow-up on 2014 study) ATIP identifies opportunities to connect existing infrastructure to promote walking, cycling, for recreation and commute. Multi-year strategy to help town implement these. ATIP based on public consultation process and principles of Ontario Traffic Manual #18 WSP provided preliminary designs & recommendations for off-road facilities and trails, wayfinding system, schedule, costing grant covers 2 years program, and some cycling facilities have been constructed (2018: Main Street North, Woodspring Ave. future 2019: Harry Walker Parkway, Stackhouse Road). Funding since stopped, other sources required. Report incl. budget info.
29	Presentation	Town of Newmarket & YRDSB inHub Community - The Challenge	inHub presentation opener.pptx		Town of Newmarket		first Presentation with grade 9 Students, incl. render of proposed site uses (rink etc.)
30		Town of Newmarket – Mulock Property	Mulock presentation for Crossland		Town of Newmarket		second presentation with grade 4,5,6 presentation students

31	map	Newmarket Facilities, Parks, and Trails	2018_FacilitiesParksTrails11X17		Town of Newmarket	2018	
32	website	Active Transportation in Newmarket Today	Active Transportation Implementation Plan	https://www.newmarket.ca/active/transportation	Town of Newmarket		website explains: ATIP (Active transportation Implementation Plan) developed to identify timing of implementation of routes through town where better facilities (trails, bike lanes) would help residents "to walk, cycle or roll to their destinations". ATIP builds upon Region of York 2014 study and other location and regulation documents. reference to East-West bikeway and Tom Taylor Trail as key transportation corridors, with plan to connect these. Goal: to encourage residents to be more active using local opportunities. Links to misc. documents (most relevant ones listed here)
33	Presentation / Map	(Map of Nokiidaa Trail)	NewmarketMaps			2018?	
34	traffic manual	Ontario Book 18, Ontario traffic Manual, Cycling Facilities	Ontario Traffic Manual - Book 18		Ontario	13-12	is this even relevant? No – Ontario is not specific enough
35	illustrated document	Cycle ON Action Plan 1.0	ontario-cycle-action-plan-highlights			2014	is this even relevant? No – Ontario is not specific enough
36	text	#CycleON Action Plan 1.0	ontario-cycle-action-plan		Ontario	14-04	is this even relevant? No – Ontario is not specific enough
37	illustrated report	#CycleON Ontario's Cycling Strategy	ontario-cycle-strategy		Ontario	2013	is this even relevant? No – Ontario is not specific enough
38	map	Newmarket trails Legend	TrailGuide2012_M		Town of Newmarket	2012	
39	map	York South Cycling map	YorkCycling_SouthBikeMap_2017		York Region?	2017	
40	by-law	Heritage Designation By-Law of Mulock Estate	2003-168 Designation of 16780 Yonge Street - Mulock House			12-2003	same as previously received?
41	arch. study	arch. study of Proposed Mulock Country Estates, parts of lots 90, 91, 92, concession 1 (immediately North, West, South of our site)	Criterion south archaeological study		Archaeological Services Inc. (for Criterion Development)	1993-08	study includes land transfer info: "The South half of the estate passed Rogers' hands in 1881 when William Mulock purchased it for \$6,300 (Instrument #3715). In 1884, Mulock acquired the north half from Augustus Rogers et al. for \$9,000 (Instrument #4717). The 1893 assessment of King Township noted that Mulock employed a farmer, labourer, and "yardman" on Lot 91. It is interesting to note that despite the prominence of both the Mulock and Rogers families in their community, neither family appears in the <i>Commemorative Biographical Record of York County</i> published by Beers in 1907."
42		Stormwater Management Report of surrounding areas	Stormwater Management Report Mulock Farm Development Apr 1992		Marshall Macklin Monaghan Ltd. (for Criterion Development)	April 1992	Horas non numero nisi serenas I don't count the hours unless they're tranquil.
43	article	New Face for A Country Home			J.C. Montgomery	April 1949	
44	article	The Elms: An Estate of Trees			Anne Elizabeth Wilson	November 1931	
45	article	Mulock at 100 Sees Glory in Canada's Latent Values			Janet Tupper	January 12, 1944	
46	article	Pleasant Places to Drive and Dine	1933 Newmarket Era Enchanted Garden article.pdf		The Newmarket Era	August 11, 1933	
47	article	The Garden of Tom and Joyce Mulock			Newmarket, Ontario		
48	Heritage Binders Provided by Laura Sher						
49	essay?	A brief History of the Town of Newmarket, etc	A brief History of the Town of Newmarket (and more)		Terry Carter, NHS Peggy McCheney		
50	Email	Mulock/McKenzie King Story from the Ward	MulockMackenzie King story from The Ward		Pamela Young, with quotes from "King of the Ward," by Myer Siemiatycki		
51	Essay?	Sr Wm. Mulock's Farm, The Enchanted Garden (August 11, 1933 – Golden Glow)	Sr Wm Mulock Farm Enchanted Garden Text				
52		Sr William Mulock guests and house photos	Sr Wm Mulock guests and house photos				
53	bullet points	Quick Notes on Sir William Mulock and the Mulock Estate ("Farm") – History of the Property	Mayor Town Hall Quick Mulock Notes				

54	bullet points from speech/presentation (and slides)	Sir William Mulock/Future of Mulock Property – Historical Society Speech – October 16	Mayors Historical Society Speaking Notes - FINAL (.docx & .pptx)				
55		FOLDER BRETT's INFORMATION OHOTOS: photos of family, property, house (not listed here). But folder also contains texts, newspaper clippings, maps, listed below					
56	newspaper article	[King] "Spends Night At Home of Sir William Mulock"	King NP				
57	postage stamp?	2c stamp	Map mint		1898		
58	photo of map	South Part of King Township	Map Mulock Farm				(photo of map, some information cut off)
59	text and maps	Timothy Rogers: The Story He Wanted To Tell (Talk to the Annual Meeting of the Canadian Friends Historical Association, Newmarket, Ontario, September 30, 2000)	Quaker Settlement		author: Christopher Densmore. Canadian Quaker Historical Journal, No. 65, 2000	2000	
60	online article	Newmarket renowned as home of Sir William and his Mulock Estate	Quaker Settlement		NewmarketToday.ca	18-10-11	
61	Master thesis	Education, Ideology and Social Structure: An Examination of the Development of Higher Education in Nineteenth Century Ontario	Thesis on Ontario Post-Secondary in late 1800s		Norene Julie Pupo, B.A. (thesis McMaster University)	09-1976	
62	map	Pacific showing cable?	trans cable		Town of Newmarket	19-10-07	
63	annotated aerial	Mulock House, garage, pool	Mulock_Property_BrettPres1		Town of Newmarket	19-10-07	
64	annotated survey/map	Mulock Property then and Now	Mulock_Property_BrettPres22				showing properties estate of the late Augustus Rogers and Town owned portion
65	map, list	Original Patentees Yonge Street First Concession Lots #81-xxx	Yonge Street and First Concession Lots, 1860				
66	handwritten letter / petition	petition for land grant? Signed by Rufus Rogers	Rufus Rogers				
67	biography	Excerpts from James Loudon's Sir William Mulock: A Short Biography "The Newmarket House"	Sir William Mulock and the Newmarket House				
68	biography	Sir William Mulock and University of Toronto – Connections, Stories, Trends, History	Sir William Mulock and University of Toronto				
69			Designation checklist				
70			Heritage Committee correspondence				
71			Letter to Estate Trustee permission to designate				
72			Letter to Ontario Heritage Foundation Intent to designate				
73			Memo to Council re designation process				
74			Notices of Passing				
75			Original write up by Wes Playter Heritage Committee				
76			Registration on Title				
77			Town Pages with Notices of passing				
78	Newspaper Article	Sir William Visits german Prisoners' Camp To Satisfy Himself They Are Well Treated	From the Newmarket Era Banner May 14th				
79	meeting minutes	Town Council Electronic Extrat – Date: March 24,2003 – Heritage Newmarket Minutes	Heritage Newmarket Committee Minutes February 26 2003			2003-02-26	

80	meeting minutes	Town Council Electronic Extrat – Date: June 25, 2003 – Heritage Newmarket Minutes	Heritage Newmarket Committee Minutes June 25 2003			2003-06-25	
81	news article?	His First Century, Says Sir Wiliam Mulock in his hundretdth year: "To luive long you've got to get a bang out of life."	His First Century - MacLeans		Thelma Lecocq (MacLeans?)	1943-03-01	
82	online article? Word doc	Newmarket renowned as home of Sir William his Mulock Estate	Newmarket renowned as home of Sir William and his Mulock Estate				contains photos of farmhouse and barn (burnt in 1997)
83	presentation slides	Sir William Mulock	PowerPoint Sir William Mulock October 24				
84	news article?	Sir William	Sir William MacLeans		R.T.L. (MacLeans?)	1933-08-01	
85		(seems to be the sane as above	Sir William Mulock Macleans				
86	news article?	The Fortunes of the Cawthras	The Fortunes of the Cawthras MacLeans		W.A. Craick	1914-09-01	
87		The Canadian WHO'S WHO	whoswho19361937			1936-1937	
88	photo	Black Walnut Trees, Sir William Mulock estate Aurora 1930?	PLAN_MX3610N@newmarket.ca_20191129_105325			1930?	
89		Sundial Text latin & translation	Mulock Sundial Latin (info from Laura Schembri)				
90		A Brief history of a secretive Toronto Millionaire – William Cawthra	A Brief history of a secretive Toronto Millionaire1		Chris Bateman is a staff writer at blogTO		biographical info on William Cawthra
91		A brief history of a secretive Toronto millionaire	Secretive Toronto Millionaire		Chris Bateman is a staff writer at blogTO		(seems to be same info as above)
92		Cawthra-Elliott, Grace & Harry	Cawthra - Mississauga				
93		A HISTORY OF THE CAWTHRA-ELLIOTT ESTATE, THE CAWTHRA FAMILY	Cawthra family		By Ken Phipps, LACAC student	September 1989	
94		Past and present : notes by Henry Cawthra and others	Henry Cawthra Past and Present	https://archive.org/details/pastpresentnotes00broc	Brock, Anne Maude; Young, A. H. (Archibald Hope), 1863-1936		
95		John Cawthra	John Cawthra		From Wikipedia, the free encyclopedia		
96		Joseph Cawthra	Joseph Cawthra 1		From Wikipedia, the free encyclopedia		
97		Joseph Cawthra	Joseph Cawthra 2		From Wikipedia, the free encyclopedia		
98		Mary Cawthra	Mary Cawthra				
99		William Cawthra	William Cawthra		From Wikipedia, the free encyclopedia		
100		James Crowther	relatives of James Crowther				
101		Relatives of Sarah Crowther	Relatives of Sarah Crowther				
102		Sir Wm. Mulock's Farm, The Enchanted Garden, August 11, 1933 – Golden Glow	Enchanted Garden		Golden Glow?	1933-08-11	same article as previous, but this is word doc
103		Toronto's greatest lost mansion—Cawthra House	Historic Toronto	cawthra-bush.org — www.blogto.com — www.biographi.ca & others (incl. in document)	William Dendy, "Lost Toronto"—		text and photos
104		A Brief History of the Town of Newmarket	History - Terry Carter Compilation				I think the same as listed above
105		Miscellany Toronto Photographs: Then and Now	Misc Toronto Photos				text and photos
106		Item PH7456 - Four Generation of the Mulock Family	4 generations		National Archives of Canada		
107		Mulock, Cawthra	bio Cawthra Mulock	seems to be webcontent, but link unclear	excerpt from Dictionart of Canadian Biography		biography of Mulock, Cawthra, son of William Mulock and Sarah Ellen Crowther, b. 17 May 1882
108		Cawthra Mulock Art	C Mulock art	earlsourtart.com ?			images of artwork
109		Cawthra / Mulock lineage	Cawthra Mulock lineage				incl logo / monogram like on house??
110		Cawtrhra Mulock Foundation	CM Foundation				

111	Item 16741 - Mulock, Col. William Pate obituary	Col William P Mulock obit				
112	Colonel William Pate Mulock obituary	Colonel William Pate Mulock obituary				
113	Hon. Colonel Wm P. Mulock	Hon. Col Wm. P Mulock				
114	History of Mulock Farm	Mulock Farm and Sir William timeline				
115	85 St. George Street, Toronto, ON M5S 2E5	Mulock House oft				
116	William Mulock Right Honourable Sir	mulock short sample	URL on scanned doc			
117	Mulock, Joyce Obituary	Obit Joyce Mulock 2015			2015-01-17	
118	Relatives of Cawthra Mulock	Relatives of Cawthra Mulock				
119	RtHonSir William Mulock	RtHonSir William Mulock				
120	Sir William Mulock (January 19, 1844 - October 1, 1944)	Sir William Mulock		listed in document		
121	Sir William Mulock, (BA 1863 UC) (MA 1871 Toronto) (LLD 1894 Toronto)	Sir William Mulock1				
122	The Irish Bomfords, The Mullock & Mulock Families of Great Britain & Ireland	The Irish Bomfords		By Robert Mullock-Morgans & Robert B.D.M. Hughes-Mullock FRAS		
123	The Right Honourable William Mulock	The Right Honourable William Mulock UofT				I think copy of above
124	William Mulock	William Mulock		From Wikipedia, the free encyclopedia		
125	Mulock – patriarchal lineage	Mulock lineage				
126	Ontario's Historical Plaques	plaque	http://www.ontarioplaques.com/index.html			photos of historical plaque
127	FALCONBRIDGE, Sir WILLIAM GLENHOLME	Sir William Glenholme Falconbridge	seems to be webcontent, but link unclear	excerpt from Dictionaryof Canadian Biography, Wikimedia		
128	William Cawthra Bissell 1935 2018	William Cawthra Bissell 1935 2018				



APPENDIX B
HOUSE ELEVATIONS AND OUT-
BUILDINGS MEASURED DRAWINGS
PLANT ARCHITECT INC





1 South Elevation
1:200



2 North Elevation
1:200

ISSUED: DATE:

PLANT
ARCHITECT INC.

SUITE 208 · 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: House Elevations

DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

DATE:

PAI PROJECT NO.: 19049

House 1



1 East Elevation
1:200



2 West Elevation
1:200

ISSUED: DATE:

PLANT
ARCHITECT INC.

SUITE 208 · 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: House Elevations

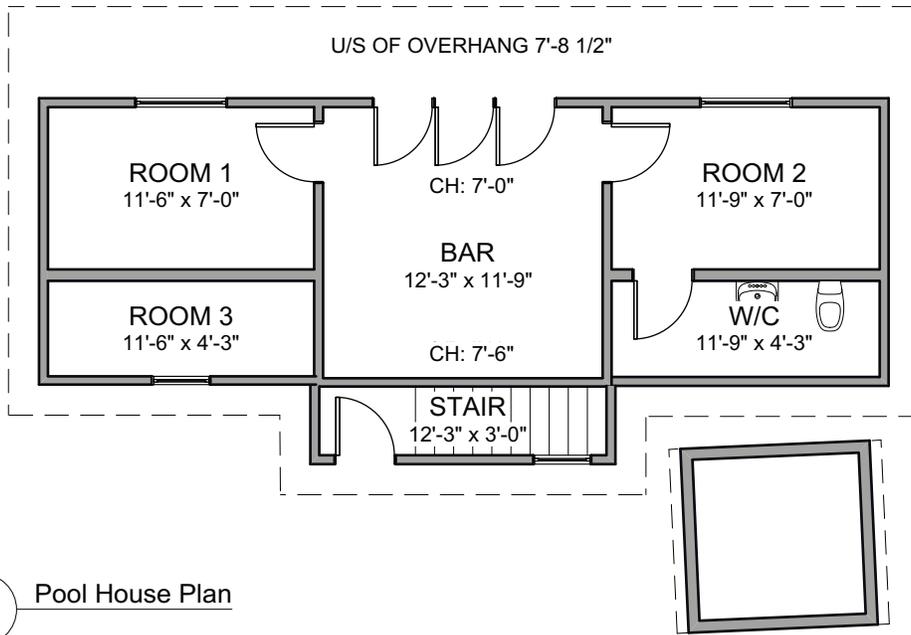
DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

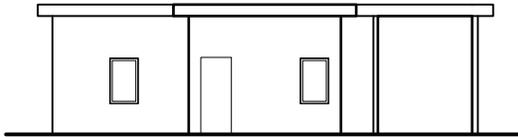
DATE:

PAI PROJECT NO.: 19049

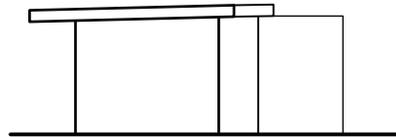
House 2



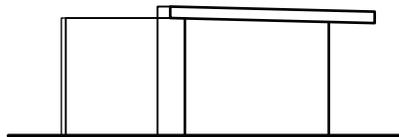
1 Pool House Plan



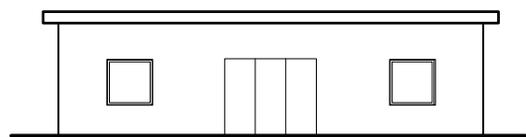
2 South Elevation
1:200



3 West Elevation
1:200



4 East Elevation
1:200



5 North Elevation
1:200

ISSUED: DATE:



PLANT
ARCHITECT INC.

SUITE 208 - 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: Plan and Elevations

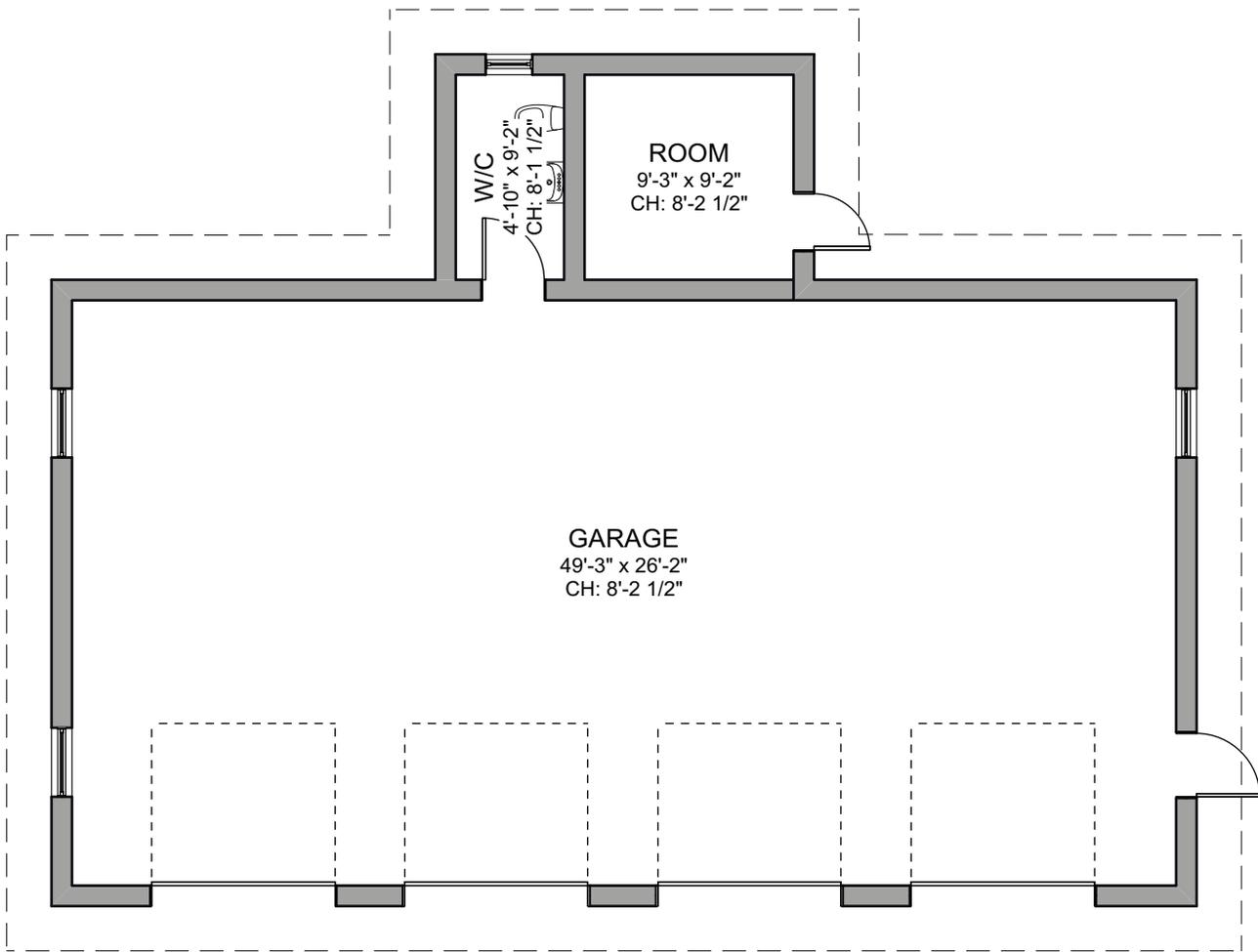
DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

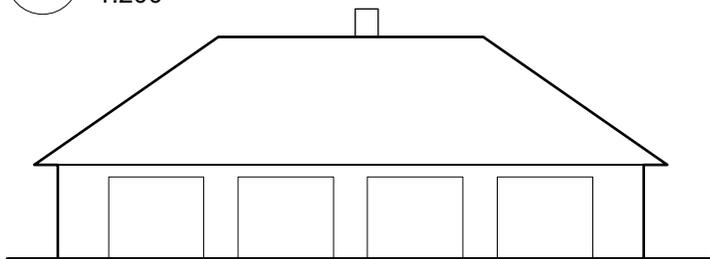
DATE:

PAI PROJECT NO.: 19049

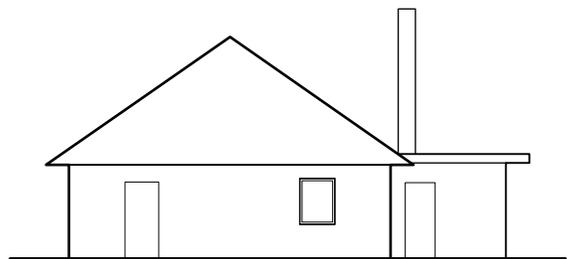
Pool House 1



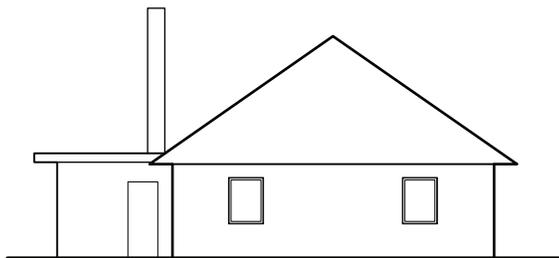
1 Garage Plan
1:200



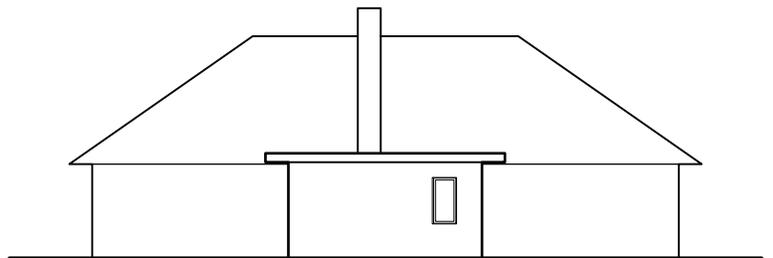
2 South Elevation
1:200



3 East Elevation
1:200



4 West Elevation
1:200



5 North Elevation
1:200

ISSUED: DATE:



PLANT
ARCHITECT INC.

SUITE 208 · 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: Plan and Elevations

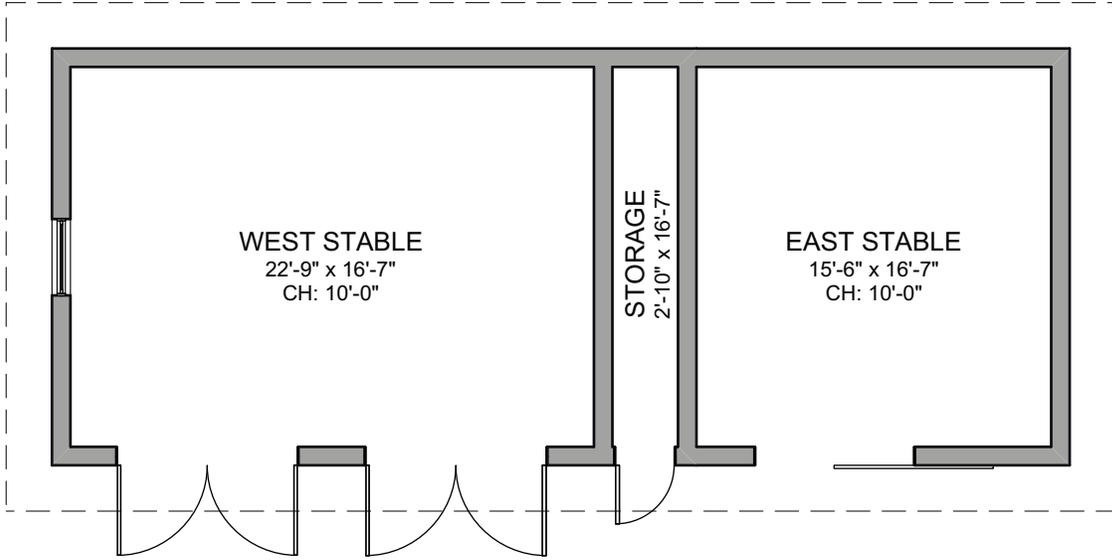
DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

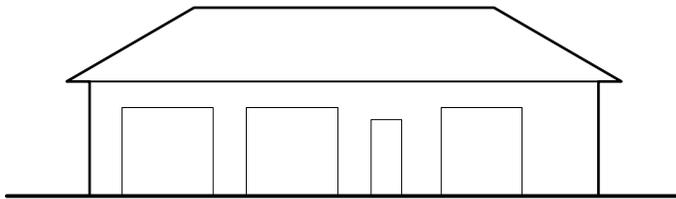
DATE:

PAI PROJECT NO.: 19049

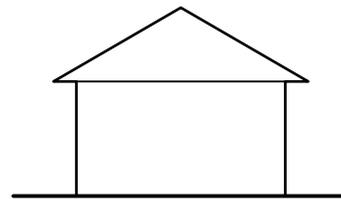
Garage 1



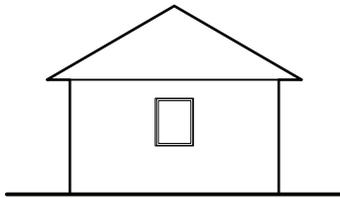
1 Stable Plan
1:100



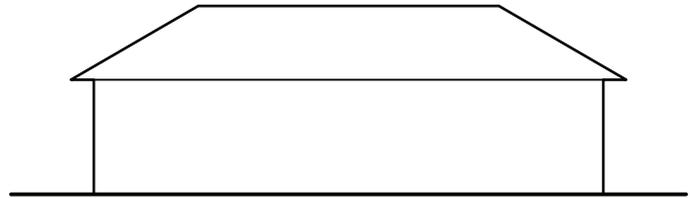
2 South Elevation
1:200



3 East Elevation
1:200



4 West Elevation
1:200



5 North Elevation
1:200

ISSUED: DATE:



PLANT
ARCHITECT INC.

SUITE 208 · 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: Plan and Elevations

DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

DATE:

PAI PROJECT NO.: 19049

Stables 1



**APPENDIX C
HOUSE CODE REVIEW
CODE NEXT INC.**



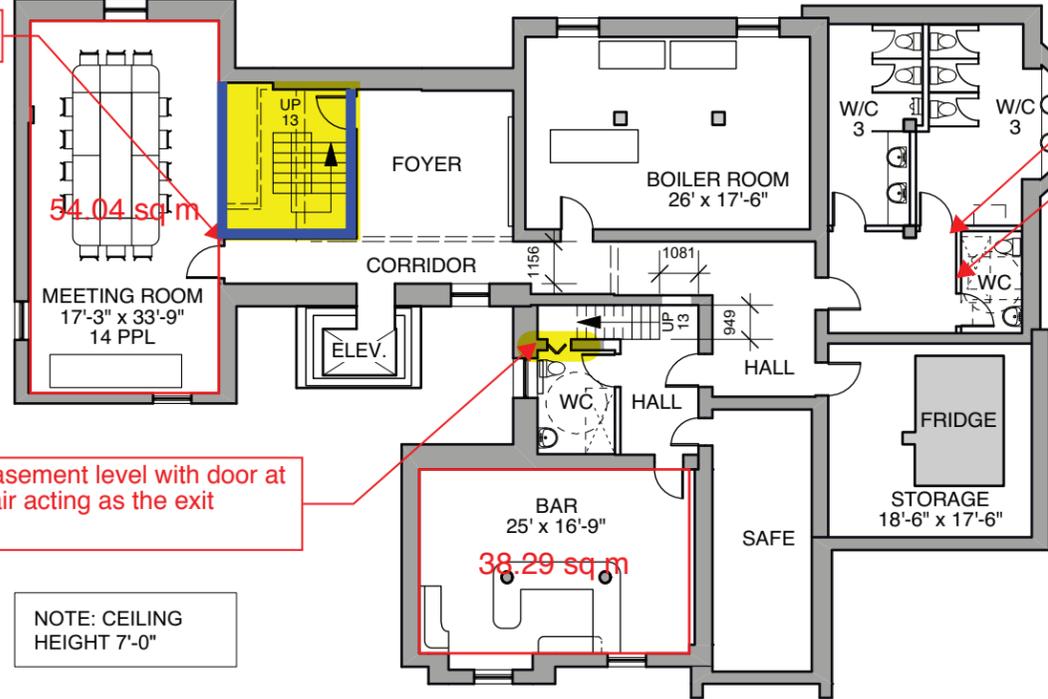
OPTION 1 = EVENT STYLE MODE

Change of Use Assessment
 Building is assumed to be combustible construction without any floor fire resistance ratings. Under OBC Table 11.2.1.1.A. the existing building would be assigned a construction index (CI) of 1.

The following Hazard Indices are associated with the respective new major occupancies:
 Group A (medium sized): HI = 4
 Group D (small sized): HI = 3

OBC Table 11.4.3.4.A. describes necessary upgrades as follows:
 - To convert to Group A: either protect ground and 2nd floor levels with a 45 minute FRR or sprinkler the building
 - To convert to Group D: either protect ground and 2nd floor levels with a 30 minute FRR or provide early warning system

Insufficient latch-side clearance. Will require power door operator



Insufficient latch-side clearance. Will require power door operator
 Will require power door operator as per OBC 2020 Amendment

Calculated occupant load
 Meeting Room: Design Occupant Load = 14 persons
 Bar: Factored Occupant Load @ 1.1 m2/person = 35 persons
TOTAL OCCUPANT LOAD THIS FLOOR LEVEL = 49 PERSONS
 For exit capacity purposes, assume 25 persons per exit

Stair is part of basement level with door at the top of the stair acting as the exit

NOTE: CEILING HEIGHT 7'-0"

Required 45 minute fire-rated separation
 Exit Facility

Washroom Capacity
 Basement: 3 Female water closets, 3 Male water closets + 1 universal + 1 ambulatory
 Ground Floor: 1 Universal (Staff) washroom
 2nd Floor: 2 Universal

Total available Washrooms:
 Female: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 ambulatory (Bsmt) + 1 Universal (2nd) + 1 universal (2nd) = 7 fixtures TOTAL
 Male: 3 water closets (Bsmt) + 1 Universal (Bsmt) = 4 fixtures TOTAL

TOTAL OCCUPANT LOAD OF THIS MODE:
 49 Basement + 173 Ground + 102 2nd = 324 persons (162 per sex)

As per OBC Table 3.7.4.3.A. to support 162 persons per sex = 4 male water closets and 7 female water closets.

As per OBC Sentence 3.7.4.3.(6) and Table 3.7.4.3.F. the single staff washroom an accommodate 18 staff. Therefore maximum staff per shift = 18 persons.

IN SUMMARY: THERE ARE SUFFICIENT WASHROOMS PROPOSED TO ACCOMMODATE THIS EVENT MODE

Fire Alarm System

In accordance with OBC Clause 3.2.4.1.(1)(d) a building that has an occupant load more than 300 persons will require the installation of a fire alarm system.

This Option considers an occupant load of 324 and therefore will impose the installation of a fire alarm system.

A single or two-staged fire alarm system can be installed (at the Clients discretion). Either alarm system type must notify the local fire department of an smoke or fire event within the building.

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DRAWING TITLE: Basement Plan - Option 1
 PROJECT TITLE: Mulock Estate
 PAI PROJECT NO.: 19049

DRAWING SCALE: 1:200
 DATE: 2020.03.04

sealed by the Architect. The Contractor shall verify all dimensions and report any discrepancies to the Architect prior to start of construction.
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OPTION 1 = EVENT STYLE MODE

Rear Exit Capacity
 Foyer Door capacity = 1.73 m / 6.1 mm per person = 283 persons
 Rear Exit (Stair treads most conservative) = 950 mm / 8 mm per person = 118 person
CAPACITY OF REAR EXITS = 401 PERSONS

Exterior Stair capacity = 1520 mm / 8 mm per person = 190 persons
 Exterior Ramp capacity = 1680 mm / 6.1 mm per person = 275 persons
CAPACITY OF EXTERIOR EXIT = 465 PERSONS

Calculated occupant load
Design Based Occupant Loads

Indoor Event Space = 62 persons
 Outdoor Event Space = 61 persons
 Library (most conservative) = 30 persons
 Conference Room = 14 persons
 Kitchen @ 9.3 m²/person = 6 persons

TOTAL OCCUPANT LOAD FOR THIS FLOOR = 173 PERSONS

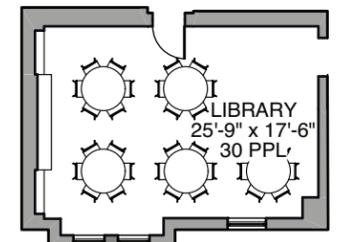
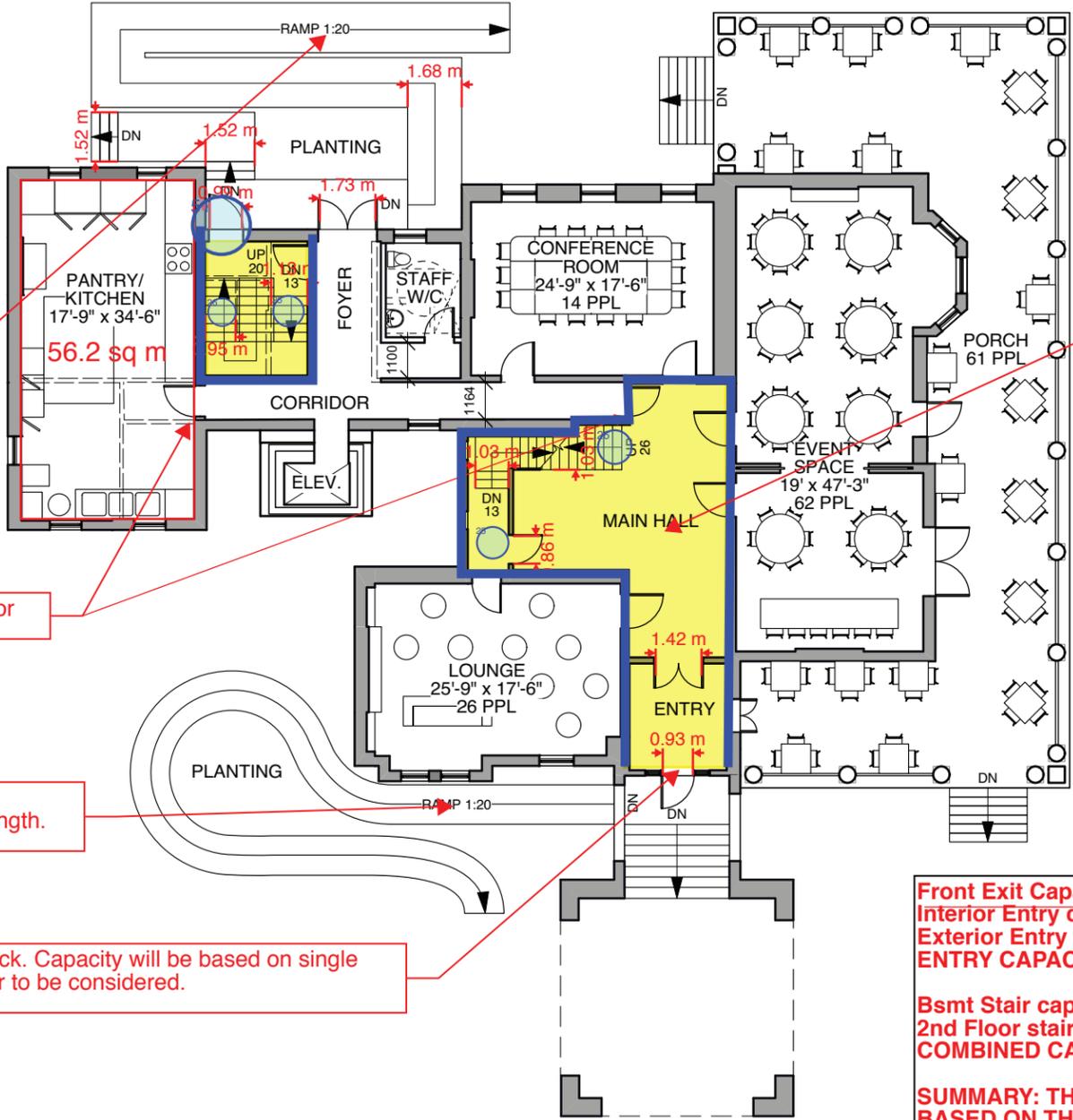
At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Any doors opening onto the main hall (exit) are permitted to be on hold open devices, provided the doors release upon activation of the fire alarm system.

Insufficient latch-side clearance. Will require power door operator

At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Single door creates bottleneck. Capacity will be based on single door width. New double door to be considered.



Front Exit Capacity
 Interior Entry capacity = 1.42 m / 6.1 mm per person = 232 persons
 Exterior Entry capacity = 930 mm / 6.1 mm per person = 152 person
ENTRY CAPACITY GOVERNED BY EXTERIOR SINGLE DOOR = 152 PERSONS

Bsmt Stair capacity = 1030 mm / 9.2 mm per person = 110 persons
 2nd Floor stair capacity = 1030 mm / 9.2 mm per person = 110 persons
COMBINED CAPACITY = 220 PERSONS

SUMMARY: THE CAPACITY OF THIS EXIT WILL BE RESTRICTED TO 152 PERSONS BASED ON THE SINGLE ENTRY DOOR. CONSIDERING 51 PERSONS FROM OTHER FLOOR LEVELS, THERE IS SUFFICIENT EXIT WIDTH TO ACCOMMODATE 101 PERSONS FROM GROUND FLOOR LEVEL THROUGH THIS EXIT

— Required 45 minute fire-rated separation

■ Exit Facility



ISSUED: Task Force Meeting Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Ground Floor Plan - Option 1
Event Seating

DRAWING SCALE: 1:200
DATE: 2020.03.04

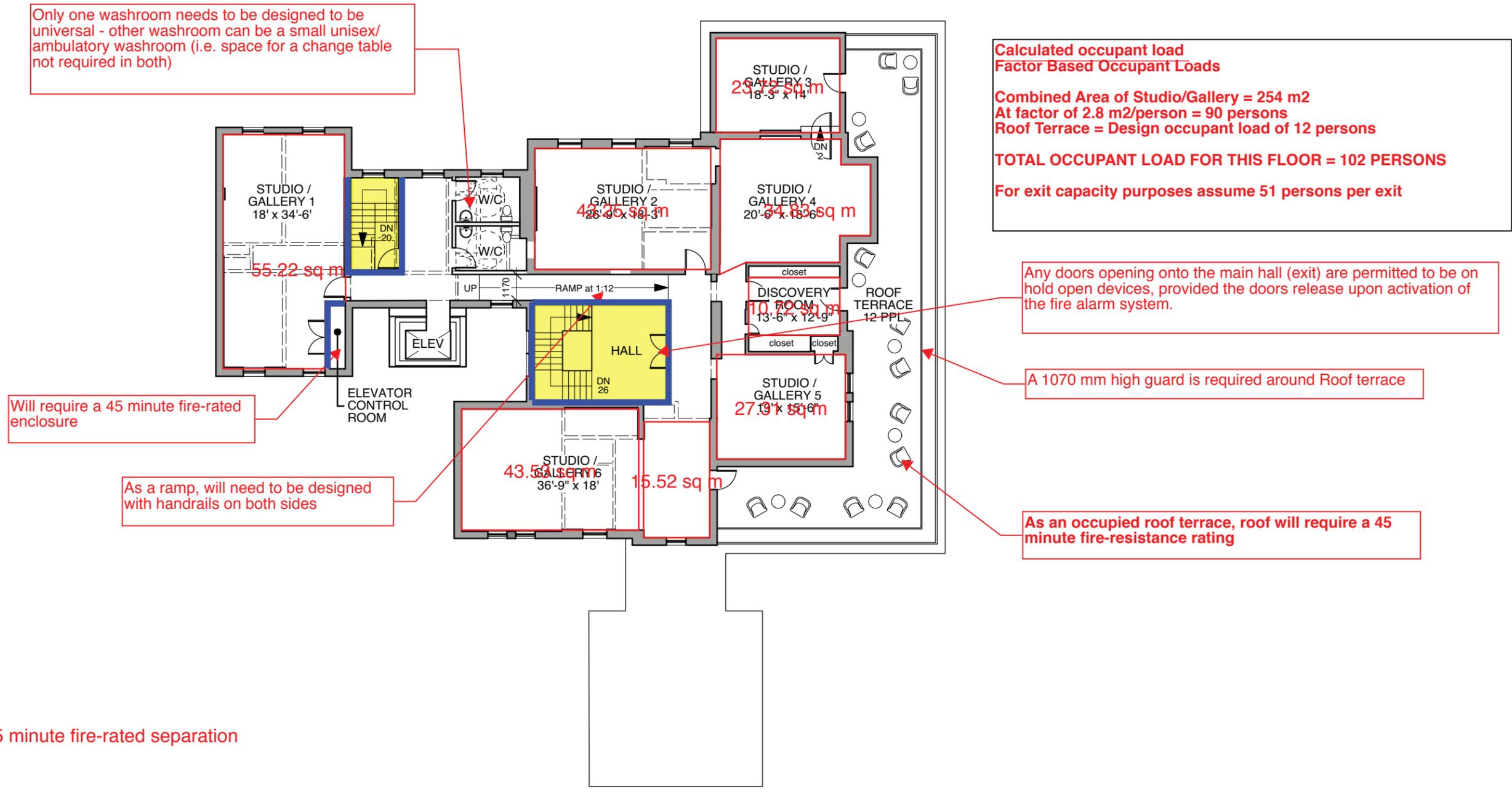
PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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SK-04

OPTION 1 = EVENT STYLE MODE



ISSUED: Task Force Meeting
Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Second Floor Plan - Option 1
Res. Studio / Gallery

DRAWING SCALE: 1:200
DATE: 2020.03.04

PROJECT TITLE: Mulock Estate

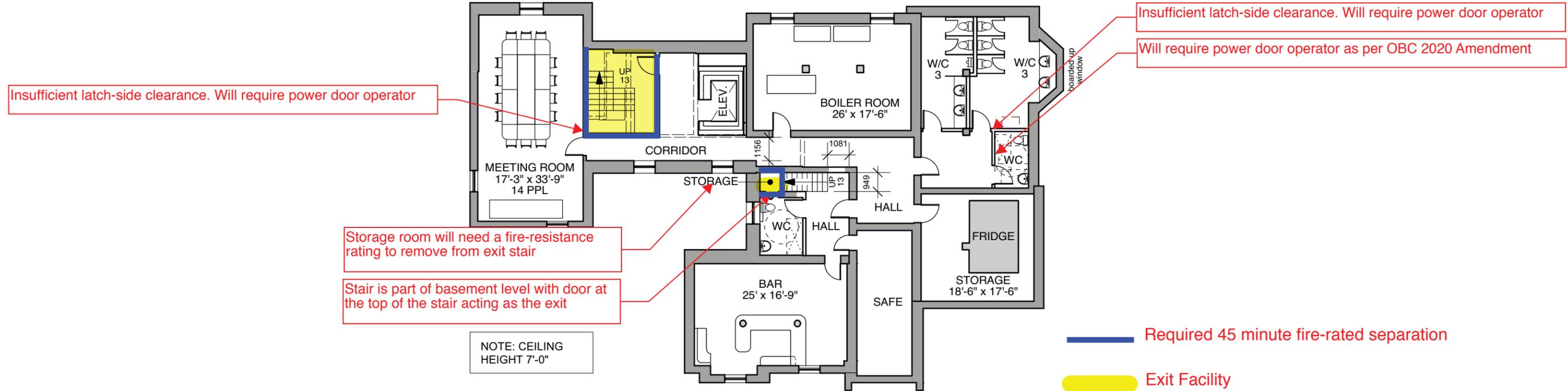
PAI PROJECT NO.: 19049

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SK-07

OPTION 2 = CAFE / OFFICE MODE

Calculated occupant load
 Meeting Room: Design Occupant Load = 14 persons (OFFICE)
 Bar: Factored Occupant Load @ 1.1 m2/person = 35 persons (ASSEMBLY)
TOTAL OCCUPANT LOAD THIS FLOOR LEVEL = 49 PERSONS
 For exit capacity purposes, assume 25 persons per exit



Washroom Capacity
 Basement: 3 Female water closets, 3 Male water closets + 1 universal + 1 ambulatory
 Ground Floor: 1 Universal (Staff) washroom
 2nd Floor: 2 Universal

Total available Washrooms:
 Female: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 ambulatory (Bsmt) + 1 Universal (2nd) = 6 fixtures TOTAL
 Male: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 universal (2nd) = 5 fixtures TOTAL

TOTAL OCCUPANT LOAD OF THIS MODE:
 Office occupants (14 Bsmt + 21 Ground + 33 2nd) = 68 office persons (34 per sex)
 Assembly occupants (35 Bsmt + 114 Ground) = 148 cafe patrons (57 per sex)

As per OBC Table 3.7.4.7. to support 34 persons per sex = 3 male water closets and 3 female water closets.
 As per OBC Table 3.7.4.3.A. to support 57 persons per sex = 2 male water closets and 3 female water closets
 Total washrooms required = 5 male water closets and 6 female water closets

As per OBC Sentence 3.7.4.3.(6) and Table 3.7.4.3.F. the single staff washroom an accommodate 18 staff. Therefore maximum staff per shift = 18 persons.

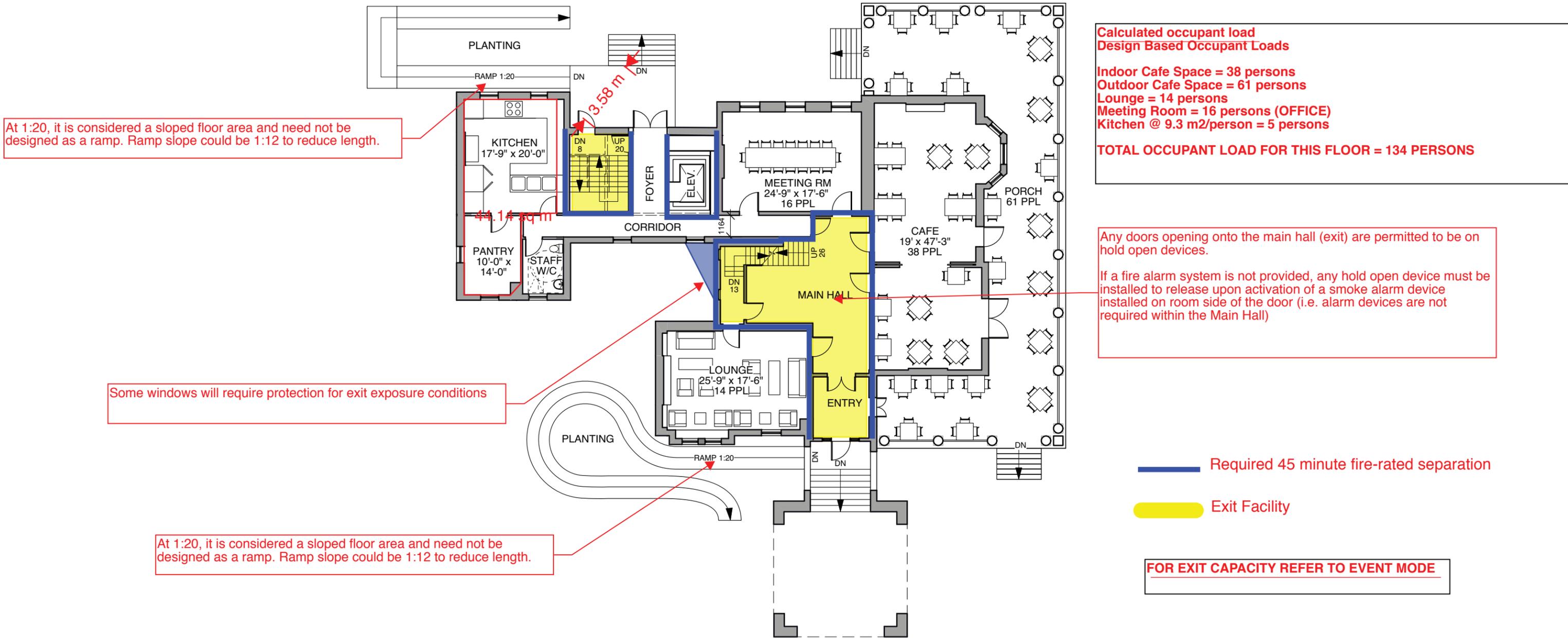
IN SUMMARY: THERE ARE SUFFICIENT WASHROOMS PROPOSED TO ACCOMMODATE THIS EVENT MODE

Fire Alarm System

In accordance with OBC Clause 3.2.4.1.(1)(g) a licensed beverage establishment or restaurant that has an occupant load more than 150 persons will require the installation of a fire alarm system.

This Option considers an Cafe occupant load of 148 persons and therefore, since less than 150 persons, does not require that the building be equipped with a fire alarm system.

OPTION 2 = CAFE / OFFICE MODE



ISSUED: Task Force Meeting Code Review

DATE: 2020.02.28
2020.03.04

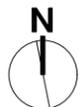
PLANT ARCHITECT INC.
 SUITE 208 · 101 SPADINA AVENUE
 TORONTO CANADA M5V 2K2
 TELEPHONE 1-416-979-2012
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DRAWING TITLE: Ground Floor Plan - Option 2
Cafe Seating

DRAWING SCALE: 1:200
DATE: 2020.03.04

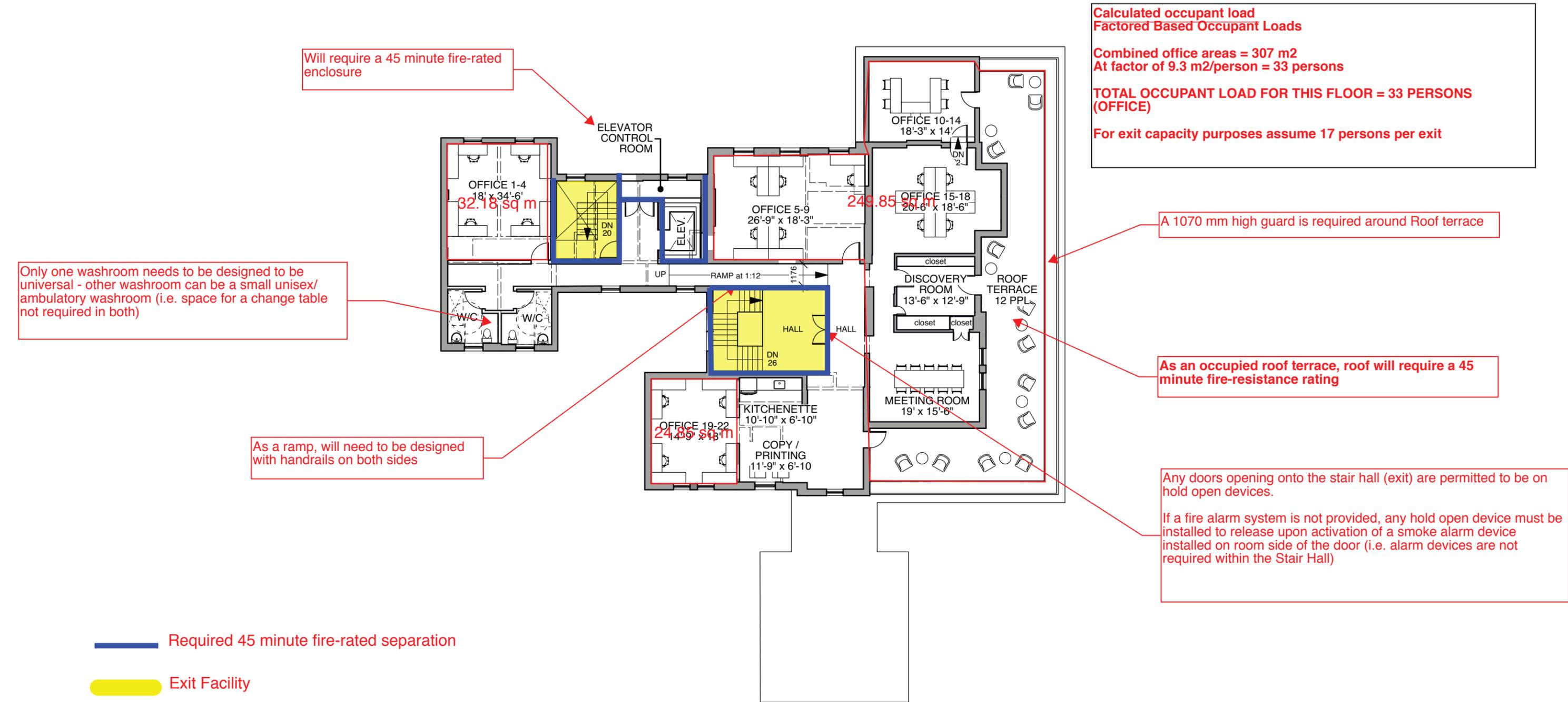
PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049



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OPTION 2 = CAFE / OFFICE MODE



ISSUED: Task Force Meeting
Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Second Floor Plan - Option 2
Offices

DRAWING SCALE: 1:200
DATE: 2020.03.04

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049



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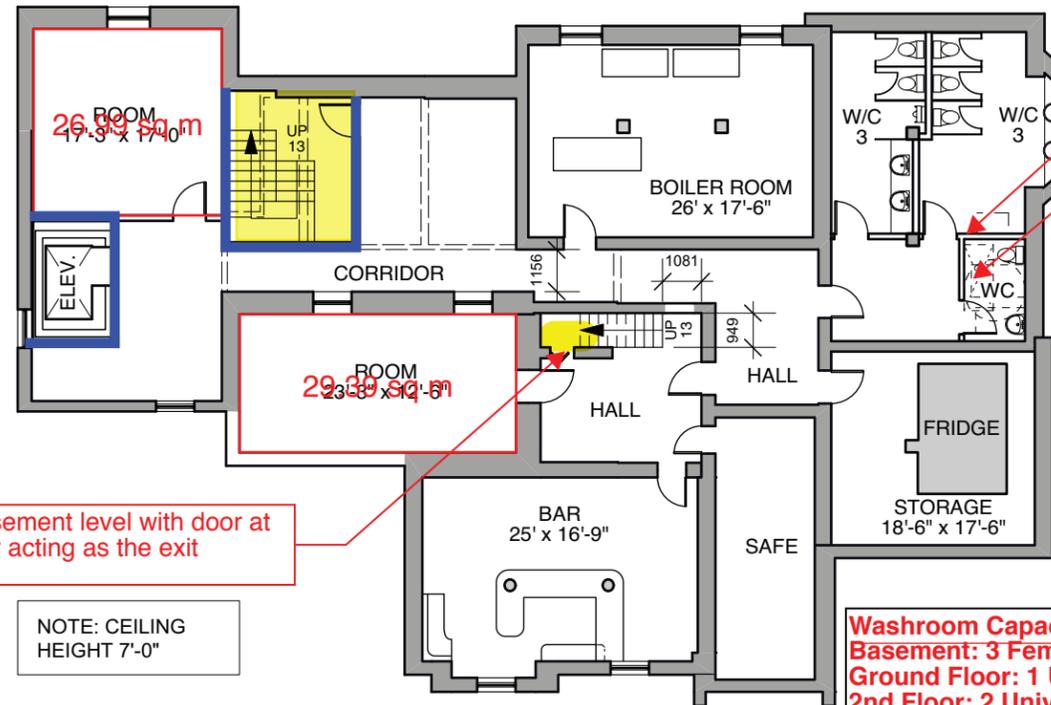
OPTION 3 = CLASSROOM STYLE MODE

Calculated occupant load
NOTE: THE PURPOSE OF THESE "ROOMS" IS UNCLEAR. CONSIDERED MEETING ROOMS

Room: Factored Occupant Load @ 9.3 mm/person = 6 persons
 Bar: Factored Occupant Load @ 1.1 m2/person = 35 persons (ASSEMBLY)

TOTAL OCCUPANT LOAD THIS FLOOR LEVEL = 41 PERSONS

For exit capacity purposes, assume 22 persons per exit



Insufficient latch-side clearance. Will require power door operator

Will require power door operator as per OBC 2020 Amendment

Stair is part of basement level with door at the top of the stair acting as the exit

Required 45 minute fire-rated separation

Exit Facility

NOTE: CEILING HEIGHT 7'-0"

Fire Alarm System

In accordance with OBC Clause 3.2.4.1.(1)(d) a building that has an occupant load more than 300 persons will require the installation of a fire alarm system.

This Option considers an occupant load of 336 and therefore will impose the installation of a fire alarm system.

A single or two-staged fire alarm system can be installed (at the Clients discretion). Either alarm system type must notify the local fire department of an smoke or fire event within the building.

Washroom Capacity
 Basement: 3 Female water closets, 3 Male water closets + 1 universal
 Ground Floor: 1 Universal (Staff) washroom
 2nd Floor: 2 Universal

Total available Washrooms:
 Female: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 Universal (2nd) = 5 fixtures TOTAL
 Male: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 universal (2nd) = 5 fixtures TOTAL

TOTAL OCCUPANT LOAD OF THIS MODE:
 41 Bsmt + 226 Ground + 96 2nd = 336 persons (182 per sex)

As per OBC Sentence 3.7.4.4.(15) to support 182 persons per sex = 2 male water closets and 3 female water closets.

It is not necessary to incorporate an staff washroom in this mode.

IN SUMMARY: THERE ARE SUFFICIENT WASHROOMS PROPOSED TO ACCOMMODATE THIS EVENT MODE



ISSUED: Task Force Meeting Code Review
 DATE: 2020.02.28 / 2020.03.04

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DRAWING TITLE: Basement Plan - Option 3
 PROJECT TITLE: Mulock Estate
 PAI PROJECT NO.: 19049
 DRAWING SCALE: 1:200
 DATE: 2020.03.04

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OPTION 3 = CLASSROOM STYLE MODE

Calculated occupant load
Design Based Occupant Loads

Combined Lecture Rooms = 156 persons
 Outdoor Porch Space = 61 persons
 Meeting Room = @ 9.3 mm/person = 4 persons
 Kitchen @ 9.3 m2/person = 5 persons

TOTAL OCCUPANT LOAD FOR THIS FLOOR = 226 PERSONS

This room only requires one egress door

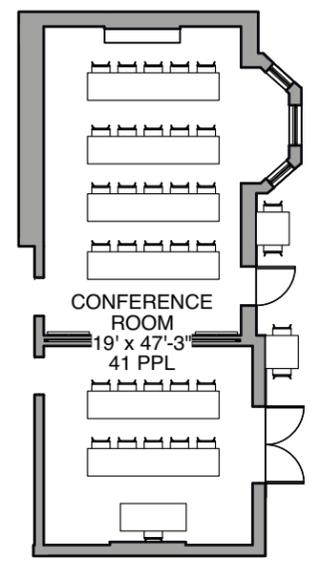
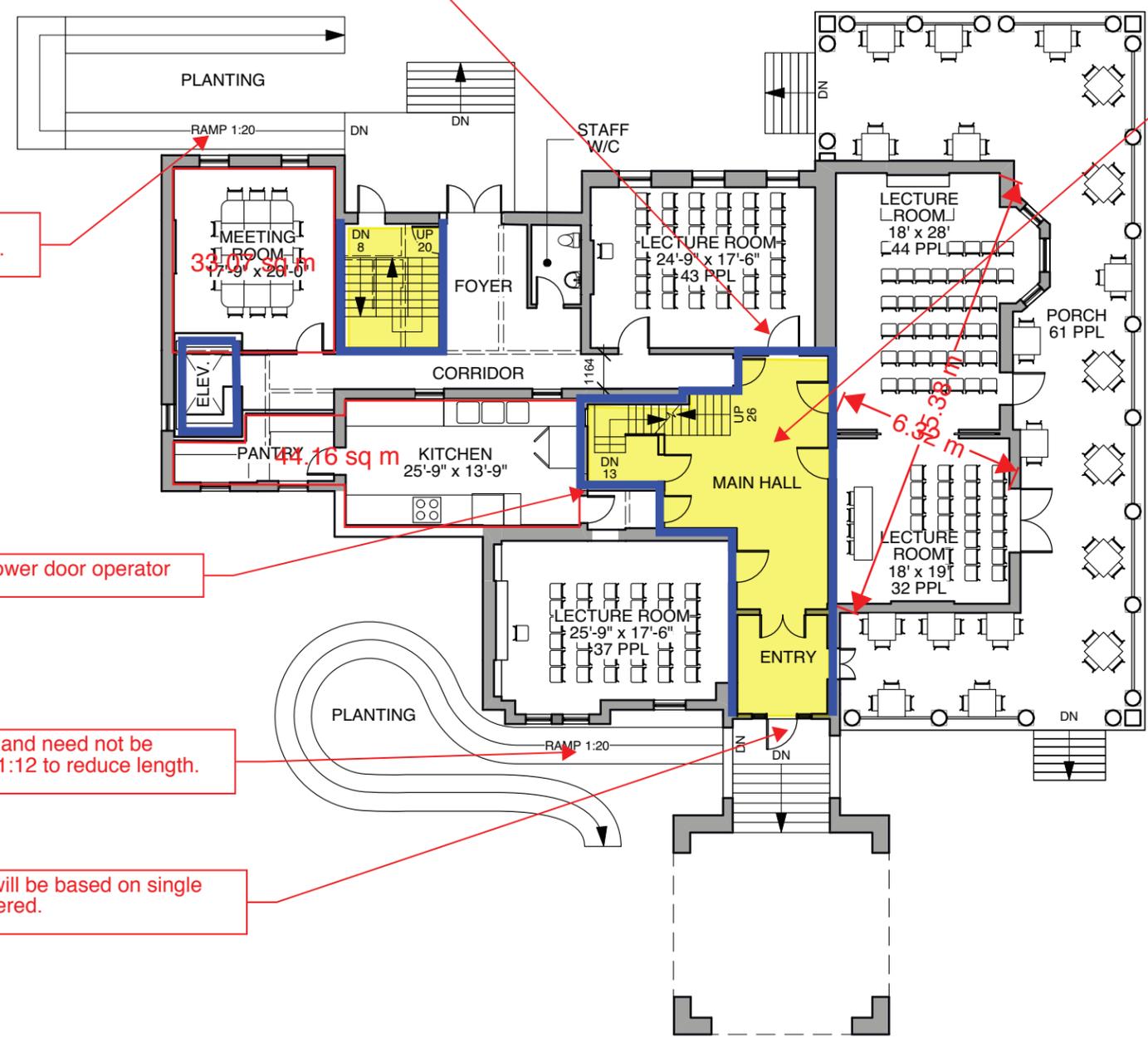
Any doors opening onto the main hall (exit) are permitted to be on hold open devices, provided the doors release upon activation of the fire alarm system.

At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Insufficient latch-side clearance. Will require power door operator

At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Single door creates bottleneck. Capacity will be based on single door width. New double door to be considered.



— Required 45 minute fire-rated separation
 Exit Facility



ISSUED: Task Force Meeting Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Ground Floor Plan - Option 3
Lecture Seating

PROJECT TITLE: Mulock Estate

DRAWING SCALE: 1:200
DATE: 2020.03.18

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PAI PROJECT NO.: 19049

SK-06



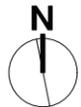
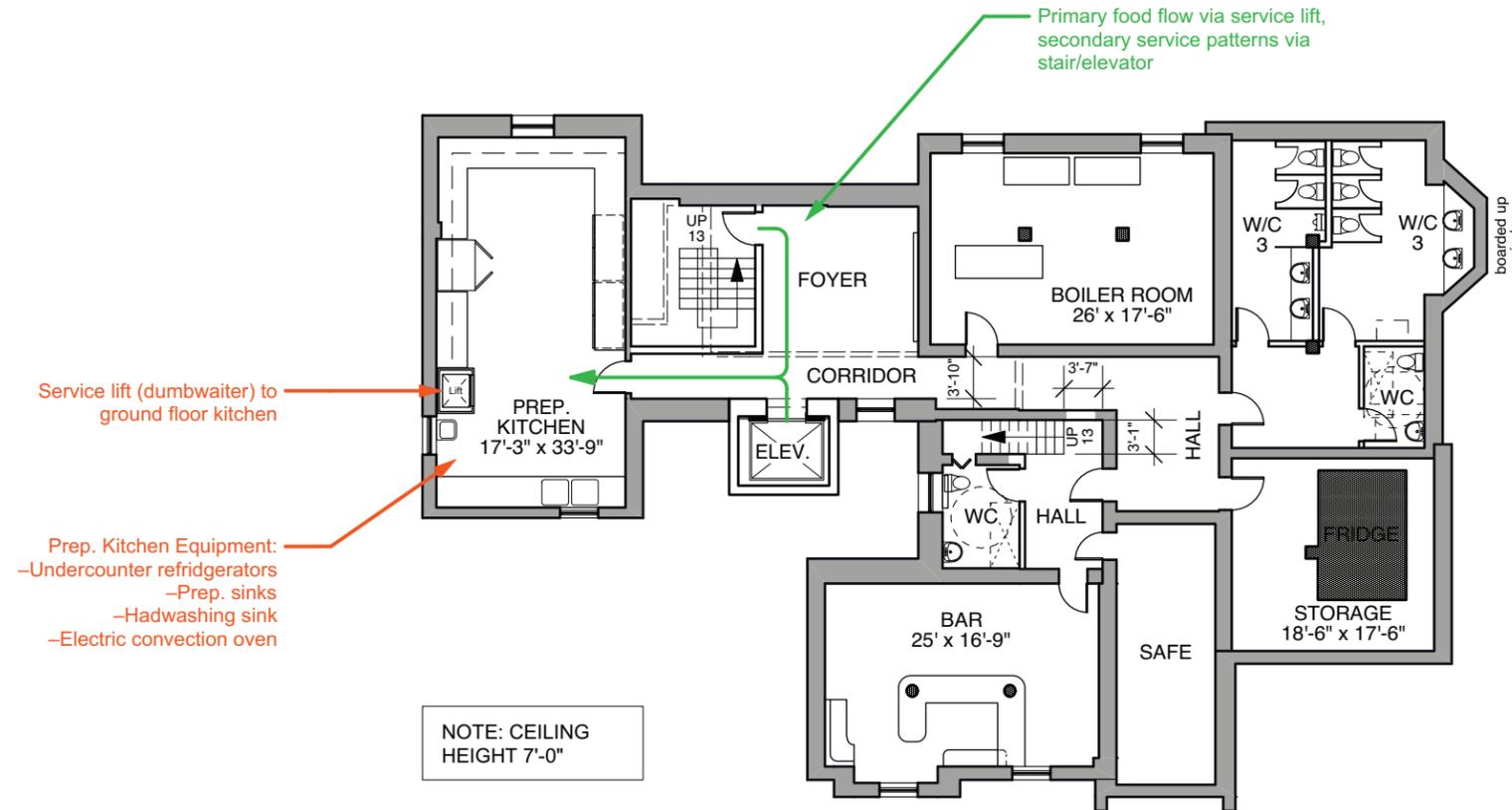
**APPENDIX D
COMMERCIAL KITCHEN REVIEW
PLANT ARCHITECT INC
(MATTHEW HARTNEY)**



GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



ISSUED:

DATE:

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DRAWING TITLE: Basement Plan - Option 1 - Appendix DRAWING SCALE: 1:200
 DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

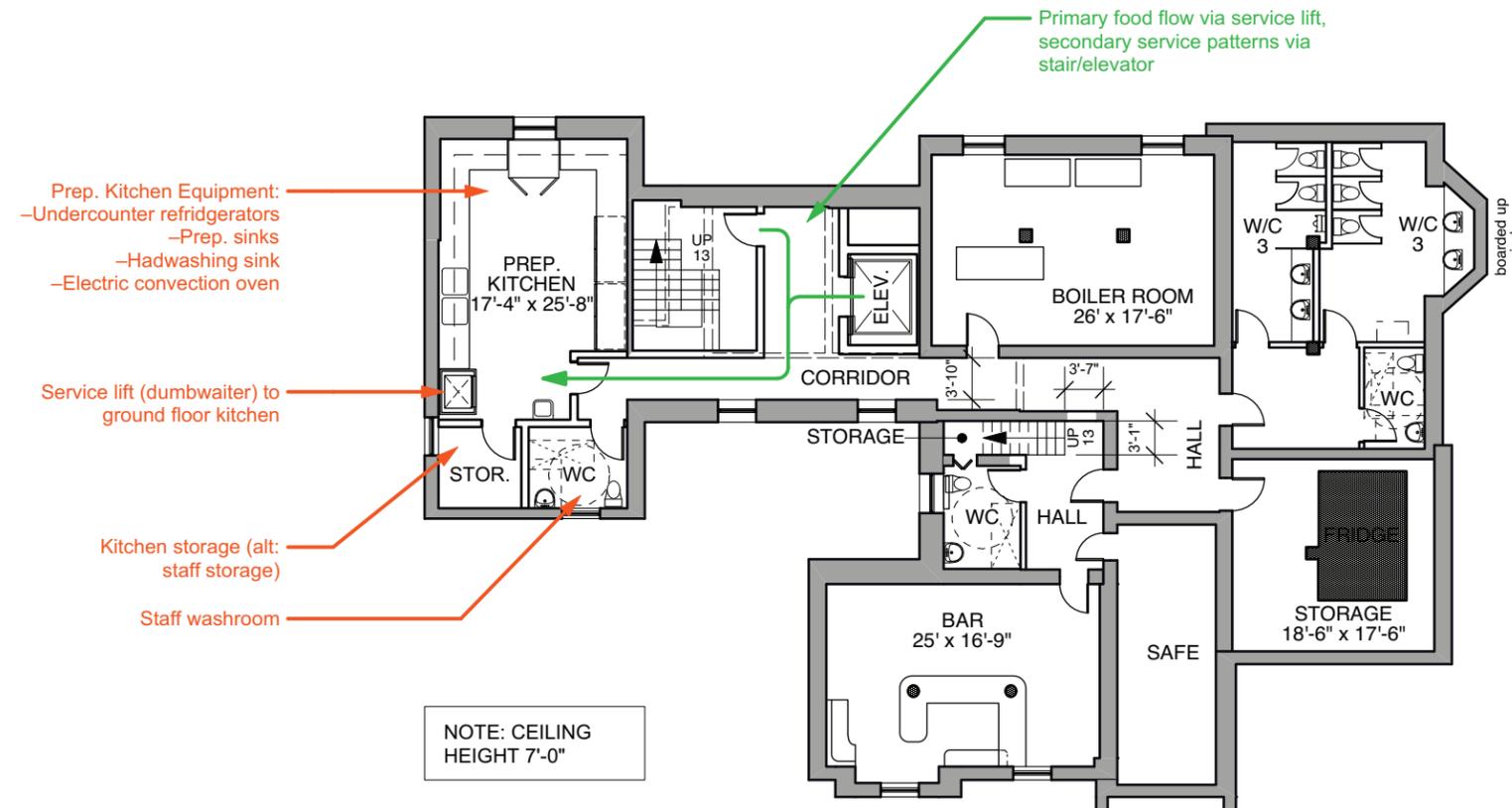
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AP1

GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



ISSUED:

DATE:

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DRAWING TITLE: Basement Plan - Option 2 - Appendix DRAWING SCALE: 1:200
 DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

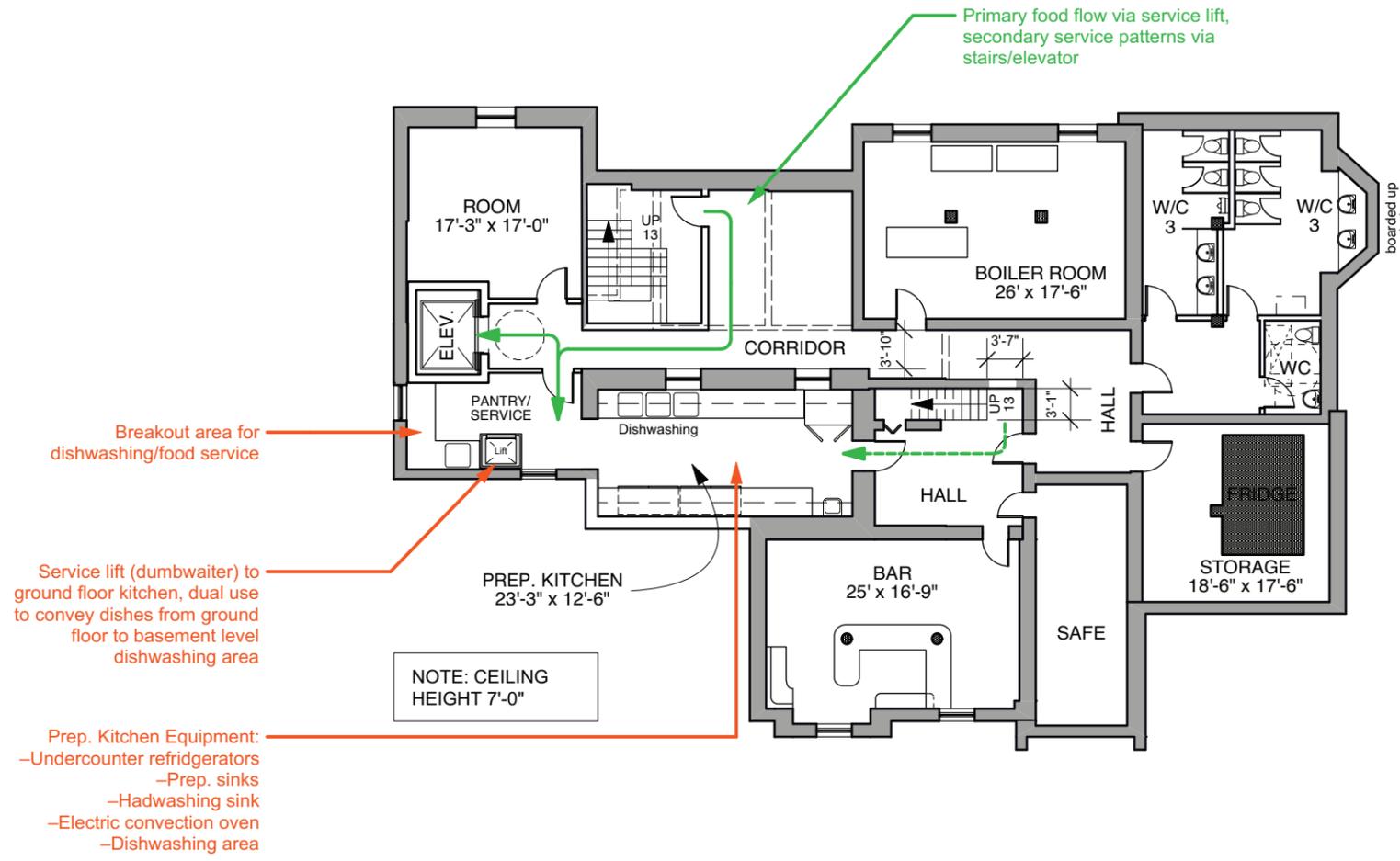
PAI PROJECT NO.: 19049

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GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



ISSUED:

DATE:

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DRAWING TITLE: Basement Plan - Option 3 - Appendix DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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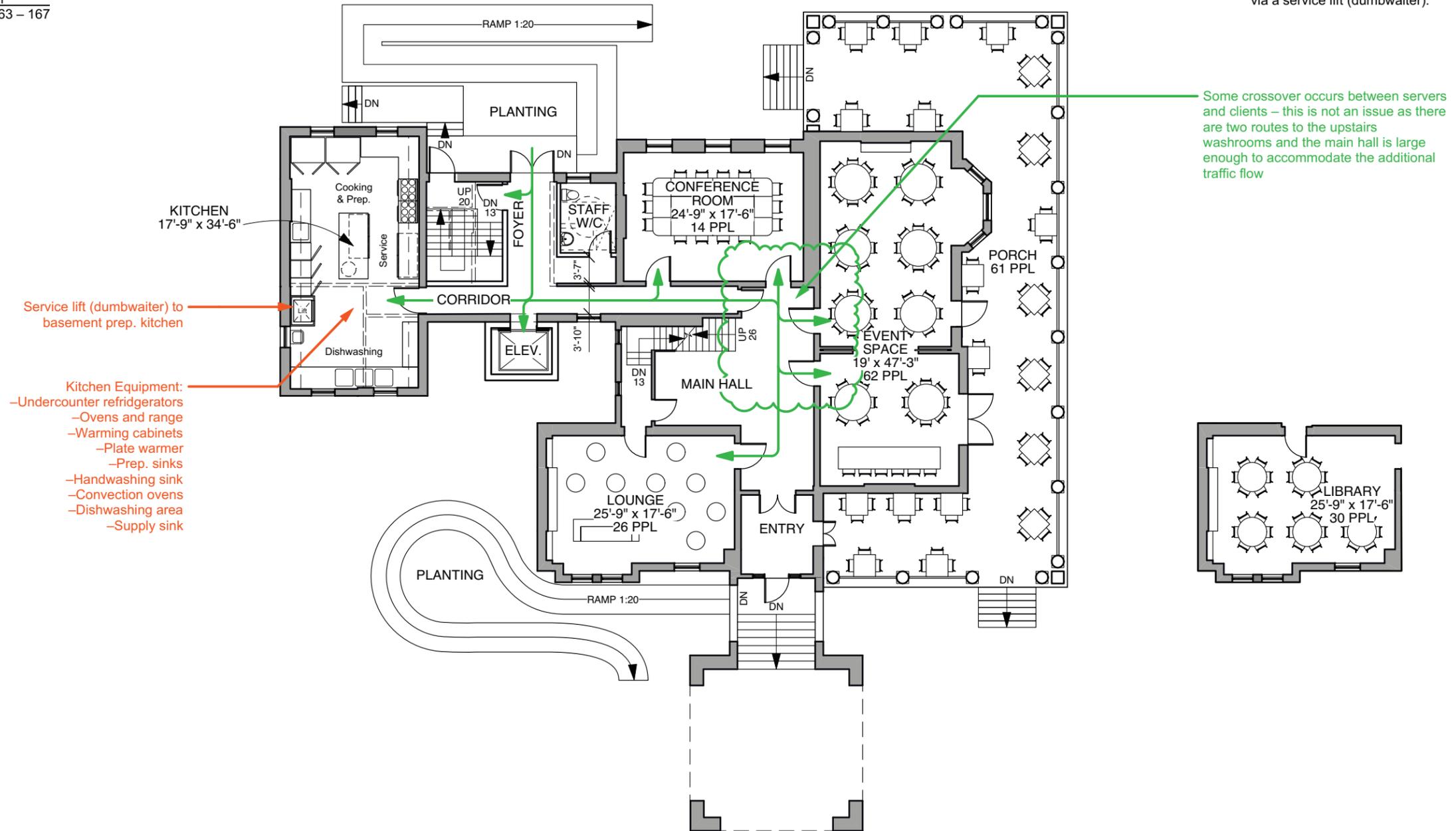
SEAT COUNT

Conference	14
Event Space	62
Lounge/Library	26 – 30
Porch	61
	<u>163 – 167</u>

GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



ISSUED:

DATE:

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DRAWING TITLE: Ground Floor Plan - Option 1 - Appendix

DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

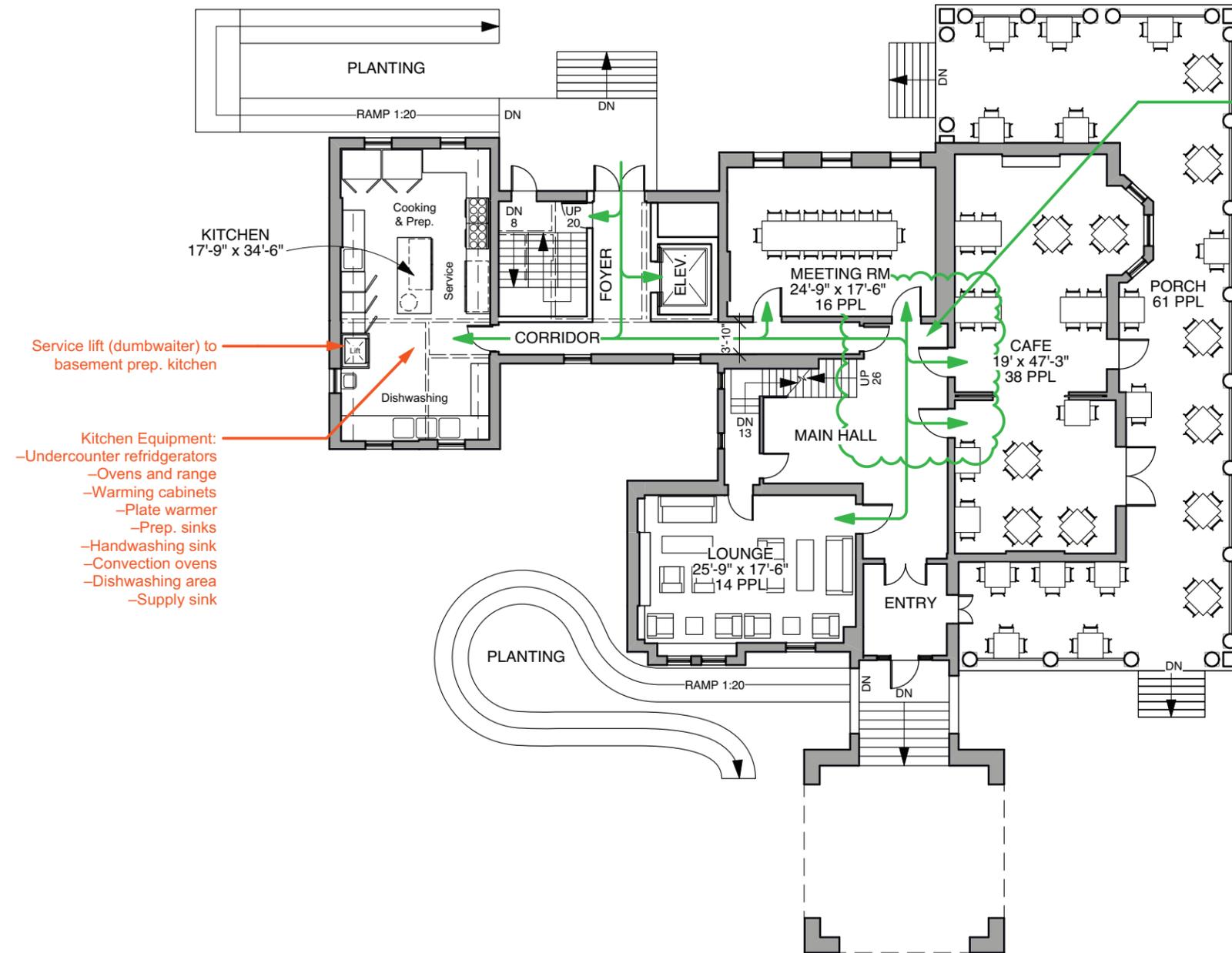
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GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



Some crossover occurs between servers and clients – this is not an issue as there are two routes to the upstairs washrooms and the main hall is large enough to accommodate the additional traffic flow

Service lift (dumbwaiter) to basement prep. kitchen

- Kitchen Equipment:
- Undercounter refridgerators
 - Ovens and range
 - Warming cabinets
 - Plate warmer
 - Prep. sinks
 - Handwashing sink
 - Convection ovens
 - Dishwashing area
 - Supply sink

ISSUED:

DATE:

PLANT ARCHITECT INC. SUITE 208 · 101 SPADINA AVENUE TORONTO CANADA M5V 2K2 TELEPHONE 1-416-979-2012 WWW.BRANCHPLANT.COM

DRAWING TITLE: Ground Floor Plan - Option 2 - Appendix

DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

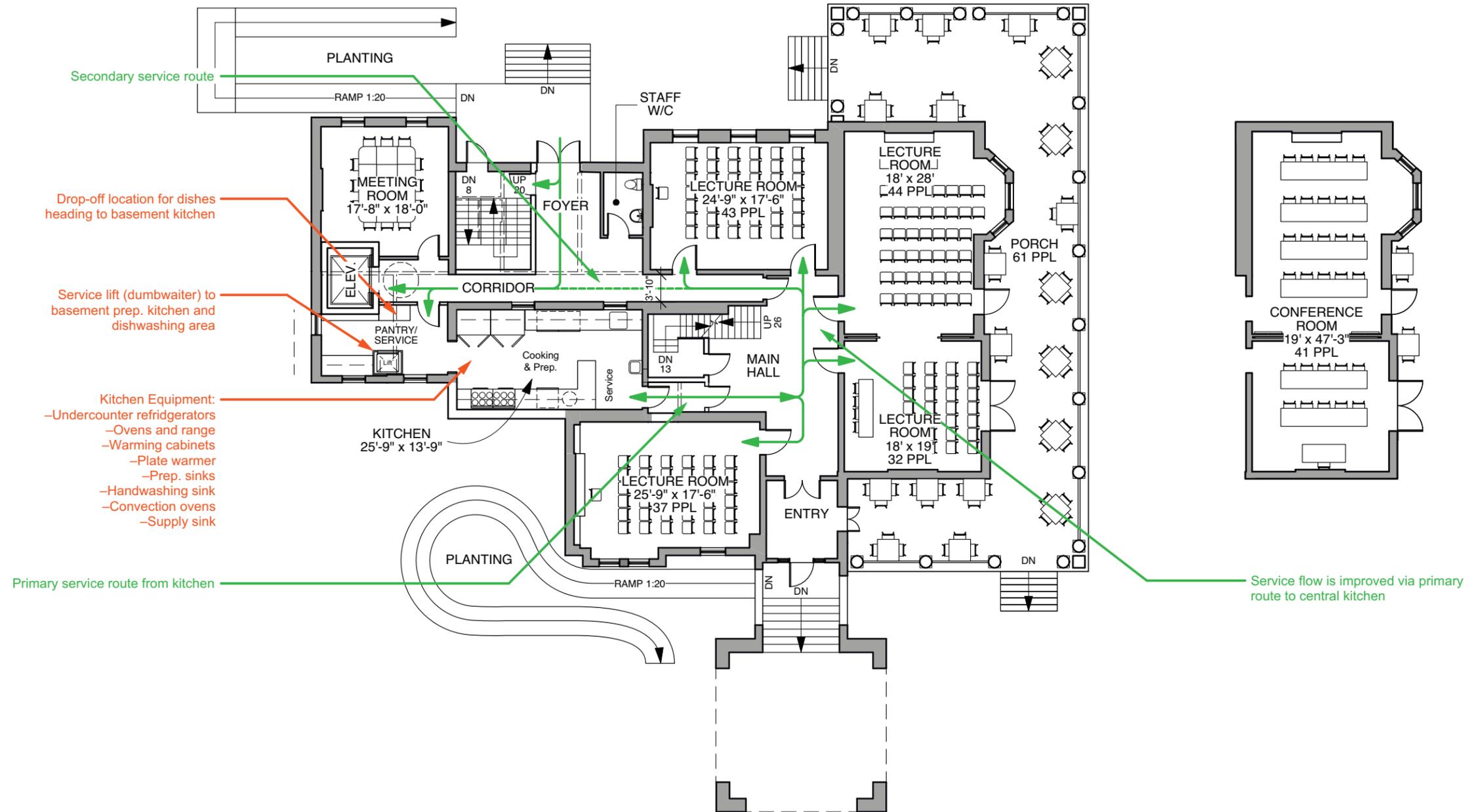
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GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



ISSUED:

DATE:

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DRAWING TITLE: Ground Floor Plan - Option 3 - Appendix

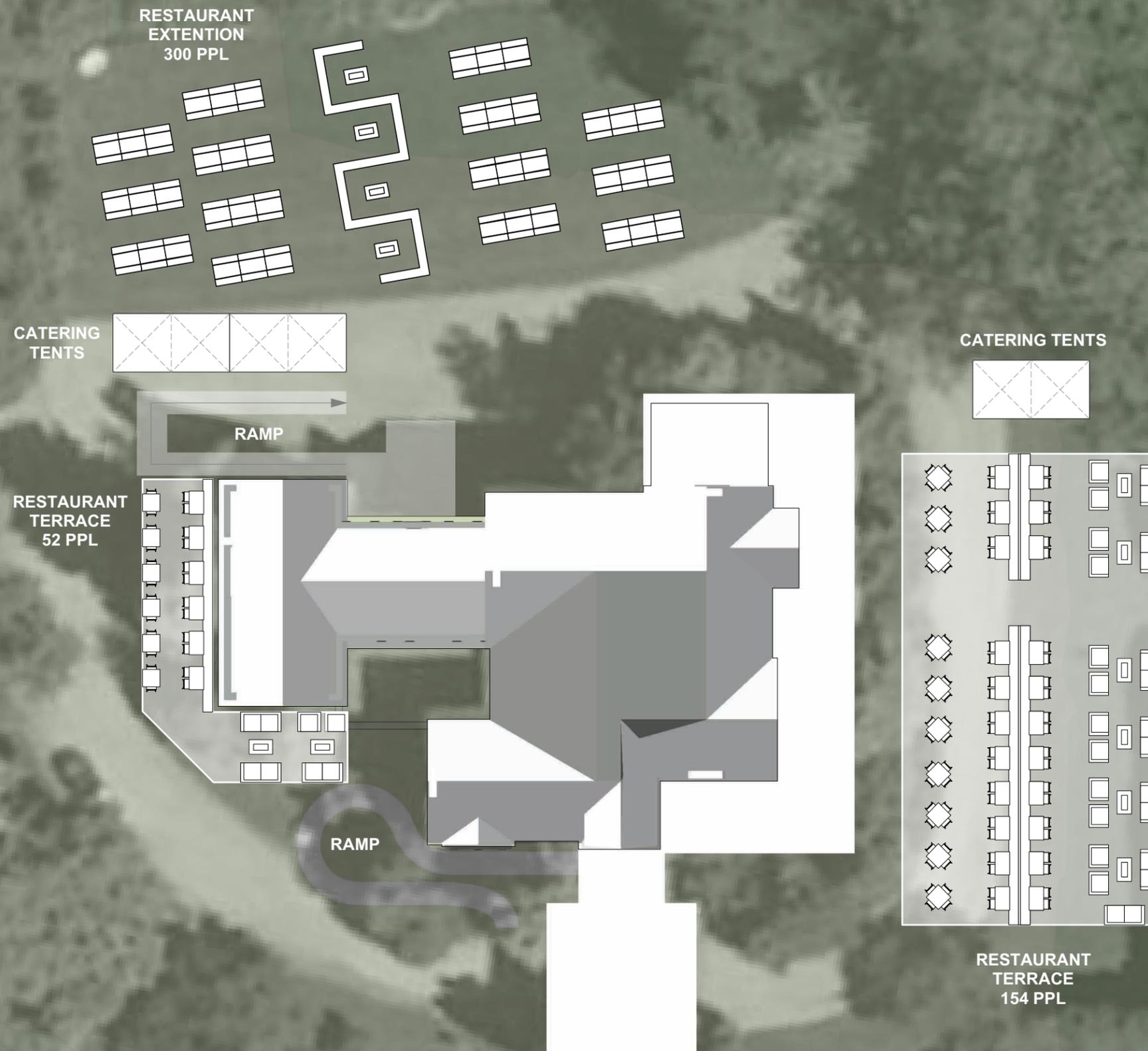
DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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GENERAL NOTES ON OUTDOOR DINING TERRACES:

1. The restaurant terraces beyond the house, porch, and west terrace would require additional kitchen/catering facilities. This could be accomplished with outdoor catering kitchens (assembly tables, grills, etc. in tents or similar.), which could be tailored to each event. Temporary facilities can be rented for events, etc. For catered events, where most food is prepared off-site, a ratio of $\approx 5:1$ for dining:kitchen space is recommended.
2. Area needed to plate 300 dinner plates at once $\approx 250'$ or $\approx 21'-0"$. This is about 7-8 standard sized work tables if everything were to be plated at once. Assume a minimum 6 serving tables for 300 people.
3. Depending on the desired type of food service, the west dining terrace can be served via the kitchens shown in Options 1-3 without the need for additional (temporary) facilities. Generally, if café style food, brunch, formal tea service, or similar concepts are used, no additional facilities would be required – a similar form of service is used at Langdon Hall, where exterior facilities augment interior dining spaces, with a more casual type of food service. For a formal dinner or event such as a wedding, temporary facilities are encouraged.
4. Catering tents illustrated are standard 10'-0" x 10'-0" size and are intended to supplement the formal food service and preparation facilities within the building. These would be used for direct service to the associated dining terraces, and could house buffets & chafing dishes, minor cooking duties (grilling, eg.), beverage service, and serve as a staging area between the main kitchens and the dining terraces.

GENERAL NOTES ON ALL SCHEMES:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good basis for the size of kitchen, though the area could be reduced depending on the type of food being prepared.

2. The restaurant terraces beyond the house and porch would require additional kitchen/catering facilities. This could be accomplished with outdoor catering kitchens (assembly tables, grills, etc. in tents or similar.), which could be tailored to each event. Temporary facilities can be rented for events, etc. For catered events, where most food is prepared off-site, a ratio of $\approx 5:1$ for dining:kitchen space is recommended.

4. Area needed to plate 300 dinner plates at once $\approx 250'$ or $\approx 21'-0$. This is about 7-8 standard sized work tables if everything were to be plated at once. Assume a minimum 6 serving tables for 300 people.

ISSUED:

DATE:



APPENDIX E
HOUSE PRECEDENT MATRIX
PLANT ARCHITECT INC



Mulock Masterplan- Possible uses for House Matrix													
Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
EVENT SPACE (PRIMARY AND ADJUNCT TO OTHER USES)													
Event Space Artist studios Cafe Historical displays / Museum	Alton Mill	http://altonmill.ca	1402 Queen St. West, Village of Alton, Caledon, ON	The Alton Development Group	3 incl free access to gallery spaces, museum display, public programs	suspect at least revenue neutral	staff on site, but unclear how many also has volunteers	courtyard spaces not usable in winter?	4,000sf annex courtyard (fits 160ppl in tent) 900sf waterfall courtyard for 64ppl seated (125 cocktail) 1,495sf Millrace Rm for 80-96ppl seated (120 cocktail / theatre) 1,025sf pond gallery for cocktail party/special events (apparently no seating) 450sf Riverside room for 30ppl(theatre) or 18 (boardroom)	adjacent to forest with park setting beside river (old mill). Doesn't appear to have trails into forest	DESTINATION walkable from downtown Alton, but town is very small and venue is at end of road	paired with artist studios, café, heritage exhibit	PR
Event Space	Alderlea House (recommended by York Region group)	https://www.eventsource.ca/alderlea https://www.brampton.ca/EN/Arts-Culture-Tourism/alderlea/Pages/Welcome.aspx	40 Elizabeth Street South, Brampton, ON L6Y 1R1	Municipal: Brampton	1 appears to be no public access to house	YORK Region group said it was losing money	event staff, but unclear how many	adjacent park has skate trail	rental of house and grounds. 85-100ppl seated (120 cocktail or theatre) separate bridal suite / green room on upper level	adjacent public park (does not appear to be part of venue)	at edge of downtown Brampton next to public park	Upscale rental price varies \$400-6000 does not appear to have public programming	PU
Museum/Event Space	Colborne Lodge	https://www.toronto.ca/explore-enjoy/history-art-culture/museums/colborne-lodge/	11 Colborne Lodge Drive, Toronto, ON	City of Toronto	3 guided tours (nominal fee) and programmed events, access to park any time and free	subsidized	rental coordinatio at City. Site staff / volunteers unclear	open year round, but assume veranda rental is seasonal	Veranda: 20 Coach house: 30	located in High Park	In large public park. Could be destination, but also easy to visit while in park anyway (High Park is the destination)	Colborne Lodge offers ongoing events and exhibits, popular kids programs, school trips, museum display	PU
Museum/Event Space	Dundurn Castle	https://www.hamilton.ca/attractions/hamilton-civic-museums/dundurn-national-historic-site	610 York Blvd, Hamilton	Hamilton	3 museum, some free events	subsidized entry fee \$14		museum open year round	"The Coach House": 72ppl seated (120ppl standing or theatre seating) The Cockpit: 70ppl (theatre style seating) outdoor pavilion: 50ppl (picnic table seating)	in Dundurn Park on outskirts of central Hamilton	could be destination, or "spontaneous discovery" (located on bike trail close to other parks and attractions)	guided tours by costumed interpreters	PU
Event Space Restaurant Exhibitions	Estevan Lodge	http://www.refordgardens.com/Locaton-du-site/ http://www.refordgardens.com/de-couvrir-les-jardins/Villa-Estevan/	Reford gardens, Metis Que	Les Amis des Jardins de Métis	2 ticketed entry (\$22)	Revenue neutral through donations, government and institutional sponsors, memberships, ticketed entry, restaurant function, rentals	20+ all year, 25 in summer, plus volunteers	closed Oct - May	house: 60ppl max, 4 rooms for "business meeting, corporate retreat or a corporate event" (i.e. not weddings) site: listed as possible to rent, but no size info on website (shown as rentable for weddings, incl. veranda of lodge)	in garden / park off St. Lawrence River	DESTINATION not within walkable distance from any significant settlement	restaurant with produce from garden, musical brunches and culinary events, cooking workshops, rentals (4 rooms), temp. & permanent exhibits (13 rooms)	PR
Event Space	The Foundry	http://www.thefoundry.info https://www.theweddingscanner.com/the-foundry	42-38 9th Street Long Island City, NY 11101	The Foundry	1 also hosts exclusive special events	revenue generating	3 staff, plus additional event staff		Main Space: 125 seated indoor (or 180ppl cocktail) Courtyard: 165 seated (or 180ppl cocktail) Greenhouse: 70 seated (120 cocktail) The Terrace: 80-90 cocktail Albra Rm: 40 seated / 70 cocktail Pool Rm: 40 (in conjunction w other space) 1500sf industrial kitchen	old warehouses (?) with courtyard, no park	DESTINATION industrial area w/ some housing, parks close by but space is not IN park, close to subway.	old warehouse / industrial buildings (not a historical mansion)	PR
Museum/Event space	Fulford Place	https://www.heritagetrust.on.ca/en/index.php/properties/fulford-place https://www.youtube.com/watch?v=dbRtqxHKLnQ https://hpoc.ca/blogs/au-revoir-to-summer/au-revoir-to-summer	287 King St E, Brockville, ON K6V 1E1	owned by Ontario Heritage Trust, operated by: The Friends of Fulford Place Association	3 operates as museum (nominal fee), guided tours available, public programs	unclear. Website has donations option	unclear how many staff volunteers for reception, monitors, tour guides	seasonal rentals of specific rooms	Covered South Veranda: 140m2 for 56ppl seated (90ppl cocktail) (summer only) Billiard Rm/Moorish Rm: 56 seated (90 theatre) Tea Rm: 24ppl max (off season only)	with large garden, overlooking the St Lawrence river	DESTINATION walkable from downtown (20min), but not part of trail, it's off a main road	also do tours and public programs / special events and historical displays	PU

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
EVENT SPACE (PRIMARY AND ADJUNCT TO OTHER USES)													
Event Space	George Brown House	https://www.weddingwire.ca/mansion-weddings/george-brown-house--e11959#app-layer-multisolicitud https://www.heritagetrust.on.ca/en/index.php/properties/george-brown-house	186 Beverley St, Toronto, ON M5T 1L4	owned by Ontario Heritage Trust, operated by: ???(Not by City of Toronto)	1 no access aside from event rentals (and odd special event like doors open)	unclear			max 50 ppl, 2 rooms	in the middle of mixed residential neighbourhood, small garden	downtown Toronto		PU
Event Space	Heintzman House (Recommended by YORK Region group)	https://www.markham.ca/wps/portal/home/arts/heintzman-house	135 Bay Thorn Drive Markham, Ontario, L3T 3V1	Town of Markham	2 infrequent free public programs, otherwise seemingly no access aside from space rentals	assume subsidized		open year round, but assume veranda rental is seasonal. No rentals on Sundays or holidays	Grand Ballroom: 113 ppl Thornhill Rm: 10 ppl Loyalist Rm: 10 ppl Heintzman Rm: 12ppl	immediately adjacent to public Royal Orchard Park with walking trail, otherwise surrounded by residential neighbourhood	can probably see from adjacent park/trail, but no access		PU
Museum/ Event Space	Homer Watson House & Gallery	https://www.homerwatson.on.ca	1754 Old Mill Rd, Kitchener, ON	Homer Watson Gallery?					incl venue rentals. 5 rooms with seating capacity between 20-55ppl, standing 40-100. Rooms vary in size between 15'x15' to 33'x18' has some outdoor space				PR
Event Space	McLean House	https://estatesofsunnybrook.com/venues/mclean-house/	125 Armistice Drive, Vaughan	Estates of Sunnybrook	1 no access outside of venue rental, gardens are not publicly accessible		yes, but can't tell how many	garden rentals not available in winter	Two houses and one coach house all operating as separate venues with varying capacities (see website) Conservatory Dining Rm: 72 Seated / 120 standing Mahogany Dining Rm: 32/40 Library: 8/15 Bayview Rm: 26 Gallery: 10 Stewart: 8 Garden: 8 other spaces on same estate not incl. here	adjacent to small forest with hiking trail and park, close to Sunnybrook hospital, surrounded by City	DESTINATION estate may be visible from adjacent forest and park, but access is restricted to venue rentals		PR
Event Space Gallery Performance Venue (?)	Old Town Hall, Newmarket	https://www.newmarket.ca/oldtownhall	460 Botsford Street, Newmarket	Municipal: Newmarket	3 no entry fee listed for exhibits or programs	based on 2019 data: revenue neutral	2 staff, plus event staff (and volunteers)	no	** add list from Colin	surrounded by parking, housing, commercial buildings (on main street)	downtown, just off main street	public programs, gallery space, concerts, theater, event rentals	PU
Event Space	Paletta Lakefront Mansions, Burlington	http://www.palettalakefrontmansions.com	4250 Lakeshore Road, Burlington, ON, L7L 1A6	Edge Hospitality Group	1 no access outside of venue rental, unclear whether gardens are publicly accessible	revenue generating		terrace rentals not be available in winter	see screen shot of floor plans	park setting on shore of Lake Ontario	DESTINATION. adjacent to "Paletta Lakefront" park, but not tied into trail system and surrounded by private residences		PR
Museum/Event Space Tea House, Restaurant (seasonal)	Parkwood National Historic Site - McLaughlin Estate	https://www.parkwoodestate.com	270 Simcoe Street North	Oshawa (charity)	3 suspect subsidized ticketed entry (\$15) call for donations on website, memberships, private / commercial sponsors		unclear how many staff, plus volunteers		Sunroom & Loggia: 100ppl seated (125 standing) Sunken Garden: 125ppl (park bench seating) and other garden spaces (capacity unclear) Tea House: 40ppl seated Tennis Court: 200ppl (under tent outside) South Lawn: 200ppl Formal garden: 130ppl Arbour: 100ppl Tea Rooms and Gardener's Lodge: 10-12ppl Gardener's Lodge: 20-23ppl	in park setting	close to some services (church, health centre etc.), botanical garden, otherwise mostly residential area	Both a museum and a conference/event centre, tea house restaurant in summer, public programs	PU

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
EVENT SPACE (PRIMARY AND ADJUNCT TO OTHER USES)													
Museum/Event space	Sharon Temple	sharon temple.ca	18974 Leslie St, Sharon, ON	Sharon Temple Museum Society w/ government support	3 incl. museum (nominal ticket price) and public programming	subsidized government support and private event sponsors, donation programs, memberships	2 staff listed on website, plus volunteers (general maintenance, administrative tasks, event staffing, program staffing), 15 board members	outdoor space not available in winter	Sharon Temperance Hall: 80ppl seated (95 cocktail) Temple: 200ppl tent structures outside: 100-500ppl (4.5ha parkland)	in park setting	DESTINATION close to town hall and some shops, but no real downtown	Vice president of historical society (Playter) likes this paired with museum function	PR?
MUSEUMS													
Museum	Barnum House	https://www.heritagetrust.on.ca/en/index.php/properties/barnum-house	10568 County Rd 2, Grafton, ON	owned by ACO (Architectural Conservancy of Ontario)								first period house museum in ON	PU
Museum	Duff Baby House	https://www.citywindsor.ca/residents/Culture/Windsors-Community-Museum/Pages/Duff-Baby-Interpretation-Centre.aspx https://www.heritagetrust.on.ca/en/index.php/properties/duff-baby-house	221 Mill Street, Windsor, ON	owner by Ontario Heritage Trust operated by: Les Amis Duff-Baby								open by appt only. educational programs, public meetings	PU
Museum	Hillary House	http://aurorahs.com (terrible website) https://www.yorkregion.com/whatson-story/1440039-hillary-house-aurora/	15372 Yonge Street, Aurora	Aurora Historical Society?								much smaller than Mulock, no land around. Heritage personnel think this is not a successful example tours and special events Ballroom rental available for members of the AHS (37ppl with tables, or 55 without)	PU
Museum	Mather-Walls House	https://www.heritagetrust.on.ca/en/index.php/properties/mather-walls-house	1116 Ottawa Street, Kenora, ON	owned by: Ontario Heritage Trust operated by: Lake of the Woods Historical Society								society meeting space, community events on premises, public tours	PU
Museum	Macdonell-Williamson House	http://www.mwhouse.ca/news_events.html	25 Rue des Outaouais, Chute a Blondeau, Ontario	owned by Ontario Heritage Trust, custodian: Friends of the Macdonell-Williamson House Inc.								Heritage Tea Room, general store, museum, organized events	PU
Museum	Montgomery's Inn Community Museum	http://montgomerysinn.com	4709 Dundas St W, Etobicoke, ON M9A 1A8	City of Toronto Museum and Heritage Service	3 ticketed entry (\$8 for adults and \$5 for children)	Guess: subsidized through donations, government and institutional sponsors	90 volunteers, unknown if payed staff	Open all year round and heavily programmed	The Briarly Room (25'x30') and The Community Room (25'x40')	Adjacencies: parking lot, Dundas St West and a park on two sides (Montgomery's Meadow)	Located at a major intersection (Islington Ave and Dundas St W)	Tea party every Sunday, Corn Roast and Heritage Fair in September, art exhibition room, Thirsty Thursday's in summer, school programs, youth programs, adult and senior programs and community outreach	PU
Museum/ Event Space	Spadina Museum	https://www.toronto.ca/explore-enjoy/history-art-culture/museums/spadina-museum/	285 Spadina Rd, Toronto	Municipal: Toronto	3 ticketed entry to museum (\$10), some ticketed programs	subsidized		reduced opening hours for museum. Unclear for house rentals	East Sunroom: 25ppl (seated) / 30 standing Terrace & Gardens: 120 Basement MTG Rm	located in public Spadina Park, adjacent to Casa Loma	downtown-ish, next to another major tourist attraction	offers rental space, hosts ticketed public events	PU
Museum/ Event Space	Sir Harry Oakes Chateau (Museum of Northern History)	https://www.heritagetrust.on.ca/en/index.php/properties/sir-harry-oakes-chateau http://museumkl.com	2 Chateau Drive, Kirkland Lake, ON	Museum of Northern History	3 ticketed entry to museum for small fee	ticketed entry to museum (6.10\$)	staff, plus volunteers	museum closed in off season	2 rooms for event rentals (see floor plan on website), no sizes / capacity provided	edge of town, edge of provincial park	DESTINATION	also has travelling and permanent exhibits	PU

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
MUSEUMS													
Museum	The Tree Museum	https://www.thetreemuseum.ca	1634 Doe Lake Road/ Muskoka Road 6, Gravenhurst, ON	EJ Lightman and Anne O'Callaghan (founder and sponsor)	3	Founded and sponsored by EJ Lightman	volunteer. Self directed tour	The Tree Museum is open from May 1-Oct 31		Large landscape and art park off of the highway. There is nothing in walking distance	DESTINATION		PR
Museum/ Event Space	Whitehern Historic House & Garden National Historic Site	https://www.hamilton.ca/attractions/hamilton-civic-museums/whitehern-historic-house-garden-national-historic-site	41 Jackson St W, Hamilton	Municipal: Hamilton	2	likely subsidized		museum open year round, assume no garden rental in winter	the stable: 40 (standing or theatre seating), 25-30 (reception), 18 (boardroom seating) house & garden: capacity not specified	downtown with garden	downtown Hamilton, adjacent to Town Hall and Go Station		PU
INN AND SPAS													
Spa	The Briars	https://www.briars.ca	55 Hedge Road, Jacksons Point, Ontario,			revenue generating							PR
Hotel	Eaton Hall	https://eatonhall.bypeterandpauls.com https://en.wikipedia.org/wiki/Eaton_Hall_(King_City)#Further_uses	King City, ON on Seneca Campus, but away from school buildings	Peter and Pauls Hospitality and Entertainment Group	1	revenue generating??	yes	if park rentals, these may not be available in winter'	apparently yes, but can't find specifics online	surrounded by forest, hiking trails, on Lake Seneca, park lands	DESTINATION	house used to be part of Seneca College, but now used as Hotel and conference centre (Wikipedia says since 1991)	PR
Spa Hotel Restaurant	Langdon Hall	https://www.langdonhall.ca	1 Langdon Drive, Cambridge, ON, N3H 4Rb	Langdon Hall – Country House Hotel & Spa	1	revenue generating		no public access to house		in rural setting surrounded by forest / agriculture, walking trail near by	DESTINATION	paired with hotel, spa	PR
RESTAURANTS													
Micro brewery	Church Key	http://www.churchkeybrewing.com	1678 County Rd # 38 Campbellford, On K0L 1L0	Church-Key Brewery		revenue generating						1878 Methodist Church	PR
Gallery + Lounge	The Grange at AGO	https://ago.ca/about/the-grange	317 Dundas St W, Toronto, ON	The AGO	2	Revenue Neutral - Part of the AGO and a lounge is located inside	Assumed payed staff.	None. The adjacent (Grange) park is less busy in the winter.	Galleries within the AGO are rentable, however could not find information on specific rentals at The Grange.	Adjacent to large park (Grange) and the AGO.	In the middle of the city and likely visited as a result of going to the AGO.	Programming - The Norma Ridley Member's Lounge and exhibition spaces. No longer functions as a historic house. "Visitors to the AGO are free to enjoy The Grange and explore the exhibitions, or simply enjoy the beauty of the house."	PU
Micro brewery	Silversmith	https://www.silversmithbrewing.com	1523 NIAGARA STONE ROAD, VIRGIL ON	Silversmith Brewing		revenue generating						in historic church from 1890s	PR
Restaurant	The Keg Manion	https://kegsteakhouse.com/en/locations/mansion	515 Jarvis St, Toronto, M4Y 2H7	The Keg		revenue generating							PR
GALLERIES AND ARTIST RESIDENCIES (see other residency links in House Uses Memo)													
Multidisciplinary arts centre and markets	Basilica Hudson	https://basilicahudson.org/about/gallery/ http://basilicarentals.com/weddings/	110 S. Front St Hudson, NY 12534	Basilica Hudson	2	not for profit, sponsorships (private, institutional, arts councils), ticketed events, rentals, memberships	9 staff listed on website, plus volunteers, plus board of directors		Main Hall: 6,000sf, 1200ppl max North Hall: 1,740sf, 240ppl+ West wing bar: 1,340sf, 250ppl standing West wing entrance: 720sf Back gallery: 1,682sf outdoor space (e.g. parking lot) can also be rented	in old industrial park "on the waterfront of the historic City of Hudson", other functions close by: brewery, machinery warehouse, fancy hotel, furniture store, train station	DESTINATION (and catalyst for new development)	old forge & foundry building, later glue factory multidisciplinary arts centre, markets,	PR

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
GALLERIES AND ARTIST RESIDENCIES (see other residency links in House Uses Memo)													
Arts centre and artist residency	Fool's Paradise – Doris McCarthy Artist-in-Residence Centre	https://www.heritagetrust.on.ca/en/index.php/properties/fools-paradise-doris-mccarthy-artist-in-residence-centre		owned by Ontario Heritage Trust	not open to the public except for special events								PU
Gallery and artist residency	Oakville Galleries	http://www.oakvillegalleries.com	1306 Lakeshore Road East, Oakville, ON L6J 1L6	Oakville Galleries	3 Publicly accessible gallery, nominal entry fee	revenue neutral		Open all year round			DESTINATION - within park on the lakeshore, very popular for wedding photos	incl. small event space	PU
Gallery + Community Programmed Space	Stewart Hall Cultural Centre	https://www.pointe-claire.ca/en/programming-2/	176 Lakeshore Dr, Pointe-Claire, Quebec	The City of Pointe-Claire	3 Reading and Reference Room available to students, researchers and general public	unknown - I assume it is revenue neutral		Open all year round	Room rentals available for meetings, wedding receptions and other occasions - Rental information available via phone.	Building in the centre of park - neighbouring residential	DESTINATION - within small park, however would likely not visit for park	Public space includes access to computers, internet and photocopying. The building houses the cultural centre and Stewart Hall including the art gallery and art rental and sales service. A lot of camp and community programmed activities.	PU
SCHOOLS AND ACADEMIES													
private school / part of secondary or post-secondary school campus	Collingwood Ski Academy	http://www.nsa.on.ca	Collingwood	the National Ski Academy		revenue generating						non-profit registered charity established in 1986 to provide an environment for student athletes to maximize individual potential through the pursuit of alpine ski racing excellence, academic achievement and personal growth. In 2010 the NSA became a Ministry of Education inspected private school, granting high school credits in Grades 9 to 12.	PR
private school	Blythe Academy Mississauga at Adamson Estate	https://blytheducation.com/blythe-academy/mississauga/ https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=9996 (appears to be out of date) http://www.mississauga.ca/portal/cityhall/findaplace?paf_gear_id=10100023&dirview=place&itemid=500033 https://www.mississauga.com/community-story/4043598-blythe-academy-relocates-to-historic-adamson-estate/	850, Enola Ave., Mississauga, Ontario, L5G, Canada	house: Blythe Academy (private middle and highschool) Park: Mississauga	1: school (no access) 3: park (free access w/ public WC)	Park: subsidized School: revenue generating	school: yes park: unclear	park: yes.	photography in park no access to house	house in park right on lake, off Martin Goodman trail	on rec trail, surrounded by residential neighbourhood, walking distance from Lakeshore Rd E with some big box / strip mall style stores	used to be part of Academy of Music (since 1996?), but taken over by Blythe Academy in 2013. Park used extensively for wedding photography. Pet cemetery is apparently a gathering of monuments from around the estate into one (very small) spot Check Blythe Website for 360 tour of inside of house	PR



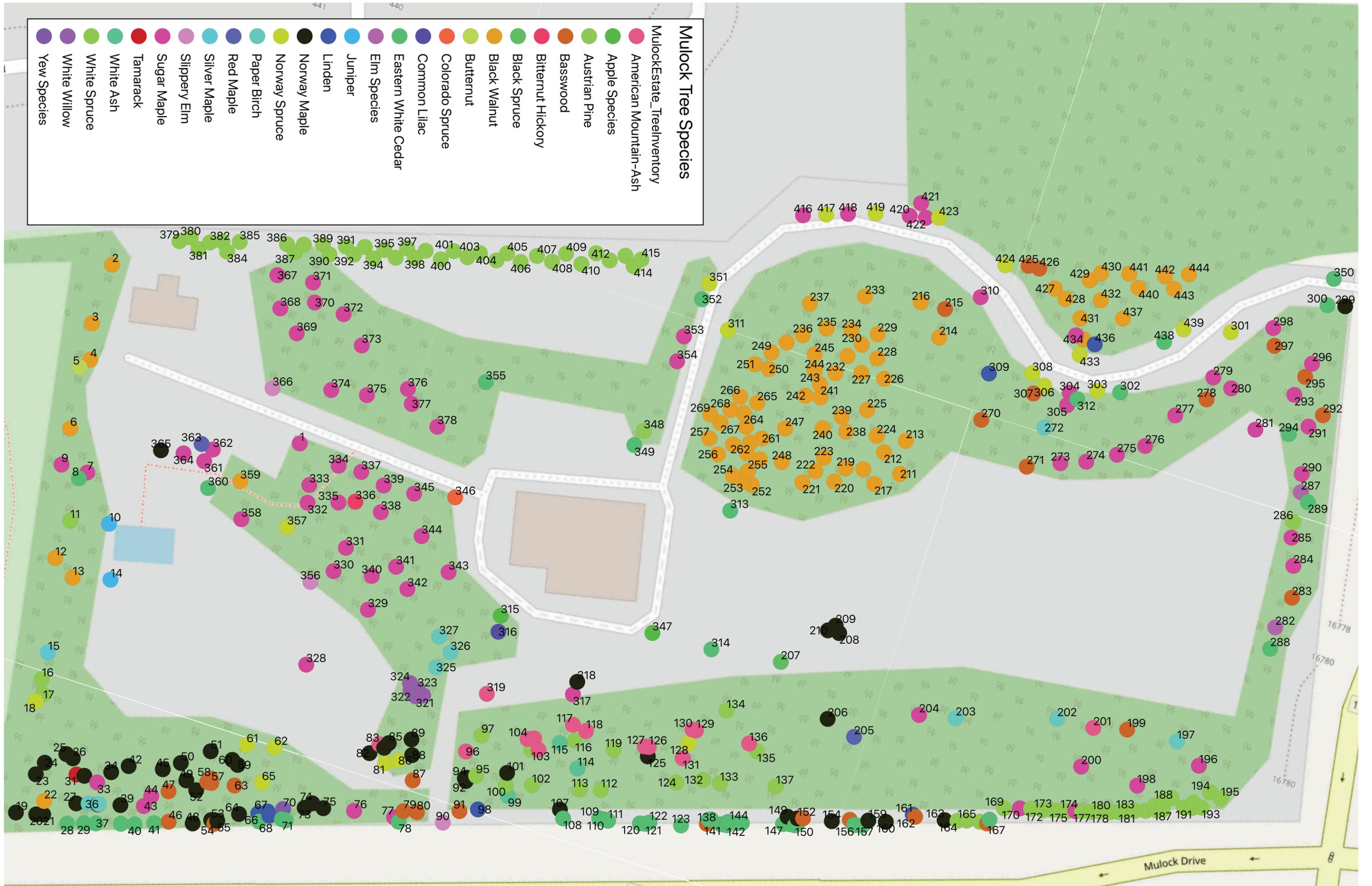
APPENDIX F TREE INVENTORY



Mullock Tree Species

MullockEstate_TreeInventory

- American Mountain-Ash
- Apple Species
- Austrian Pine
- Basswood
- Bitternut Hickory
- Black Spruce
- Black Walnut
- Butternut
- Colorado Spruce
- Common Lilac
- Eastern White Cedar
- Elm Species
- Juniper
- Linden
- Norway Maple
- Norway Spruce
- Paper Birch
- Red Maple
- Silver Maple
- Slippery Elm
- Sugar Maple
- Tamarack
- White Ash
- White Spruce
- White Willow
- Yew Species





**APPENDIX G
SITE SERVICING MEMO
WALTER FEDY**



2019-0527-10

April 8, 2020

Ms. Lisa Rapoport
PLANT Architects
Suite 208 – 101 Spadina Avenue
Toronto ON M5V 2K2

Dear Ms. Rapoport:

RE: Initial Site Servicing Investigation – Mulock Park

The following is a brief summary of our investigation of both the existing site servicing and possible future requirements for the proposed Mulock Park at the northwestern corner of Mulock Drive and Yonge Street in Newmarket, Ontario. The servicing described below is outlined graphically on the sketches attached to this letter.

Sanitary Servicing: The Jordanray (Criterion) subdivision sanitary system was designed with a fairly sizeable ultimate sanitary flow from the Mulock Homestead area, through an easement and 250 mm sanitary service between 100 and 104 Jordanray Boulevard at invert 207.74. Sanitary servicing using this outlet should be no issue for any park facilities proposed.

There is an existing septic tank bed to the south of the original house on the property that will need to be decommissioned and abandoned.

Water Servicing: There is an updated 50 mm copper water service at the northwestern corner of the property that is split at an existing valve pit (north of the pool house). A water service branches from that valve pit to both the house and the pool. Condition of these services from the valve pit is unknown.

Storm Servicing: Historically, this section of the area is considered “uncontrolled” storm flow to the Yonge Street catchment (no quality or quantity treatment has ever been considered for the site). Most of the Mulock Homestead property has been diverted to stormwater management ponds (both the dry pond at Jim Bond Park which is the major storm overflow for the Criterion/Jordanray subdivision, and the quantity/quality treatment pond south of Mulock and just west of Columbus Way). The 4.8 ha of the Mulock Homestead property is separate from Jim Bond Park, and all surface flows drain entirely through a 600 mm outlet pipe at the southeastern corner of the site. The existing infrastructure downstream of the site is limited in capacity.

Quantity Requirements: Based on the 1992 Stormwater Management Report and the 2002 storm design drawings for the Criterion/Jordanray site, the required quantity flow from the site is fairly limited. As of the 2002 design, this allowable outflow was 0.43m³/s for the 100-year storm, but this will have to be updated to current modelling standards and may be adjusted slightly (either positively or negatively). Any development on site will require controlling the outflow to this rate, through the use of quantity storage and attenuation (ponds, infiltration, rooftop storage, parking lot storage, rainwater re-use). Infiltration is an unlikely solution for this site as the existing soils are clay with slow T-times. There is no “overland” outlet for the site, so all flows up to and including the 100-year storm must be considered. The general site grading should be maintained, with the elevation dropping from the high point at the boundary of Jim Bond Park and the houses to the north, down to the outlet at Yonge/Mulock. This will enable a stormwater management design with the least noticeable impact,

natural flow, and ease of outlet, while still keeping the overland flow to Jim Bond Park distinct. Making the physical connection to Jim Bond Park would require that high point to remain.

Quality Requirements: Quality treatment of the runoff from the site must be to Level 1 as the outflow from the site is ultimately a part of the Holland River drainage area. This will not be difficult to achieve with the planned use of the property. TSS removal from the outfall should be at minimum 80% and can be managed with an oil/grit separator for the parking lot, with consideration for alternate quality treatment (i.e. wetland controls - quality treatment through plant selection, engineered wetland area, possibly at the site outlet near Yonge/Mulock).

Access to Site: Based on the grading of the site, the outlet of the stormwater management system at Yonge/Mulock, proximity to the intersection of Yonge/Mulock, and the profile of Yonge Street, access to the site from Yonge Street will be for pedestrian access only, and will require a platform and stair/ramp to bridge over the stormwater outlet (and possible wetland feature) to the Yonge/Mulock system. Vehicular access to the park will be from Mulock Drive.

All of which is respectfully submitted,

WALTERFEDY



Melissa Ostrowercha, P.Eng.
Project Manager, Civil

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289.799.3547, Ext. 261
MO:ajw

Enclosure



Imagery ©2020 First Base Solutions, Maxar Technologies, Map data ©2020 20 m

Figure 1 - Existing Services



Imagery ©2020 CNES / Airbus, First Base Solutions, Maxar Technologies, Map data ©2020 100 m

Figure 2 - Existing SWM Facilities



**APPENDIX H
ICE/SKATING MEMO
CUSTOM ICE INC.**



March 31, 2020

Karen May, MLA OALA Associate
PLANT Architect Inc.
Suite 208 – 101 Spadina Avenue
Toronto ON M5V 2K2 Canada
416 979 2012

Further to our recent discussions here is some information together with some general comments about skating path design and a brief review of the three skating path options you provided.

1. Cost Considerations

As the size of the skating path changes the construction costs change at a similar rate..

- a. Costs are about the same (\$750-\$850 /m²) regardless of the configuration. Based on the sketches you sent I don't see a lot of savings when doubling the length. Important thing is that it is consistently 4m wide (or 3m) and that the width does not change. 4m is also a good width for maintenance because it fits well with two passes of the Zamboni.
- b. Cost of \$750-\$850m² includes: Skating path construction c/w fine grading, insulation, reinforcing steel and wire chairs, all piping, forming, concrete supply, placement and finishing, curing. AND includes Refrigeration system c/w all piping pumps, refrigeration chiller, ethylene glycol, startup, all gauges fittings and controls.
- c. Cost does not include: Site excavation and rough grading and 5-6" stone, retaining walls or landscaping, Electrical service and all electrical work, Lighting, Zamboni, Water supply, Trenching/excavation and backfilling, Landscaping, Zamboni Building.
- d. As the size doubles the Zamboni and Zamboni space remains the same. Zamboni capital cost is approx. \$100k and needs to be stored in an indoor heated space with drain and hot and cold water. Same size of machine is fine for either size skating path.
- e. I really like the 4m wide path because it represents exactly 2 passes of the Zamboni. You could go to 3 m or 3.5 m (if skating in one direction) but 4 m is very common.

2. Maintenance Considerations

As the size and area of the path changes the maintenance changes with it.

- a. Snow removal doubles as the size doubles
- b. Electrical energy cost doubles as the size doubles and depends a lot on the ice season. For example in cold months the refrigeration will operate less. In warmer months it will operate warm. Once we have an ice size I can do an energy projection.
- c. Ice resurfacing will also take longer but costs won't be that much more based on the sized you provided, both configurations can be resurfaced by a single full size Zamboni
- d. Water costs will double as the ice size doubles.
- e. I can provide better projections of we know the ice season and selected configuration

3. Geothermal Heat Pump Considerations

- a. We have used ground source heat pump chillers for ice rinks but the choice to do that depends heavily on being able to reuse the heat that is rejected to the ground. If there is no need to use the heat, a geothermal system is extremely expensive and will not save any energy. Main reason is that in winter it is easier to reject heat to ambient air which is usually colder (-15C to +10C) than ground temperatures in winter (+8C to + 10C). So refrigeration in winter is already more energy efficient.

4. General Skating Path Considerations

- a. Each skater typically needs 1.2m in width to account for their striding. Skaters also often skate in pairs thereby taking up 2.4 m. Skaters also tend to stay away from the edges (to prevent falling off) so in general a 4m width is better than 3m. Either way 3m will work if flow is only in one direction but it will still be somewhat difficult for a faster skater to pass when a pair is side by side.
- b. The path should be flat and level over its entirety. It should not be sloped.
- c. There is always a greater risk of injury when skaters skate in opposite directions or cross paths however the risks of crossing can be reduced if skaters are forced to slow down to do so. This type of short cut is also worthwhile for skaters preferring to take a shorter route.
- d. Skaters and their parents will not like to carry their things too far to change skates etc. From my experience it is better to keep the skate change area near the ice and as near as possible to parking etc
- e. Ice collection areas should be at least 150 sqM so younger toddlers can still skate without going too far along the path away from parents. This area also allows people to enter and exit the main more safely
- f. When a site has lot of trees the ice season would likely start only once all the leaves have fallen. As such the start of the ice season should be planned around this time each year.
- g. If possible it is helpful to be able to see all areas of the path from the main skate change area. This is because parents who are not skating will feel comfortable because they are still able to see and supervise the younger skaters.

5. Comments on the Three Layouts

Layout #1:

- a. I would not recommend the second collection/cross over area. This be more expensive difficult to refrigerate because of its irregular shape.
- b. This layout presents a greater chance for skaters to collide with one another
- c. The concentric circle layout might be considered a bit boring – especially compared to the other two options.
- d. Easiest to construct with entire path in close proximity

Layout #2:

- a. The numbers of turns will help slow skaters and reduce risk of injury
- b. The layout makes it easier to see the entire path from one location
- c. The layout is slightly easier to construct because it is not spread out as much

Layout #3:

- a. It will be difficult to see the entire path from the common skate change location
- b. Cross over area is good because it allows a short cut for skaters to return before committing to entire path
- c. Cross over area also forces skaters to slow down before crossing over

I hope this information is helpful.

Please feel free to contact me with any questions at (905) 632-8840 x12 or cell (905) 220-2580.

Sincerely,

Brendan Lenko, P.Eng.
President
Custom Ice Inc.



APPENDIX I
ARCHAEOLOGICAL REPORT
A.M. ARCHAEOLOGICAL ASSOCIATES



THE STAGE 1 ARCHAEOLOGICAL ASSESSMENT OF
THE MULOCK ESTATE, 16780 YONGE STREET,
TOWN OF NEWMARKET, REGIONAL MUNICIPALITY OF YORK,
PART 6, REGISTERED PLAN 65R-13937
(PART LOT 91, CONCESSION WEST, GEOGRAPHIC TOWNSHIP OF KING, YORK COUNTY)

Prepared for
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Original Licence Report
Andrew Murray, Licence P035
P.I.F. # P035-0314-2019
24-Jan-2020

EXECUTIVE SUMMARY

This report discusses the rationale, methods and results of the Stage 1 archaeological assessment conducted as part of developing long-term plan plans for the Mulock Estate property at 16780 Yonge Street, Town of Newmarket, Part 6, Registered Plan 65R-13937 (Part Lot 91, Concession West, Geographic Township of King, York County). The study area was assessed for archaeological potential in support of developing both passive and active recreation opportunities for lands identified as having archaeological potential by a master plan under the *Planning Act*. The residence that exists on the property is designated under the *Ontario Heritage Act*. A scoping site visit was made to the property on November 30, 2019, under mostly sunny conditions and temperatures around +0°C. Permission to enter the subject property was arranged with Laura Schembri, Town of Newmarket and facilitated by Lisa Dietrich and Lisa Rapoport at PLANT Architect Inc.

All archaeological assessment activities were performed according to the *Standards and Guidelines for Consultant Archaeologists* (MHSTCI 2011). All work was done under the archaeological consulting license, P035, issued to Andrew Murray of A. M. Archaeological Associates under the *Ontario Heritage Act*. All records pertaining to this project will be curated at the offices of A. M. Archaeological Associates.

The Stage 1 archaeological study area includes rectangular property (approximately 4.6 hectares) with frontages on the north side of Mulock Drive and on the west side of Yonge Street (Map 1). The study area includes the house and outbuildings and lands at the 16780 Yonge Street address. The surrounding lands have been developed as residential subdivisions in the last 30 years (Maps 16 - 18).

The main features of archaeological for the 16780 Yonge Street property, known as the Mulock Estate, are the proximity to historical features, the proximity to a water source and the proximity to a registered archaeological site. Both Yonge Street and Mulock Drive appear on nineteenth-century maps and served as historic settlement roads. Portions of the existing house date to the around 1880 and is designated under the *Ontario Heritage Act*. The standard for buffers around historic features is 100-metres. A former stream drained easterly through the southwestern portion of the study area and indicates the archaeological potential for precontact Indigenous sites. This requires a 300-metre buffer. The registered archaeological site, BaGu-41 (Augustus Rogers), also requires as a 300-metre buffer. As a result of the overlapping potential feature buffers, the potential for archaeological remains extends across 4.5 hectares of the Mulock Estate property.

There are several areas where intensive and extensive disturbances indicate that this potential for archaeological remains has been removed. The main area is immediately around the existing house. Although a portion of the house was built in the nineteenth century, there have been major changes to existing structure around the south, east and north faces in the twentieth century. The masterplan mapping indicates that there is no potential immediately around the house, but there is no clear indication of major disturbance around the west side of the building, which dates to around 1880. As a result, the total area of the removed potential has been reduced. The terraced lands surrounding the existing house may have been impacted by landscaping activities from before ground-level photographs and aerial photographs were taken. However, the soil report does not clearly indicate disturbed soils from the two boreholes cored in this area. As a result, any conclusions of disturbance will have to be confirmed by Stage 2 shovel test pits.

The masterplan also indicates removed archaeological potential around the former swimming pool. The concrete block garage and shed in the northwest corner of the property are twentieth-century constructions and there is no potential in their immediate vicinity. Although sections of the driveway have cut through portions of the sloped lands, it can not be concluded that it has deeply disturbed the lands and retains the potential for archaeological remains.

Approximately 4.5 hectares of the Mulock Estate property at 16780 Yonge Street has the potential for archaeological remains. Stage 2 assessment should be conducted in these areas before any future plans impact these areas (Map 16). The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2* (MHSTCI 2011: 31-32). Test pit survey method involves systematically walking the property along regularly spaced transects, excavating small pits by hand at regular intervals and examining their contents.

There may be more deeply buried conditions around the west side of the house that dates to the 1880s that can't be fully assessed using the test pit survey method described above (e.g. around the foundation). As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions.

On the basis of the above information, we recommend the following:

1. The Stage 1 background research has identified 4.5 hectares of the Mulock Estate property at 16780 as having the potential for archaeological remains. Stage 2 assessment

should be conducted in these areas before any future plans impact these areas (Map 17).

The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2*.

2. The Stage 1 background research has identified an area around the west side of the 1880s Mulock house that may have deeply buried remains related to the original construction. As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions (Map 17).

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PROJECT PERSONNEL

Project/ Field Director	Andrew Murray, P035
Report Graphics/ Preparation	Andrew Murray

ACKNOWLEDGEMENTS

The archaeological assessment reported here was undertaken on the Treaty Lands and Territory of the Mississauga's of the Credit.

1.0 PROJECT CONTEXT

1.1 Development Context

This report discusses the rationale, methods and results of the Stage 1 archaeological assessment conducted as part of developing long-term plan plans for the Mulock Estate property at 16780 Yonge Street, Town of Newmarket, Part 6, Registered Plan 65R-13937 (Part Lot 91, Concession West, Geographic Township of King, York County). The study area was assessed for archaeological potential in support of developing both passive and active recreation opportunities for lands identified as having archaeological potential by a master plan under the *Planning Act*. The residence that exists on the property is designated under the *Ontario Heritage Act*. A scoping site visit was made to the property on November 30, 2019, under mostly sunny conditions and temperatures around +0°C. Permission to enter the subject property was arranged with Laura Schembri, Town of Newmarket and facilitated by Lisa Dietrich and Lisa Rapoport at PLANT Architect Inc.

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1.2 Historic Context

1.2.1 General Area

1.2.1.1 Pre-contact era

The importance of the Toronto area in the pre-contact and early historic period was due to the use of the Humber River, along with the Don and Rouge Rivers, as part of the northward transportation route to Lake Simcoe, Georgian Bay, and the Upper Great Lakes.

Archaeologists divide south-central Ontario's pre-contact history into the following temporal/cultural sequences:

Table 1: General cultural synthesis for south-central Ontario.

PERIOD	GROUP	TIME RANGE	COMMENT
Paleo-Indian	Big game hunters; small nomadic groups		
<i>Early</i>	Fluted Point	9500–8500 B.C.	Distinctive lanceolate and fluted points
<i>Late</i>	Hi-Lo	8500–8000 B.C.	Side-notched points
Archaic	Nomadic hunters and gatherers. Territories exploited on yearly round.		
<i>Early</i>	Nettling Bifurcate Based	7800–6900 B.C. 6900–6000 B.C.	More varied toolkit.
<i>Middle</i>	Stanly/Neville Otter Creek Brewerton	6000–5000 B.C. 5000–3000 B.C. 3000–2500 B.C.	Ground and polished stone tool industry; subsistence fishing.
<i>Late</i>	Narrow Point	2500–1800 B.C.	Bipolar lithic reduction as evidence of more extensive woodworking
	Broad Point	1800–1500 B.C.	Net fishing, nut harvesting, dog burials
	Small Point	1500–800 B.C.	Evidence of mortuary practices; bow and arrow technology.
Woodland	Introduction of pottery and agriculture.		
<i>Early</i>	Meadowood	900–400 B.C.	Earliest pottery; pop-eyed birdstones
<i>Middle</i>	Point Peninsula Princess Point	400 B.C. –500 A.D. 500–900 A.D.	Long-distance trade networks. Incipient horticulture.
<i>Late</i> <i>Early Iroquoian</i>	Pickering/ Glen Meyer	900–1280 A.D.	Transition to village life and maize agriculture.
<i>Middle</i> <i>Iroquoian</i>	Uren Middleport	1280–1330 A.D. 1330–1400 A.D.	Large village sites. Rapid population growth.
<i>Late Iroquoian</i>	Wendat (Huron) Neutral Petun St. Lawrence Haudenosaunee (Iroquois)	1400–1650 A.D.	Well-made ceramic pots Tribal differentiation and warfare.
Historic	European colonization		
<i>Early</i>	Odawa, Ojibwa, Mississauga, Six Nations	1700–1875 A.D.	Fur trade; social displacement.
<i>Late</i>	Odawa, Ojibwa, Mississauga, Six Nations Euro-Canadian	1790 A.D. –present	Consolidation of Indigenous people on reserves; continued presence throughout urban and rural areas European urban & rural settlement

1.2.1.2 Early contact era

The French adventurer Etienne Brûlé may have visited the Toronto area in 1615 using the Lake Simcoe, Holland River, Humber River portage route known to Indigenous populations for millennia to access Lake Ontario from the north. There is some dispute about whether Brûlé utilized the Credit River versus the Humber River as part of the route.

The Five Nations Iroquois established a series of strategic settlements along the north shore of Lake Ontario following the dispersal of the Wendat (Huron), Neutral and their Algonquin allies after 1649. The next twenty years are not well documented. However, a party of traders from Cataraqui (Kingston) who were employed by Cavalier René-Robert La Salle visited the Teiaiagon village site at Baby Point on the Humber River sometime in the 1670s. Recollet

missionary Father Louis Hennepin spent three weeks at the village in 1678 (Robinson 1933). The village of Teiaiaagon was primarily occupied by Seneca people but would also have had other Iroquoian Nations and possibly even people with ancestral ties to the Huron Confederacy. Another Seneca village, Ganatsekwyagon, was located on the Rouge River from 1665 to 1687.

By 1700, the Ojibwa had replaced the Iroquois from the North Shore of Lake Ontario, and a group of Ojibwa, known as the Mississauga, had settled around the mouth of the Credit River. In the 1720s, the French had established many trading posts around Lake Ontario, including the Magasin Royale, somewhere in the general vicinity of Baby Point on the Humber River. In 1750, the Chevalier de Portneuf constructed a storehouse enclosed by a palisade, known as Fort Toronto, on the east bank of the Humber. The structure was deemed too small for an adequate garrison, and a new fort was built near the bandshell on the present-day CNE grounds (Robinson 1933). The Mississaugas referred to the Credit River as “Missinihe” or “Trusting Water”, but the river came to be known as the Credit River, a name derived from the custom of trading on credit. After the decline of French power in the region, the British established their trade with the Mississaugas, building a trading post and Government Inn on the east bank of the mouth of the Credit River in 1798. On August 2nd, 1805, at the mouth of the Credit River, the Mississaugas signed a land treaty with the British Crown. The Mississaugas reserved a one-mile strip of land on either side of the River. Although the Williams Treaty in 1923 partially resolved some of the outstanding treaty issues with the Mississauga First Nations, the issue of the rights to the Toronto Islands was not resolved until 2010, and there are other outstanding claims within York Region (Myrvold 1996).

1.2.1.3 Colonial era

This area of central Ontario was originally named the District of Nassau in 1788 and was renamed the Home District in 1792. The district stretched from the Trent River west to Long Point on Lake Erie and north to the Severn River. In the 1840s, the Home District was subdivided and renamed the County of York (Guillet 1946). The County of York was the earliest to be surveyed because of the importance that John Graves Simcoe placed on the establishment of Yonge Street as an overland route north. Although the Don River was occasionally used as part of the important portage trail network that linked Lake Ontario to Lake Simcoe, the Humber River to Holland River was the preferred water route, and Yonge Street was the main overland route.

1.2.2 Property History

The land patent for the 210 acre Lot 91, Concession 1, West of Yonge Street, King Township, was awarded to Rufus Rogers on December 11, 1804 (Map 2). Rufus Rogers had come from Danby, Vermont in 1801 with his brother Asa (Lot 92, Con. 1 WYS) as part of a group of 20 Quaker families (Healey 2006). Rufus also received the crown patent for Lot 31 to the west. Others of the Rogers family also settled on nearby lots.

A Stage 1 and 2 assessment for most of Lot 91 was conducted by Archaeological Services Inc. in 1993 and included research of the assessment rolls of 1846 and 1848 (ASI 1993). The tax rolls provide the details that Augustus Rogers had lived in a one storey frame home, and only one-third of the 210 acres were cultivated (ASI 1993). The exact location of this dwelling is not certain since the earliest detailed map of 1860 does not depict a house anywhere on the lot (Map 3).

The 1851 census indicates that the Rogers family had built a two-storey brick house between 1848 and 1851 (ASI 1993). This is likely a reference to the brick house associated registered as site BaGu-41 by ASI approximately 65-metres to the north (see *Sections 1.3.2 and 1.3.3* below). Esek Rogers deeded 200 acres to Augustus Rogers (the younger) in February of 1868 (Instrument #5163). Schedules 1 and 4 of the 1871 census listed Esek, aged 34, and Augustus, aged 30, as the joint farmers of 310 acres, including Lot 91. Also living with them were their widowed mother Mary, aged 60, and four additional brothers and sisters, including James W. Rogers, aged 27, who purchased the south half of Lot 91 in 1874 (Instrument #1662).

William Mulock purchased the southern 105 acres from the Rogers family in 1881 for \$6300 and added the northern 100 acres in 1884 for \$9000 (Instruments 3715 & 4717). The \$2700 price differential is likely a reflection that the northern section contained the original Rogers brick home. William Mulock was enumerated in Toronto's St. John Ward in 1881 (LAC 1881). In 1881, Mulock was a lawyer at the offices of Mulock, Tilt, McArthur & Crowther on King Street East and a home at 52 St. Albans in Toronto (Might and Co. 1881). He is listed at 71 Avenue Road in 1884, and by 1891 he is at 518 Jarvis Street (Polk 1884; (Might and Co. 1891)). Sir William Mulock (1843 - 1944) was elected House of Commons from 1882 to 1905 and was postmaster general from 1896 to 1905 in Sir Wilfrid Laurier's Liberal government for which he was knighted in 1902. The Mulock Residence is designated under Part 4 of the Ontario Heritage Act. It is an example of a well-preserved Georgian and Neo-Classic Gothic architecture. The

west-facing section of the house is believed to be the original nineteenth-century portion of the house. Mulock continued at his main residence on Jarvis Street in Toronto but maintained the buildings as a retreat and the farm as a chance to experiment with trying out new methods and crops (Might and Co. 1911, 1921).

The existing house and grounds have continued in the hands of the Mulock descendants until the great-granddaughter of Sir William Mulock sold the lands to the Town of Newmarket in 2018. Early twentieth-century photographs indicate that the house has had more major alterations along the east, north and south sides (Images 1 - 4). Aerial photography from 1927, 1954, 1959, 1970, 1978, 2002 and 2019 indicates that the landscape changes have been minor (Maps 5, 9, 11-14 and 16). A porte-cochère was added to the south side of the house in the 1950s. The garage appears to have been expanded or rebuilt and a pool has been added by 1970.

Table 2: Summary of Mulock Estate property history from 1800 to 1911.

Year	Source	Occupant	Comments
1800	Registry- patent	Rogers, Rufus	210 acres- 11-Dec-1804; Map 2
1837	Walton Dir.	Rogers, A. G.	
1846	Brown Dir.	Rogers, Augustus	
1851	Armstrong Dir.	Rogers, Augustus	
1860	Tremaine Map	Estate of the Late Augustus Rogers	no buildings on lot depicted; Map 3
1866	Mitchell Dir.	Rogers, Amos (f)	
1870	McEvoy Dir.	Rogers, Augustus (f)	
1876	Fisher & Taylor Dir.	Rogers, Augustus (f), Newmarket P.O.	
1878	Miles and Co. Map	Rogers, James W.	Map 4
1881	Irwin Dir.	Rogers, Augustus & J.W. (f), Newmarket P.O.	
1881	Registry-B&S	Rogers, James W. et ux to Mulock, William (Inst.# 3715)	\$6300; 105 acres (S1/2)
1884	Registry-B&S	Rogers, Augustus et ux to Mulock, William (Inst. 4717)	\$9000; 100 acres (N1/2)
1888	Union Dir.	Mulock, William (f) Newmarket P.O.; Rogers, John (f), Newmarket P.O.	
1890	Union Dir.	Esten, J.P (t); Mulock, Wm (f) Rogers, John on L96, C1	
1892	Union Dir.	Moody, Luke (t); Mulock, William (f) Toronto	
1896	Union Dir.	Mulock, William (f) Toronto	
1900	Union Dir.	Mulock, William (f) Toronto P.O.	
1908	Union Dir.	Mulock, William Sr (f) Toronto P.O.	
1911	Union Dir.	Mulock, William Sr (f) Toronto P.O.	

1.3 Archaeological Context

The Stage 1 archaeological study area includes rectangular property (approximately 4.6 hectares) with frontages on the north side of Mulock Drive and on the west side of Yonge Street (Map 1). The study area includes the house and outbuildings and lands at the 16780 Yonge Street

address. The surrounding lands have been developed as residential subdivisions in the last 30 years (Maps 16 - 18).

1.3.1 Environmental Setting

The study area is located within a drumlinized area of the Simcoe Lowlands physiographic region (Chapman and Putnam 1984, 2007). This area includes the lowlands bordering Lake Simcoe and Georgian Bay that were flooded by glacial Lake Algonquin (Chapman and Putnam 1984). The soils of the general study are mapped as Schomberg clay loam with good drainage (Hoffman and Richards 1955). However, a more detailed soil survey conducted in 2017 describes the dark brown topsoil as having soils having very low permeability and ranges from 25 to 43 cm thickness over sandy silt or silty clay subsoils (Soil Engineers Inc. 2007a). The lands slope from 271-m elevation in the northwest to 263-m in the southeast (Map 16).

The nearest water source is a minor stream in the southwestern corner of the study area indicated on Ontario Basic Mapping (Map 16). As a result of the changes to the local drainage from surrounding developments, there is no longer any flowing water. However, there is still a patch of wetland reeds in the southeastern corner.

1.3.2 Registered Archaeological Sites

A search of the Ministry of Heritage, Sport, Tourism and Cultural Industries' archaeological sites database revealed 10 archaeological sites within a one-kilometre radius of the study area (MTCS 2019). The nearest site is the Augustus Rogers site, BaGu-41, where Archaeological Services Inc. (ASI) discovered artifacts from Stage 2 test pits around the remains of the nineteenth-century residence and barns (ASI 1993). All of the remaining sites are not within 300-metres of the study area but demonstrate the potential for precontact Indigenous sites as well as early Euro-Canadian sites (Table 2).

Table 3: Summary of registered archaeological sites within a 1-km radius of the study area (MHST 2019).

Borden #	Site Name	Time Period	Affinity	Site Type	Distance
BaGu-18	Hicksite Meeting House	Post-Contact	Euro-Canadian	Church / chapel	420-m
BaGu-37	Tempest	Archaic, Late, Woodland, Early	Indigenous	Findspot	570-m
BaGu-41	Augustus Rogers	Post-Contact	Euro-Canadian	Homestead, barns	65-m
BaGu-59	Andrew Clubine	Post-Contact	Euro-Canadian	Homestead	1265-m
BaGu-61	George Bodfish	Post-Contact	Euro-Canadian	Homestead	1360-m

Borden #	Site Name	Time Period	Affinity	Site Type	Distance
BaGu-78	Masongsong	Post-Contact	Euro-Canadian	Scatter	440-m
BaGu-80	Linton Springs	Pre-Contact	Indigenous	Findspot	1050-m
BaGu-81	SW Newmarket 2	Archaic, Late	Indigenous	Findspot	795-m
BaGu-82	SW Newmarket 3	Pre-Contact	Indigenous	Findspot	935-m
BaGu-164	Oliver Phillips Cheese Factory	Archaic, Late, Post-Contact	Indigenous, Euro-Canadian	Findspot, Manufacturing	645-m

1.3.3 Past Projects

A search of the MHSTCI’s PastPort site report database using keywords “Mulock”, “Yonge,” and Lot 91, Concession 1 in King Township failed to retrieve the titles of any project reports within 50 metres.

The Town of Newmarket provided a copy of a nearby Archaeological Services Inc. project. ASI conducted a Stage 2 assessment of a large tract of land on most of Lots 90, 91 and 92, Concession 1 West of Yonge Street in 1993 and registered new sites as BaGu-36, BaGu-37, BaGu-38, BaGu-39, BaGu-40 and BaGu-41 as well as the discovery of one isolated historic Euro-Canadian artifact (ASI 1993). A band of land along the north and west side of the current Mulock Estate study area was not included in the 1993 Stage 2 assessment mapping (ASI 1993: 4). A search of the MSHTCI report database did not find any report indicating that these areas have been assessed, but approximately 1.5-hectares immediately adjacent to the study area has been developed as part of the large residential subdivision to the northwest.

ASI also conducted a Stage 1 study adjacent to the east side of the Mulock Estate prior to the installation of watermain on Yonge Street in 2006 (ASI 2007). The study described the current Mulock Estate study area to be “relatively undisturbed” (ASI 2007: 6). However, the adjacent Yonge Street right-of-way was determined to be disturbed. No further work was recommended within the right-of-way. An additional ASI Stage 1 assessment for the VivaNext transportation corridor along Yonge Street overlapped with the watermain study and made the same conclusions and recommendations for the stretch of Yonge Street adjacent to the Mulock Estate study area (ASI 2008).

A 2.8-hectare portion of the study area is identified as having archaeological potential by the mapping that accompanies the Region of York Archaeological Management Plan prepared by Archaeological Services Inc (ASI 2013; York Region 2013) (Map 15). The archaeological potential shown on this mapping is based on a 100-metre buffer around Yonge Street and Mulock Drive, which functioned as colonial settlement roads. This 100-m buffer archaeological potential zone excludes the area immediately around the existing house (approximately 2100m²)

and the former swimming pool (approximately 550m²). The potential zone did not identify several other features of archaeological potential, including the house itself, or the stream in the southeastern corner or the registered archaeological site, BaGu-41.

2.0 METHODOLOGY

2.1 GIS Methods

The existing survey plan was overlaid with nineteenth and twentieth-century mapping using the best available landmarks. The maps were rotated and stretched in both east-west and north-south direction to provide the best fit.

2.2 Property Visit

A scoping site visit for bidding purposes was made to the property on November 30, 2019, under mostly sunny conditions and temperatures around +0°C. Snow blanketed the property before the award of the contract, so the photographs from the scoping visit are used in this report. Permission to enter the subject property was arranged with Laura Schembri, Town of Newmarket and facilitated by Lisa Dietrich and Lisa Rapoport at PLANT Architect Inc.

Photograph locations were logged by GPS (Images 5 - 13; Maps 16 and 17). At no point did the weather and lighting conditions (e.g., snow cover, frozen ground, excessive rain or drought, heavy fog) reduce the ability to identify and document any part of the archaeological subject property.

The property is accessed via a crushed stone driveway from Yonge Street, curving through the northern portion of the property to the main house then continuing to the garage and storage building in the northwestern corner. The driveway encircles the house through the 1950s porte-cochère on the south-facing side. The house is situated atop a terraced slope visible on the earliest photographs available (Images 1 - 4). The other three buildings on the property include a concrete block garage, a concrete block shed or storage building and a pool house. The adjacent swimming pool has recently been removed. The remaining land is a mix of mown lawns and mature trees that is virtually unchanged from the 1927 aerial photograph.

2.3 Inventory of the Documentary Record

The documentary record of the project consists of one GPS track and 18 geo-tagged digital photographs and this report. The documentary record will be stored at the office of A. M.

Archaeological Associates until they can be deposited at a long-term storage facility with the approval of the Ministry of Tourism, Culture, and Sport.

3.0 ANALYSIS AND CONCLUSIONS

3.1 Archaeological Potential

The main features of archaeological for the 16780 Yonge Street property, known as the Mulock Estate, are the proximity to historical features, the proximity to a water source and the proximity to a registered archaeological site. Both Yonge Street and Mulock Drive appear on nineteenth-century maps and served as historic settlement roads. Portions of the existing house date to the around 1880 and is designated under the *Ontario Heritage Act*. The standard for buffers around historic features is 100-metres. A former stream drained easterly through the southwestern portion of the study area and indicates the archaeological potential for precontact Indigenous sites. This requires a 300-metre buffer. The registered archaeological site, BaGu-41 (Augustus Rogers) also requires as a 300-metre buffer. As a result of the overlapping potential feature buffers, the potential for archaeological remains extends across 4.5 hectares of the Mulock Estate property.

There are several areas where intensive and extensive disturbances indicate that this potential for archaeological remains has been removed. The main area is immediately around the existing house. Although a portion of the house was built in the nineteenth century, there have been major changes to existing structure around the south, east and north faces in the twentieth century. The masterplan mapping indicates that there is no potential immediately around the house, but there is no clear indication of major disturbance around the west side of the building, which dates to around 1880. As a result, the total area of the removed potential has been reduced. The terraced lands surrounding the existing house may have been impacted by landscaping activities from before ground-level photographs and aerial photographs were taken. However, the soil report does not clearly indicate disturbed soils from the two boreholes cored in this area. As a result, any conclusions of disturbance will have to be confirmed by Stage 2 shovel test pits.

The masterplan also indicates removed archaeological potential around the former swimming pool. The concrete block garage and shed in the northwest corner of the property are twentieth-century constructions and there is no potential in their immediate vicinity. Although

sections of the driveway have cut through portions of the sloped lands, it can not be concluded that it has deeply disturbed the lands and retains the potential for archaeological remains.

3.2 Conclusions

Approximately 4.5 hectares of the Mulock Estate property at 16780 Yonge Street has the potential for archaeological remains. Stage 2 assessment should be conducted in these areas before any future plans impact these areas (Map 16). The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2* (MHSTCI 2011: 31-32). Test pit survey method involves systematically walking the property along regularly spaced transects, excavating small pits by hand at regular intervals and examining their contents (see Standards below).

1. Test pit survey only on terrain where ploughing is not possible or viable, as in the following examples:

- a. wooded areas
- b. pasture with high rock content
- c. abandoned farmland with heavy brush and weed growth
- d. orchards and vineyards that cannot be strip ploughed (planted in rows 5 m apart or less), gardens, parkland or lawns, any of which will remain in use for several years after the survey
- e. properties where existing landscaping or infrastructure would be damaged. The presence of such obstacles must be documented in sufficient detail to demonstrate that ploughing or cultivation is not viable.

f. narrow (10 m or less) linear survey corridors (e.g., water or gas pipelines, road widening). This includes situations where there are planned impacts 10 m or less beyond the previously impacted limits on both sides of an existing linear corridor (e.g., two linear survey corridors on either side of an existing roadway). Where at the time of fieldwork the lands within the linear corridor meet the standards as stated under the above section on pedestrian survey land preparation, pedestrian survey must be carried out.

2. Space test pits at maximum intervals of 5 m (400 test pits per hectare) in areas less than 300 m from any feature of archaeological potential.

3. Space test pits at maximum intervals of 10 m (100 test pits per hectare) in areas more than 300 m from any feature of archaeological potential.

4. Test pit to within 1 m of built structures (both intact and ruins), or until test pits show evidence of recent ground disturbance.
5. Ensure that test pits are at least 30 cm in diameter.
6. Excavate each test pit, by hand, into the first 5 cm of subsoil and examine the pit for stratigraphy, cultural features, or evidence of fill.
7. Screen soil through mesh no greater than 6 mm.
8. Collect all artifacts according to their associated test pit.
9. Backfill all test pits unless instructed not to by the landowner.

There may be more deeply buried conditions around the west side of the house that dates to the 1880s that can't be fully assessed using the test pit survey method described above (e.g. around the foundation). As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions (MHSTCI 2011: 36-37) (Map 17). These standards are given below.

1. Survey strategies must be designed to be most effective in identifying potential archaeological resources (e.g., ensure that excavation covers all areas identified in Stage 1 as possessing historic structures, or ensure that buried natural soil horizons are fully investigated).

2. For properties where there is the potential for both deeply buried archaeological resources and for archaeological resources to be present near the surface, and where it is viable to carry out surface survey methods (i.e., pedestrian survey or test pitting), survey of the upper layers to identify any archaeological sites and to determine the extent and degree of disturbance must be carried out prior to using more invasive methods such as backhoe trenching.

3. Use backhoes or equivalent heavy excavating machinery instead of shovels when deep subsurface excavation is necessary to verify the presence of and to assess deeply buried archaeological resources. Excavate trenches within the core of the planned development area and over any areas of archaeological potential:

- a. at maximum intervals of 10 m within those areas
- b. to obtain sections and clear profiles of those areas

4. If other techniques have not made a conclusive determination regarding the presence of deeply buried archaeological resources expected as a result of Stage 1 evaluation, the consultant archaeologist must monitor excavation and the removal of fill as follows:

- a. Conduct on-site monitoring where and when work is proceeding in areas where archaeological sites are predicted to exist, or where construction excavation is extending to a depth that warrants concern. (Onsite monitoring may not be required across the entire development site or at all times during construction.)
 - b. Prepare, in consultation with the proponent and contractors, a contingency plan outlining procedures, documentation, and time requirements in the event that archaeological resources are exposed.
 - c. Recover all diagnostic artifacts related to the archaeological site of cultural heritage value or interest that are exposed during monitoring. Do not recover diagnostic artifacts related to 'fill'.
5. If an archaeological site (i.e., artifacts or features possessing sufficient cultural heritage value or interest to support a recommendation to proceed to Stage 3) is uncovered or affected, construction and monitoring activities must cease in that location.

4.0 RECOMMENDATIONS

On the basis of the above information, we recommend the following:

1. The Stage 1 background research has identified 4.5 hectares of the Mulock Estate property at 16780 as having the potential for archaeological remains. Stage 2 assessment should be conducted in these areas before any future plans impact these areas (Map 17). The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2*.
2. The Stage 1 background research has identified an area around the west side of the 1880s Mulock house that may have deeply buried remains related to the original construction. As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions (Map 17).

5.0 ADVICE ON COMPLIANCE WITH LEGISLATION

1. Advice on compliance with legislation is not part of the archaeological record. However, for the benefit of the proponent and approval authority in the land use planning and development process, the report must include the following standard statements:
 - a. This report is submitted to the Minister of Heritage, Sport, Tourism and Cultural Industries as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18. The report is reviewed to ensure it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Heritage, Sport, Tourism and Cultural Industries, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.
 - b. It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.
 - c. Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and, therefore, subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with sec. 48 (1) of the *Ontario Heritage Act*.
 - d. The Cemeteries Act, R.S.O. 1990 c. C.4 and the Funeral, Burial and Cremation Services Act, 2002, S.O. 2002, C.33 (when proclaimed in force) requires that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.

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7.0 IMAGES



Image 1: South-facing view towards the northeast corner of Mulock house in the early 1900s (NewmarketToday.ca 2018).



Image 2: Northwest facing view of the southeastern corner of Mulock house (NewmarketToday.ca 2018).



Image 3: Northwest facing view of the southeastern corner of Mulock house in 1912 showing larger veranda and terraced slope (NewmarketToday.ca 2018).



Image 4: Northwest facing view of the southeastern corner of Mulock house in 1939, showing larger veranda and landscaped slope (Toronto Public Library 1939).



Image 5: West view of the garage (left) and shed (right).



Image 6: South view of the former pool with the existing pool house on the right.



Image 7: East view of mown lawn with terraced landscape on the left.



Image 8: South view of the west (original) section of the house and terraced landscape in the foreground.



Image 9: North view of west (original) section of the house and terraced landscape in the foreground.



Image 10: South view of the terraced landscape on the east side of the house.



Image 11: East view of mature trees and gradual slope the east.

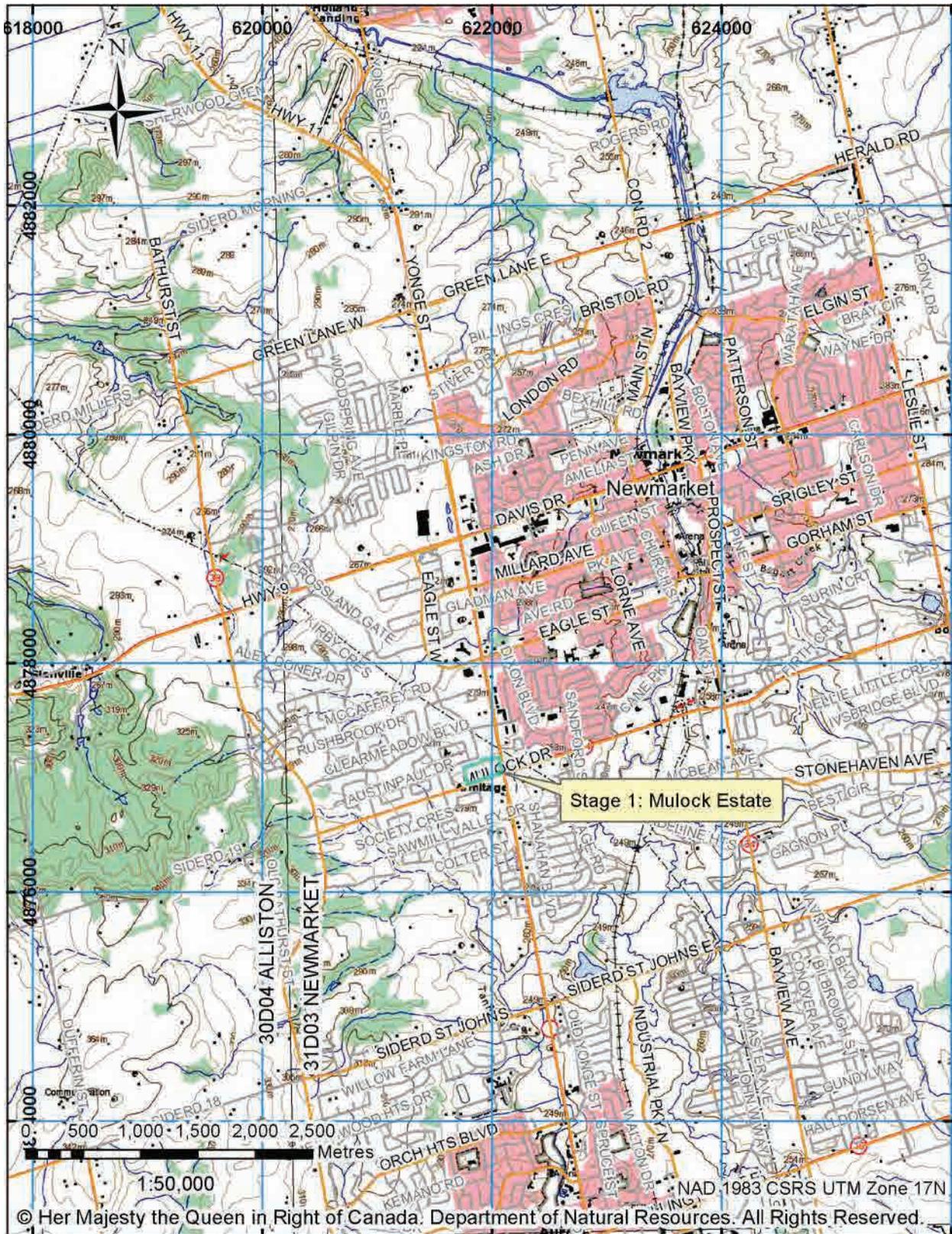


Image 12: Northwest view along gravel drive showing slight cut bank on the right.

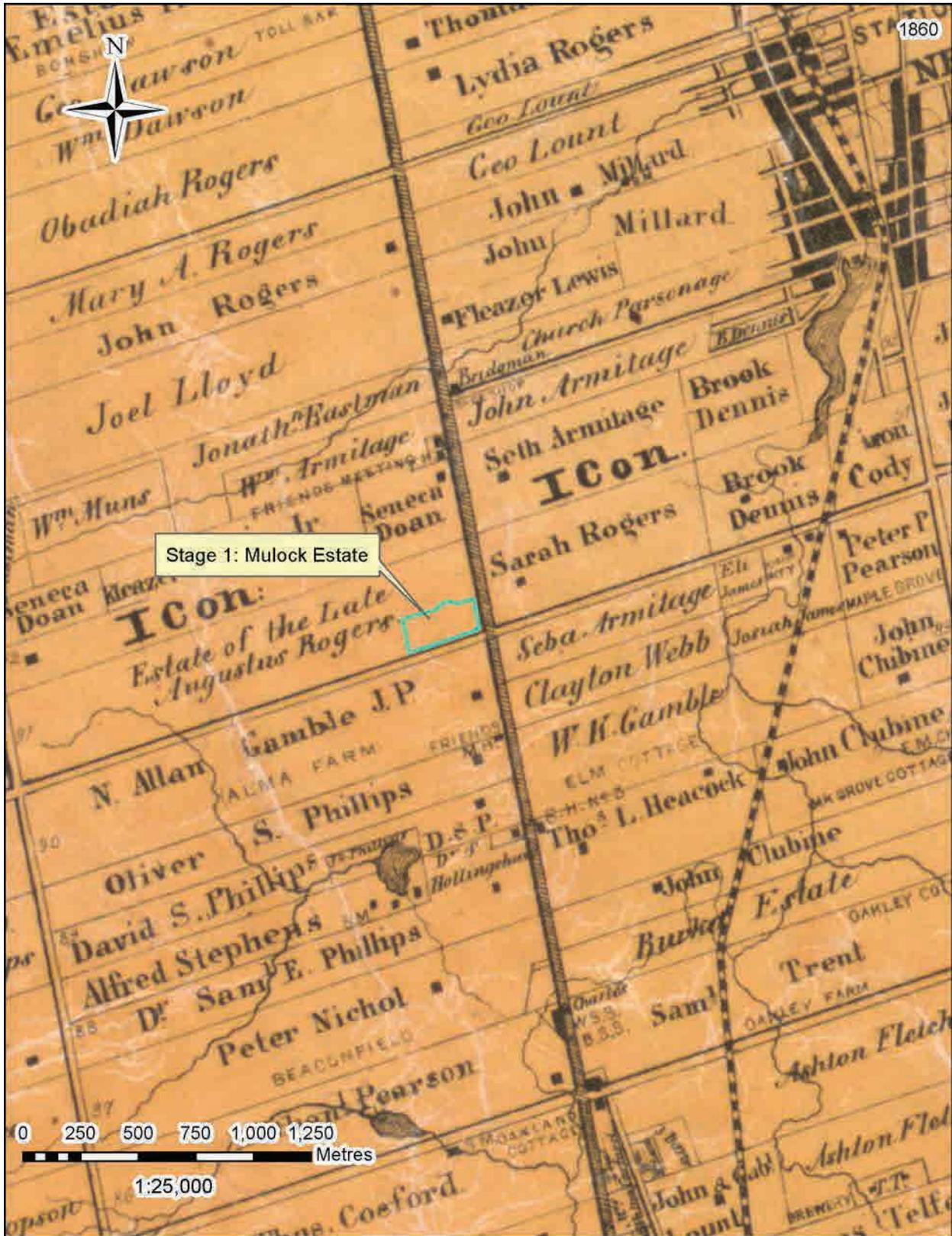


Image 13: Northwest view across the gradual slope with wetland plants on the right near the former stream.

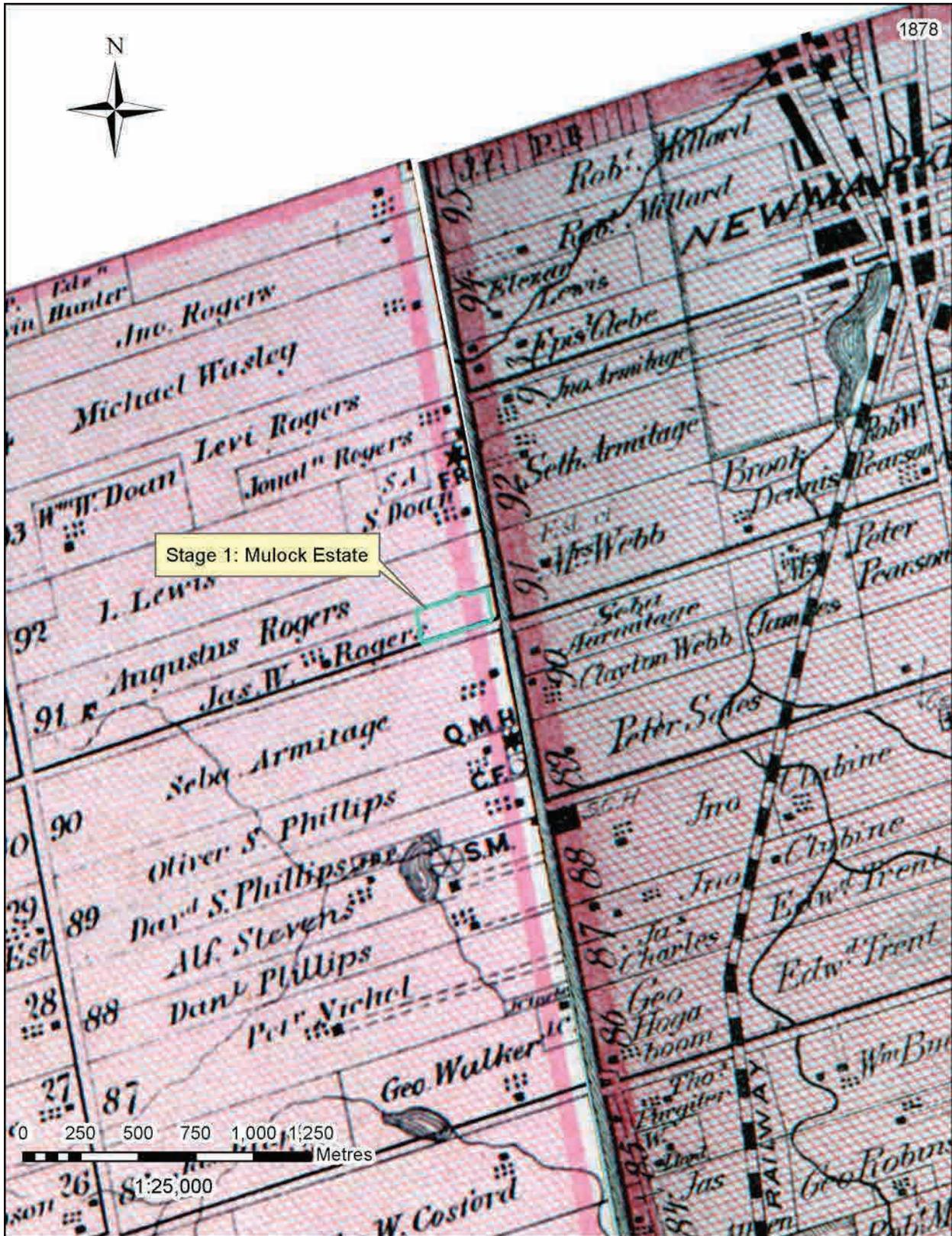
8.0 MAPS



Map 1: Location of the Mulock Estate study area (NRC 2010).



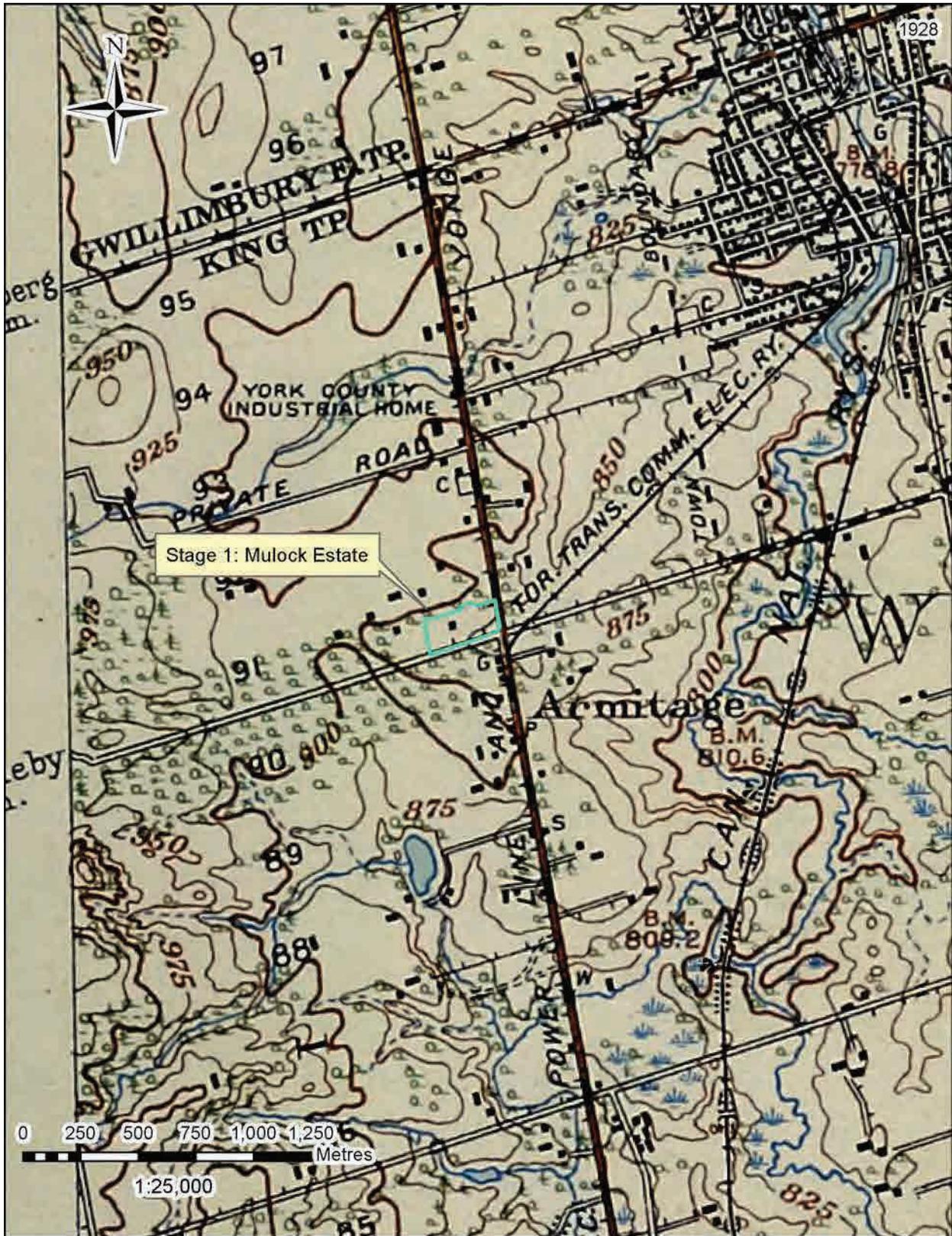
Map 3: Location of the study area on the 1860 map of York County, showing ownership of the Estate of the Late Augustus Rogers (Tremaine 1860).



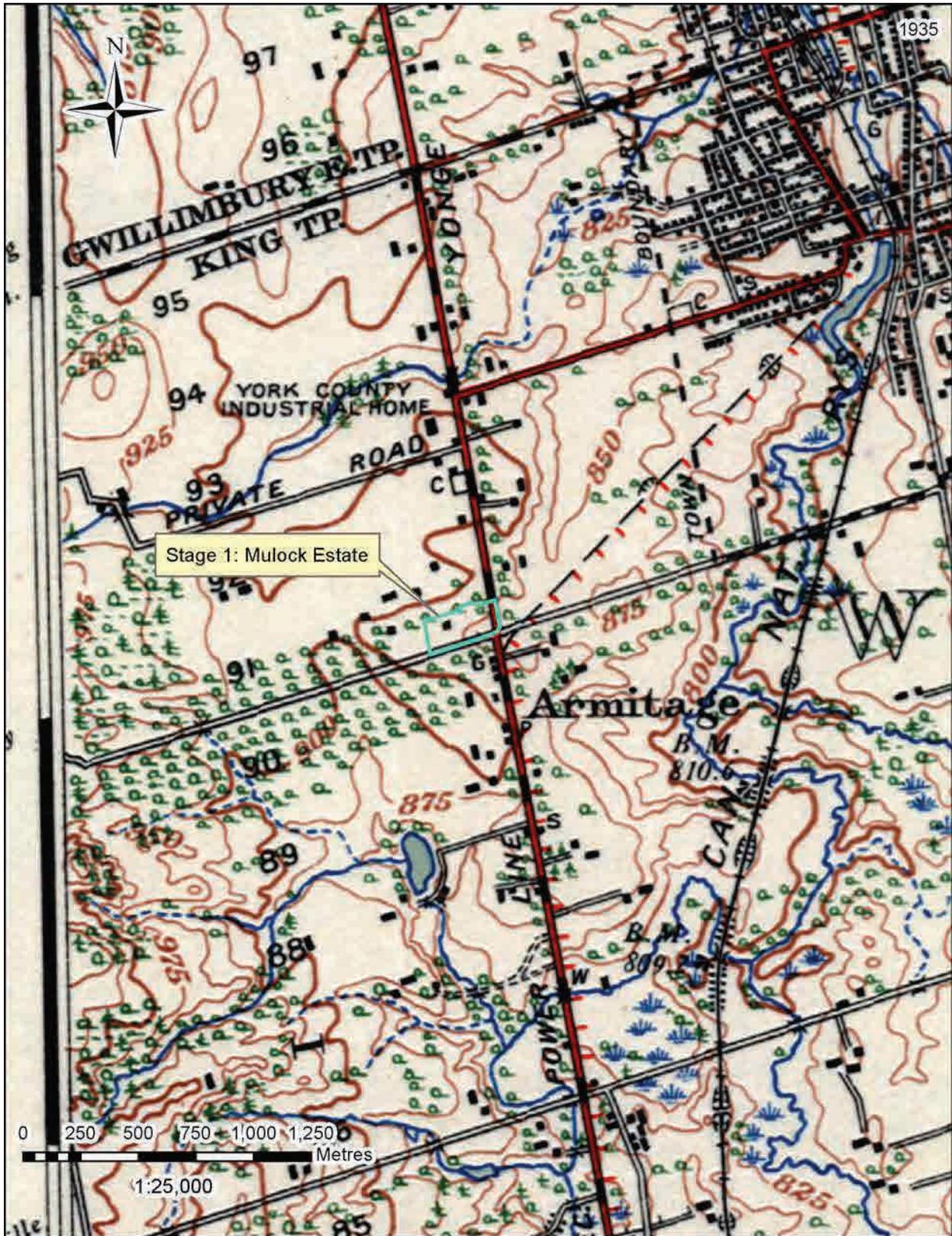
Map 4: 1878 King Township map location of study area showing ownership of James W. Rogers (Miles and Co. 1878).



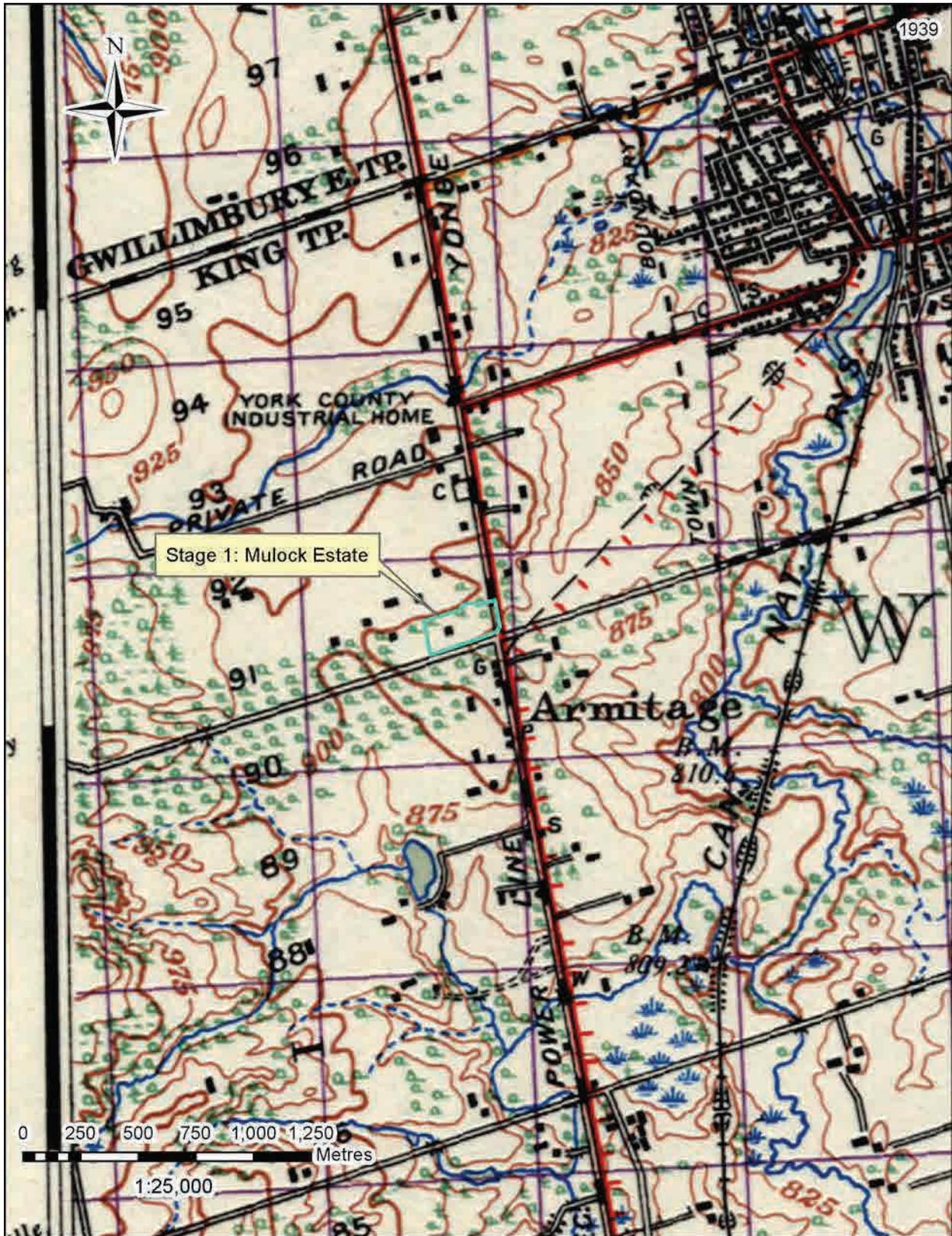
Map 5: 1927 aerial photograph showing a similar landscape within the study to the existing landscape (NAPL 1927).



Map 6: Topographic mapping from 1928 of study area showing existing house (DND 1928).



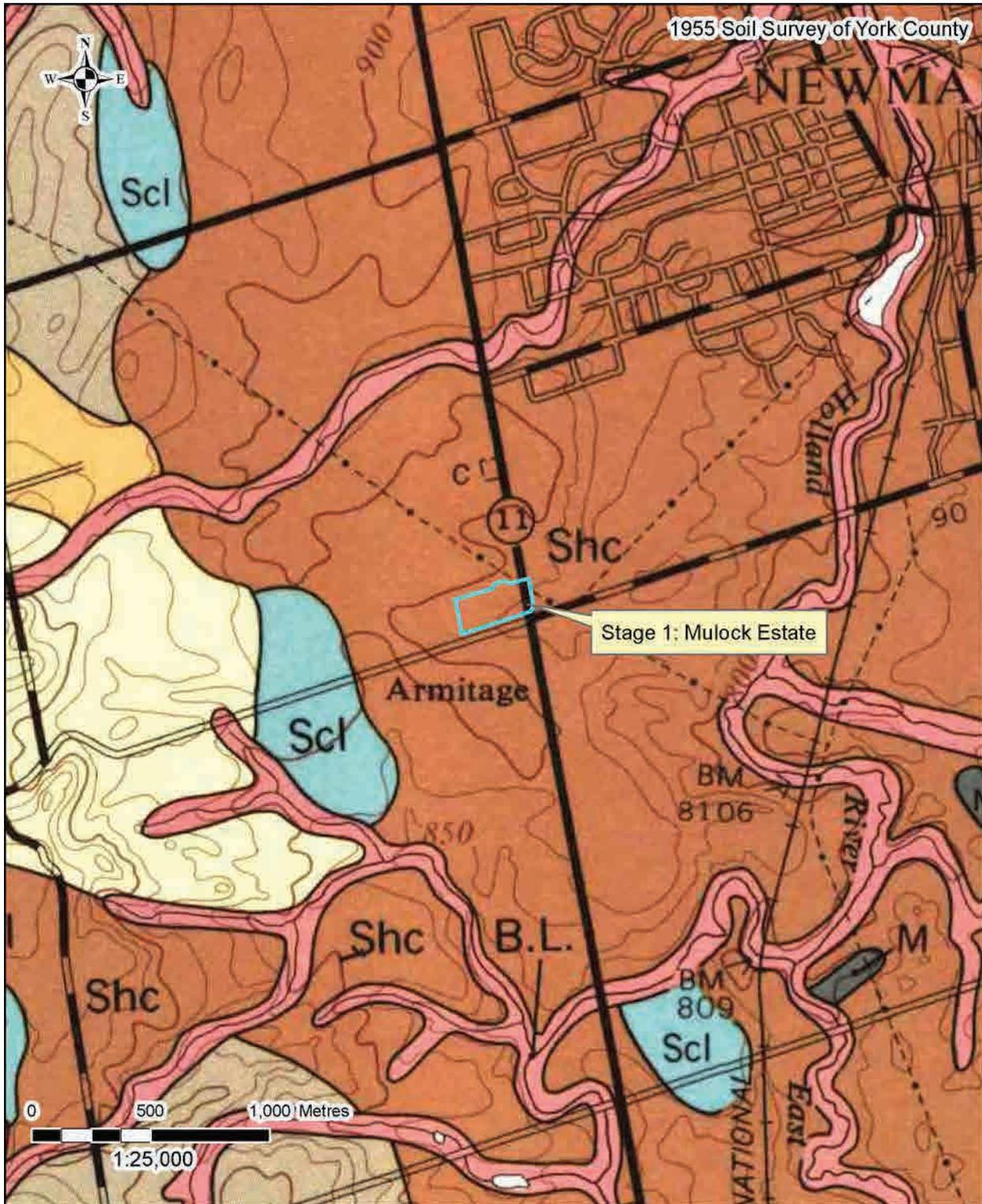
Map 7: Topographic mapping from 1935 of study area showing existing house (DND 1935).



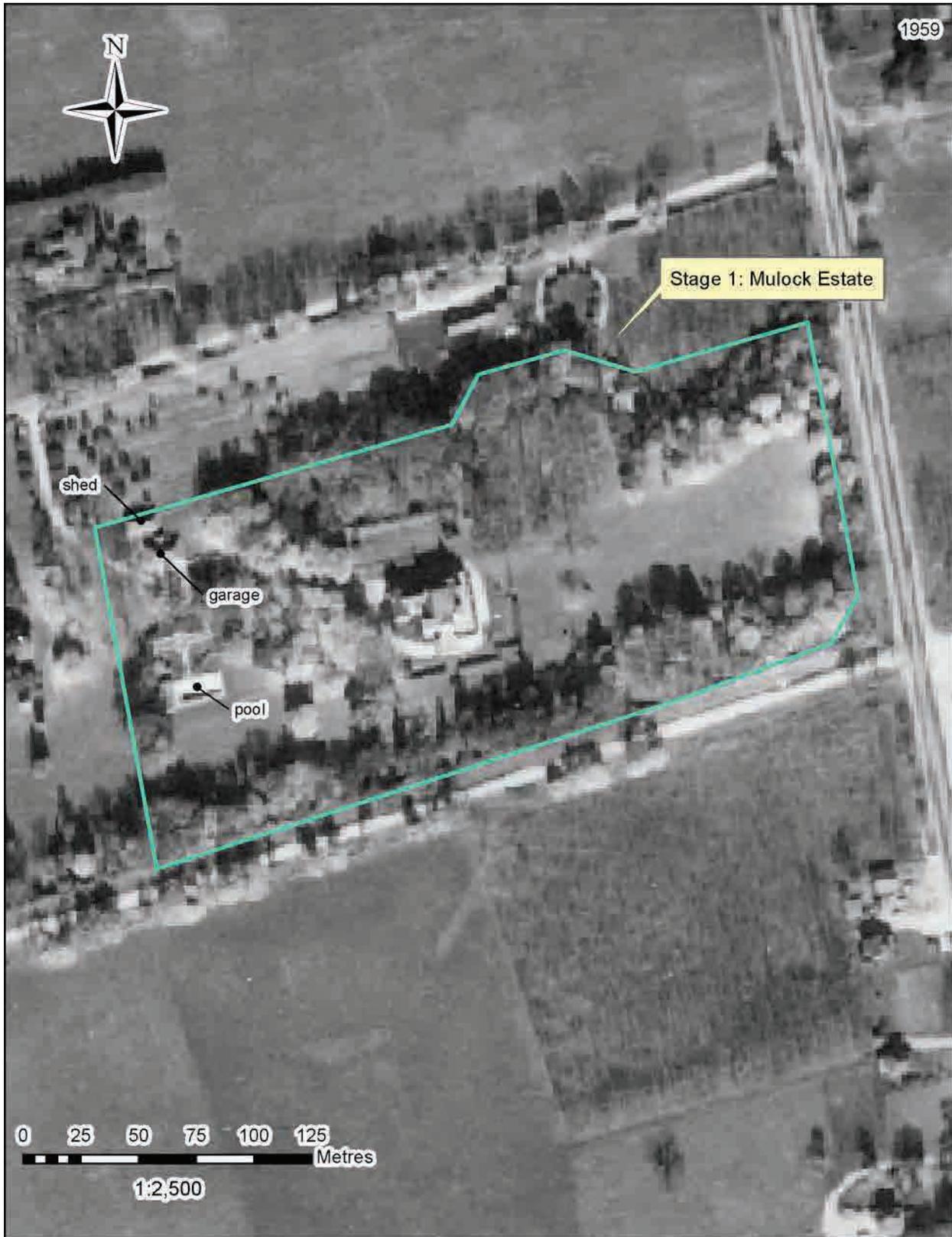
Map 8: Topographic mapping from 1939 of study area showing existing house (DND 1939).



Map 9: 1954 aerial photograph showing study area in relation to adjacent original Rogers family houses (Huntingdon Survey Corporation Limited 1954).



Map 10: 1955 soil map showing Schomberg clay loam (Sch) surrounding study area (Hoffman and Richards 1955).



Map 11: 1959 aerial view of the study area showing a new swimming pool and expanded garage (NAPL 1959).



Map 12: 1970 aerial view of the study area showing a similar view to 1959 (York Region 2019).



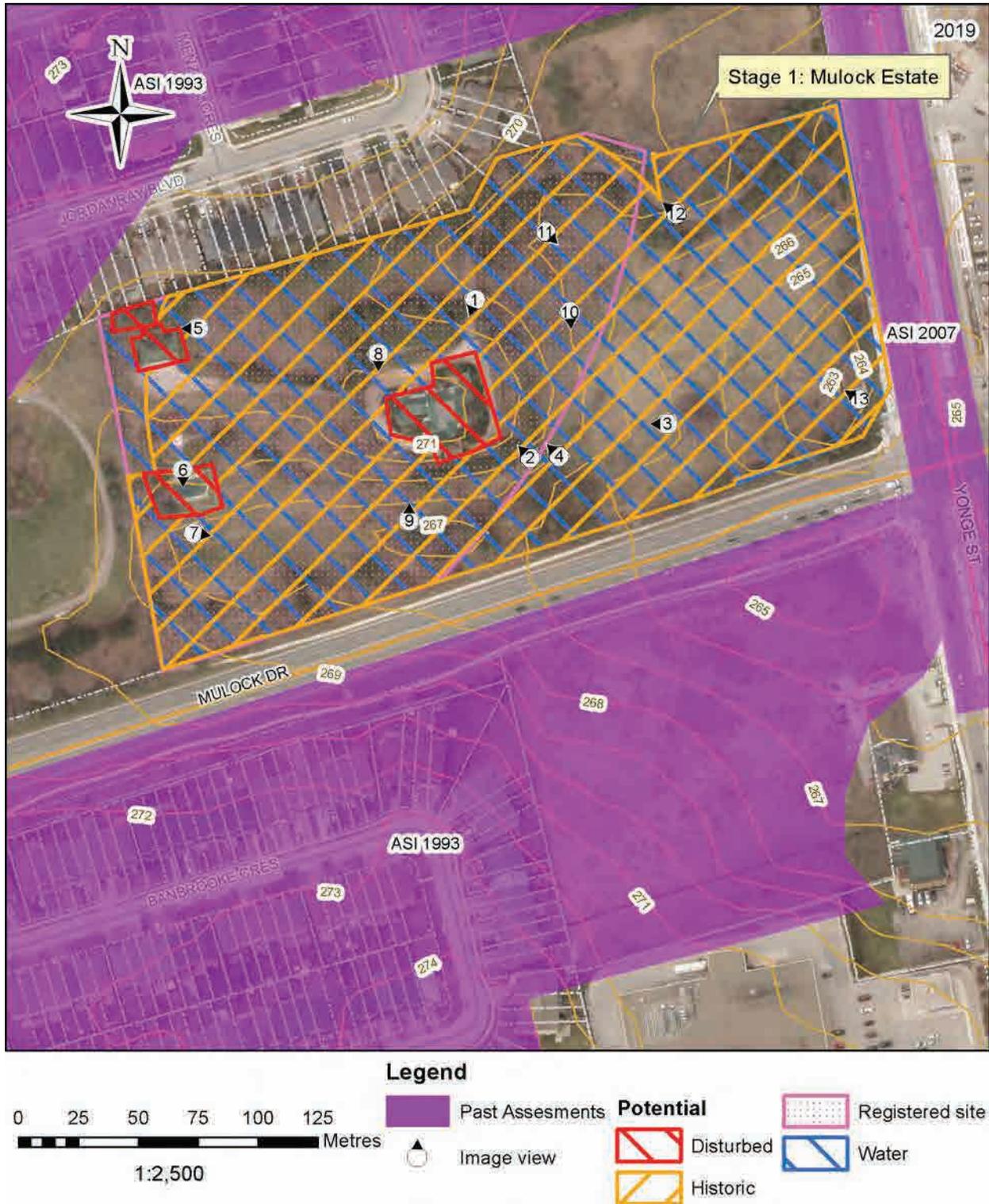
Map 13: 1978 aerial photograph showing a similar landscape to the 1970 view (York Region 2019).



Map 14: 2002 aerial photograph ongoing showing development of Jim Bond Park (west) and Jordanray Boulevard (north) (York Region 2019).



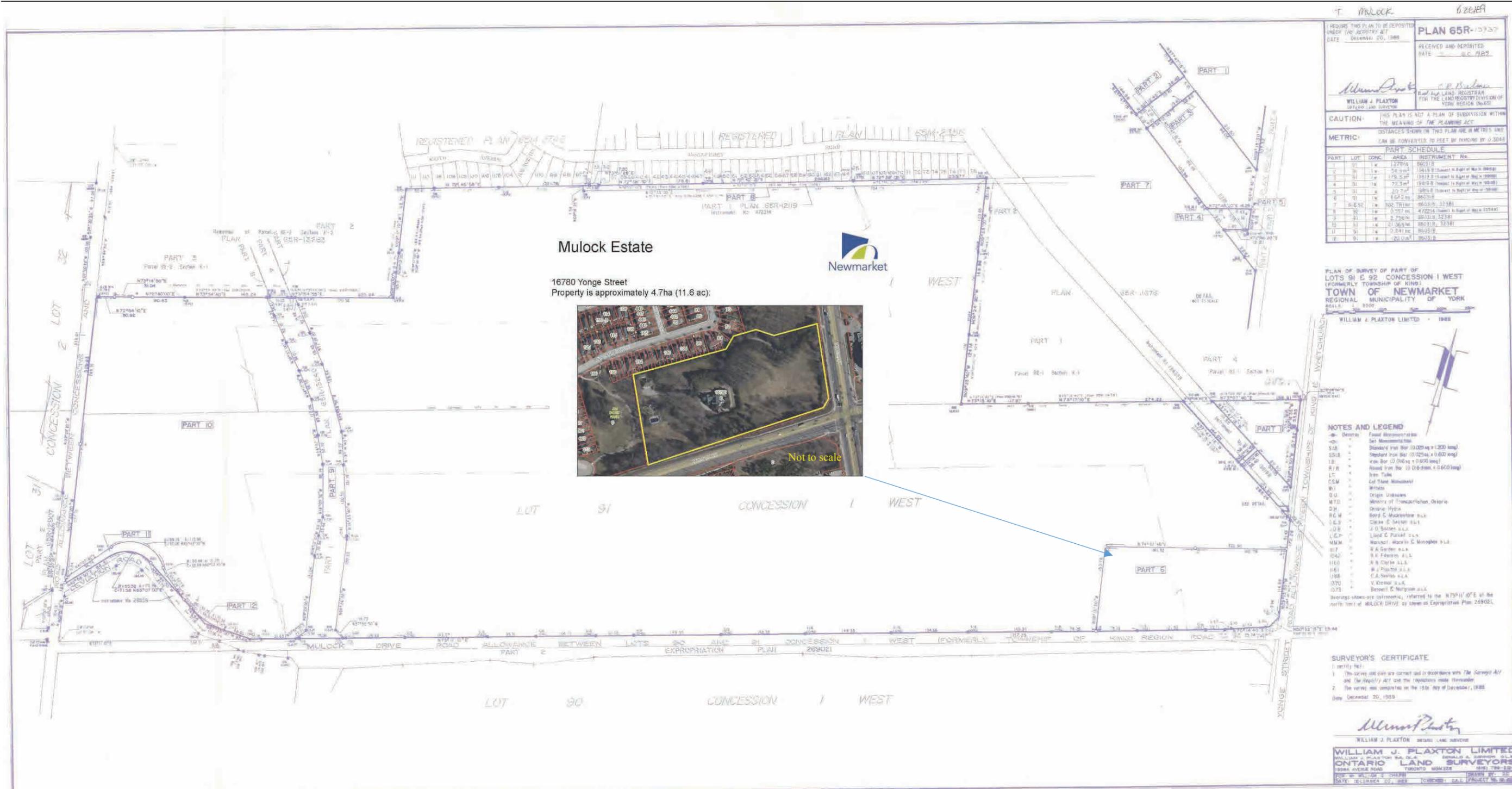
Map 15: Zone of archaeological potential from York Region Archaeological Master Plan mapping (York Region 2013).



Map 16: Current study area showing archaeological potential zones and areas of disturbance with contours and water sources (York Region 2019; MNR 2004).



Map 17: Current study area showing Stage 2 recommendation methods (York Region 2019; MNR 2004).



Map 18: Survey plan for Registered Plan 65R-13937, Part 6 with Mulock Estate, 16780 Yonge Street study area in the southeastern corner (at scale provided by client).



APPENDIX J
SITE WALK-THROUGH NOTES
NOV. 26/27, 2019
PLANT ARCHITECT INC.



PLANT ARCHITECT INC.

Newmarket Old Town Hall Walk-Through Notes

November 26, 2019

Present: Lisa Rapoport/PAI, Eric Klaver/PAI, Colin Service/ToN

General

- Didn't want addition to compete with existing building – modern clearly different.
- Reoriented the entrance to the new building, rarely use front entrance, back entrance used as well.
- Exterior spaces – code issues, want to expand the terrace in the future, use for concerts and readings e.g. 10 minute plays 10 to 20 people.
- Facilities – timely and good repairs are an issue.
- Now into 3rd year of use now booked solid/year round in advance.
- Sponsorship – should be value attached, year end report on space use as well as ongoing engagement with sponsors year round. Sponsors are invited to meet renters.
- Now booked solid/year round in advance
- 10am-8pm hours/not formal
- All spaces are sponsored, and labeled.

Uses

- Programming mix: currently 60 rental/40 own programming, ideally 85 rental/15 own – struggling to achieve this.
- Atrium – used as a serverey for private events
- 180 ppl upstairs and 180 ppl downstairs for separate events. Only 180 if an event is held on both floors.
- Main floor/Gallery is a multifunctional space with kitchen available for catering
- Gallery has panel lock system that allows for movable partitions, includes wet bar (currently concealed)
- Entry to the spaces are flexible
- Weddings – not really done/are rare due to logistics and service, functional issue, interested but want to do it right
- Corporate fundraising Gala held 100-150ppl
- Baby showers
- Attractive to renters – new and pretty
- Concerts upstairs – local conservatory uses for recitals
- 180 max tickets for the auditorium.
- Auditorium – great acoustics, chandeliers sponsored (new– period appropriate design) and has wetbar. Windows have – full blackout shades but don't function properly.
- Event space – could be programmed for double (enough demand) for up to 410 seats
- Auditorium 170 with alcohol/190 without. 220 seat can fill comfortably, 110 with round tables (served food, buffet requires additional tables and is challenging)
- Green Room – sponsored, functions as a serverey sometimes.
- Piano in auditorium \$100K was sponsored

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- 10 minute play festival in July: 24 original plays, 177 submissions from across Canada, professional equity actors, hired for the month and billeted locally, each play performed 4x runs Tuesday to Sunday, 4 “pods” of 6 plays each.
- Basement – not public uses.

Staffing

- Box office is full presence 1 person box office, 1 facilities worker, 1 delivery person
- Part time staff for events + volunteers + Event rental own staff
- Performance arts coordinator oversees/manages
- Finance can provide operations costs

History/Artworks

- Nokiidaa Trail is traced in floor finish
- Gallery: 10 curated shows a year – in-house curator (Logan) also curates other shows
- Mulock painting show – Deborah bought all and donated them to the town.
- 2 contests – Heritage and High School, professionally run and judged.
- Cultural map of public art is not currently up to date – Colin will provide.
- Ted Fullerton sculpture – won commission and town rejected. Held exhibit and installed and kept sculpture outside.
- Historic uses – courtroom, jail in basement (bars on display), farmer’s market
- Mosaic outside of current Council Chambers executed for Canada 150, representative of the “lives” of this building.

To send:

Operated Budget

Set of Plans

Cultural Map

Archives are available. Colin can help get info/documents.

Groundskeeper and Arborist Site Walk-Through Notes

November 27, 2019

Present: Eric Klaver/PAI, Carla Lipkin/PAI, Mark Agnolotto/ToN, Ruurd van de Ven/ToN, Andrea Cafissi, ToN, Andy Sytsma, ToN

Groundskeeper – Andy Sytsma

He has been there for over 25 years.

- Cedars were planted in the 50s – They are over 75 years old.
- Noted that the front lawn is a fescue
- Noted that the last Mrs Mulock loved annuals
 - Scaevolas, had some in pots
 - Loved white impatiens, BLITZ impatiens
 - White geraniums
 - Zinnias
 - Marguerite daisies
 - Cosmos (Deborah loved)
- Loved bulbs, certain perennials
 - Double white tulips
 - White with green tulips
 - Daffodils
 - Snapdragons
 - Hostas
 - Phlox – Medium Height
 - Lemon Balm
 - Crabapples
 - There are 80-100 peonies on site – Very old and very special. Double pinks and double whites.
- Dogs buried to the left of the cedars
- Spruces were planted on site before Deborah, likely some 100+ years old Spruce on site.
- Big gates on Yonge have always been the main entry – No planting.
- Hurricane Hazel likely damaged pool and they then made it smaller.

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- There were 4 cars in the 4-car garage. Mulock had a Packard.
- Foxes and coyotes used to keep squirrels in control.
- There has never been any fertilizer used on site.
- There used to be Viburnum in the shrub area, wild roses and mountain ash have appeared on site.
- Some trees were removed in the 60s

Arborist – Ruurd Van de Ven

- Walnut grove: Roughly 50 walnut trees in the stand:
 - Walnuts will fall where they may fall - Will need to figure out warning system, August - end of September is roughly one month when they fall.
 - These trees will NOT be cut down
 - Conversation with legal regarding reasonable precautions for falling walnuts.
- All the trees will be well taken care of, they've been ignored for decades, they will be rid of the deadwood and will be made as safe as possible.
 - A maintenance plan will be developed for each tree.
 - Planning will be put in place for rejuvenation as well as succession.
- An estimated 75% of trees will be lost over the next 100 years.
 - There are likely 50+ 200 year old trees.
- Anticipation of density and stress - Severe mulch will aid in mitigating this.
 - Compaction: Check how Boston, NYC and Jean Drapeau in Montreal have dealt with this amount of stress around trees.
- Black willow, very dangerous, could fall at any minute.
- Sugar Maples have never been tapped.
- There is one Hickory amongst the Sugar Maple grove, speculation that this was a mistake and the nursery sent an accidental hickory with the sugar maples at the time of planting.
- Sugar maples were treasured. Whole bunch cabled to girder the structure of the tree.
- Identifying significant and cultural trees is more important than simply keeping trees because they're old and big.



APPENDIX K COSTING REPORT A.W. HOOKER

- PARK ELEMENTS (TO BE UPDATED IN PHASE 2)
- HOUSE CLASS D (PENDING)



TOTAL PROJECT BUDGET SUMMARY

TOWN OF NEWMARKET MULOCK ESTATE MASTER PLAN

ORDER OF MAGNITUDE ESTIMATE (Rev.1)

NOVEMBER 18, 2019

			Area (m2)	Unit Rate (\$/m2)	Total	
A	Direct Construction					
A.1	Base Construction Cost					
A.1.1	PARK ENTRANCE (Refer to PAGE A1 for detail)		5,000	\$360.60	\$1,803,000	
A.1.2	OUTDOOR MULTI-USE PAVILION (Refer to PAGE B1 for detail)		2,100	\$3,769.52	\$7,916,000	
A.1.3	TRAIL AND AMENITIES (Refer to PAGE C1 for detail)		6,550	\$443.21	\$2,903,000	
	SUBTOTAL		13,650	\$924.69	\$12,622,000	
B	Mark-ups					
B.1	General Requirements	10.0%			\$1,262,000	\$13,884,000
B.2	Overhead & Profit	4.0%			\$555,000	\$14,439,000
B.3	Design & Pricing Contingency	25.0%			\$3,610,000	\$18,049,000
B.4	Escalation Contingency	0.0%			\$0	\$18,049,000
B.5	Construction Contingency (Post Contract Changes)	0.0%			\$0	\$18,049,000
	SUBTOTAL			\$397.58	\$5,427,000	
	HARD CONSTRUCTION TOTAL			\$1,322.27	\$18,049,000	
C	Project Soft Costs					
C.1	Consultant Fees (Architect, Engineers, Special Consultants, Etc.)	10.5%			\$1,895,000	
C.2	Disbursements and Reimbursable Expenses (on item C.1)	9.7%			\$182,868	
C.3	Project Management Fees	7.4%			\$1,344,000	
C.4	Legal Fees (assumed nominal)				\$10,000	
C.5	Independent Inspection and Testing				\$10,000	
C.6	Municipal Permit				\$7,500	
C.7	Operational Expenses				Excluded	
C.8	Financing and Loan Fees				Excluded	
C.9	FF&E Allowance				Excluded	
C.10	Harmonized Sales Tax (HST)				Excluded	
C.11	Soft Cost / Owner Contingency	25.0%			\$862,000	\$3,449,368
	SUBTOTAL			\$315.82	\$4,311,000	
	TOTAL PROJECT BUDGET			\$1,638.10	\$22,360,000	

Notes:

1. The above costs are Order of Magnitude (rule of thumb) and are meant to provide an idea of the magnitude of potential cost.
2. The actual cost would depend on the final design and details.
3. The accuracy is intended to be +/- 20%. This estimate is meant to reflect the fair market value for the construction of this project; it is not intended to be the prediction of the lowest bid and should be representative of the median bid amount received in a competitive bidding scenario.
4. A Design & Pricing Contingency of 25% has been included in the estimate. This contingency is meant to cover design and pricing unknowns in the preparation of an estimate to reflect the incomplete nature of the design information provided at the time the estimate is prepared.
5. An Escalation Contingency has been excluded from the estimate. This is meant to provide for increases in construction costs due to changes in market conditions between the time of the estimate and the potential construction commencement date.
6. A Post Construction Contingency has been excluded from the estimate. This contingency is meant to cover the potential cost of post contract changes that may occur after the project is tendered.
7. Annual Operation Budget is excluded.
8. The estimate includes project related soft costs, such as Consultant Fees, Legal Fees, Municipal Permit, etc. These costs include items traditionally funded by the owner and separate from the hard construction costs which would be applicable to the contract.
9. A.W. Hooker Associates Ltd. (HOOKER) cannot control over the cost of labour and materials, the general contractors or any subcontractors' methods of determining prices, or competitive bidding and market conditions. This opinion of probable cost of construction is based on the experience, qualifications, and best judgement of the professional consultant familiar with the construction industry. HOOKER cannot and does not warrant that proposals or actual construction costs will not vary from this or subsequent estimates.

PARK ENTRANCE	5,000 m2	\$360.60	\$1,803,000
	53,820 SF	\$33.50	
Direct Construction			
A Site Preparation and Removals			
A.1 - mobilization and demobilization	1 LS	\$25,000.00	\$25,000.00
A.2 - construction hoarding to the corner of Yonge Street and Mulock Drive	200 m	\$80.00	\$16,000.00
A.3 - modu-loc temporary construction fence	200 m	\$30.00	\$6,000.00
A.4 - tree protection fence	1 LS	\$15,000.00	\$15,000.00
A.5 - tree removal (clear, grub stump and roots)	1 LS	\$7,500.00	\$7,500.00
A.6 - demolition of existing concrete sidewalk (assumed 3000mm width from ROW concrete curb)	450 m2	\$20.00	\$9,000.00
A.7 - strip existing topsoil (assumed 150mm depth)	683 m3	\$35.00	\$23,887.50
A.8 - dispose stripped existing topsoil off site	683 m3	\$40.00	\$27,300.00
B Site Services			
B.1 - site servicing (watermain, sanitary, storm, natural gas)			Excluded, assumed not required
B.2 - irrigation			Excluded, assumed not required
B.3 - lighting			Excluded, assumed not required
B.4 - smart city technology (public access wifi, sensor technology, electric vehicle charging stations)			Excluded, assumed not required
C New Hard Surfaces			
C.1 - rough grading	2,500 m2	\$5.00	\$12,500.00
C.2 - fine grading	2,500 m2	\$2.50	\$6,250.00
C.3 - concrete paving (assumed 50% of area)	2,500 m2	\$100.00	\$250,000.00
C.4 - signature grand staircase 2-3m in grade change (assumed 4000mm width) + railings	75 m	\$1,000.00	\$75,000.00
D Planting			
D.1 - pollinator garden planting (assumed 50% of area)	2,500 m2	\$40.00	\$100,000.00
E Site Furnishings			
E.1 - recycled plastic bench			Excluded, assumed not required
E.2 - trash receptacles			Excluded, assumed not required
E.3 - bike racks			Excluded, assumed not required
E.4 - armour stone			Excluded, assumed not required
F Miscellaneous / Provisional Items			
F.1 - signature public art (placeholder allowance)	1 LS	\$500,000.00	\$500,000.00
F.2 - signature water feature, recirculating system (assumed similar to Millenium Park Fountain located at 131 King St, Peterborough, ON K9J 0A5)	1 LS	\$725,000.00	\$725,000.00
F.3 - signage allowance	1 LS	\$5,000.00	\$5,000.00
SUBTOTAL (Direct Construction Cost), nearest \$1,000	5,000 m2	\$360.60	\$1,803,000
	53,820 SF	\$33.50	

OUTDOOR MULTI-USE PAVILION	2,100 m2	\$3,769.52	\$7,916,000
	22,604 SF	\$350.20	
Direct Construction			
A Site Preparation and Removals			
A.1 - mobilization and demobilization	1 LS	\$25,000.00	\$25,000.00
A.3 - modu-loc temporary construction fence	1 LS	\$15,000.00	\$15,000.00
A.4 - tree protection fence	1 LS	\$15,000.00	\$15,000.00
A.5 - tree removal (clear, grub stump and roots)	1 LS	\$7,500.00	\$7,500.00
B Site Services			
B.1 - site servicing (watermain, sanitary, storm, natural gas)			Excluded, assumed not required
B.2 - irrigation			Excluded, assumed not required
B.3 - lighting			Excluded, assumed not required
B.4 - smart city technology (public access wifi, sensor technology, electric vehicle charging stations)			Excluded, assumed not required
C New Hard Surfaces			
C.1 - rough grading	1,800 m2	\$5.00	\$9,000.00
C.2 - fine grading	1,800 m2	\$2.50	\$4,500.00
C.3 - concrete paving for full sized ice rink	1,800 m2	\$300.00	\$540,000.00
D Planting			
D.1 - pollinator garden planting			NIL
E Site Furnishings			
E.1 - recycled plastic bench			Excluded, assumed not required
E.2 - trash receptacles			Excluded, assumed not required
E.3 - bike racks			Excluded, assumed not required
E.4 - armour stone			Excluded, assumed not required
F Miscellaneous / Provisional Items			
F.1 - removable dasher boards and glass	1 LS	\$450,000.00	\$450,000.00
F.2 - refrigeration system	1 LS	\$270,000.00	\$270,000.00
F.3 - signage allowance	1 LS	\$5,000.00	\$5,000.00
G Structures			
G.1 - Field house including space for washrooms, changerooms, M&E space and zamboni room	300 m2	\$5,750.00	\$1,725,000.00
G.2 - Pavilion (assumed similar to The City of St. Louis Park Recreation Outdoor Centre)	1,800 m2	\$2,694.50	\$4,850,100.00
SUBTOTAL (Direct Construction Cost), nearest \$1,000	2,100 m2	\$3,769.52	\$7,916,000
	22,604 SF	\$350.20	

TRAIL AND AMENITIES		6,550 m2	\$443.21	\$2,903,000
		70,504 SF	\$41.18	
Direct Construction				
A Site Preparation and Removals				
A.1 - mobilization and demobilization	1 LS		\$25,000.00	\$25,000.00
A.3 - modu-loc temporary construction fence	1 LS		\$15,000.00	\$15,000.00
A.4 - tree protection fence	1 LS		\$15,000.00	\$15,000.00
A.5 - tree removal (clear, grub stump and roots)	1 LS		\$7,500.00	\$7,500.00
B Site Services				
B.1 - site servicing (watermain, sanitary, storm, natural gas)			Excluded, assumed not required	
B.2 - irrigation			Excluded, assumed not required	
B.3 - lighting, 48W LED pole mounted fixture with pole, concrete base and associated underground wiring (assumed 16m O.C. along 1000m long trail)	63 NO		\$6,000.00	\$378,000.00
B.4 - smart city technology (public access wifi, sensor technology, electric vehicle charging stations)			Excluded, assumed not required	
C New Hard Surfaces				
C.1 - rough grading	4,500 m2		\$5.00	\$22,500.00
C.2 - fine grading	4,500 m2		\$2.50	\$11,250.00
C.3 - concrete paving for 500m long x 4.5m wide skating trail	2,250 m2		\$300.00	\$675,000.00
C.4 - limestone screening for 500m long x 4.5m wide walking trail	2,250 m2		\$75.00	\$168,750.00
D Planting				
D.1 - pollinator garden planting for 1000m long x 1m wide per side of trail	2,000 m2		\$40.00	\$80,000.00
E Site Furnishings				
E.1 - recycled plastic bench			Excluded, assumed not required	
E.2 - trash receptacles			Excluded, assumed not required	
E.3 - bike racks			Excluded, assumed not required	
E.4 - armour stone			Excluded, assumed not required	
F Miscellaneous / Provisional Items				
F.1 - refrigeration system for skating trail	1 LS		\$1,125,000.00	\$1,125,000.00
F.2 - signage allowance	1 LS		\$5,000.00	\$5,000.00
G Structures				
G.1 - Washroom (self-cleaning) facility including M&E space	50 m2		\$7,500.00	\$375,000.00
SUBTOTAL (Direct Construction Cost), nearest \$1,000		6,550 m2	\$443.21	\$2,903,000
		70,504 SF	\$41.18	

**HOUSE CLASS D COSTING
PENDING FOR MAY 19TH, 2020**

**HOUSE CLASS D COSTING
PENDING FOR MAY 19TH, 2020**



APPENDIX L HISTORICAL CHRONOLOGY

- MULOCK PROPERTY/GBCA ARCHITECTS
- MULOCK FAMILY/ERIC BECK RUBIN



Mulock Property, Newmarket

Historical Chronology

1881 – purchase by William Mulock of south half of Lot 91 (Instrument #3715) – 105 acres for \$6000.00

1883 – “improvements” (October 5 Newmarket Era article)

Wm. Mulock, Esq., is making great improvements to his residence on Yonge Street. The mound between the house and street is being removed and the declivity at the south side is filled in. A large quantity of stone has been taken out and is being broken up to macadamize the drives and walks. Mr. ?? is making a light iron fence which will be placed around the house.

1884 – Mulock acquires north half (Instrument #4717) – 105 acres for \$9000.00

Mulock was the son of Mary Cawthra and Dr. Thomas Homan Hulock. Mulock’s wealth came from his mother’s side – Mary Cawthra was descended from Toronto’s first millionaire family. The early death of his doctor father, Thomas Homan Mulock, precipitated some financial constraint in his student years, but in later life Mulock made a fortune speculating in real estate and the stock market. Called to the bar in 1868, he received his KC in 1890. His brilliant negotiation and organizational skills are credited with the consolidation of nine separate colleges and professional schools into the University of Toronto, and the development of a telecommunications cable linking Canada, Britain, Australia and New Zealand.

1893 – Mulock employed a farmer, labourer and yardman (1893 Assessment Roll)

1896 – on a visit, William Lyon Mackenzie King commented on the charm of the beautiful farm

1898 – a Department of Agriculture Report called Mulock’s farm a “model farm” – noting his crops (apples, corn and turnips) and his cattle

1902 – article on Mrs. Wm. Mulock notes that she lives in one of the most beautiful houses in Toronto (on Jarvis Street) and that she shares her husband’s love for agriculture but pays frequent visits to his model farm in the County of York.

1913 – William Mulock (Jr) and his wife Ethel Pate appear in Dau’s Blue Book of 1913 (p124) as living at 518 Jarvis Street along with “Master W.P. Mulock”

1916 – The Newmarket Era states that Sir Wm Mulock “gave farmers such an object lesson in buildings and stockraising that it became known as the North York Model Farm.”

1919 – significant improvements were made along Yonge Street from Toronto to Barrie

C1915-1919 – Dunington-Grubb designs an Iris and Pond Garden

1926 – when Sir William Mulock was 82 years old he purchases a 150-acre Markdale, Ontario farm to be used for trout fishing and reforestation of pines. He called the farm “Holland House” and planted thousands of trees. (1944 Obit)

1929 – farm is transferred from Sir William Mulock to his grandson Colonel William Pate Mulock
William Pate Mulock was educated at UCC and UofT and attended Osgoode Hall Law School – he first ran unsuccessfully for the House of Commons in the riding of York North in the 1930 federal election, but was elected in a 1934 by-election and re-elected in 1935 and 1940 – he was Postmaster General from 1940 to 1945 (the Postmaster General of Canada was the Canadian cabinet minister responsible for the Post Office Department) - in 1948 William Pate Mulock inherited some of the estate of Joseph E. Atkinson, founding publisher of the Toronto Star
(in 1920 William Jr lives at 518 Jarvis with Sir William, in 1920 William Jr at 8 Cluny Drive, in 1928 and 1930 William P (of Mulock, Millken, Clark and Redman Barristers) lives at 85 South Drive)

1931 – by this date (according to an article in Canadian Homes and Gardens) the estate was referred to as “The Elms” – the writer of the article called it “one of the most beautiful estates in this section of Canada”

– by the 1930s the estate was akin to an English estate with trees, shrubs and lawns, clipped shrubbery/hedges (including clipped cedars and spruces)

-in addition to the Black Walnuts were elms, butternuts, maples, and evergreens of every sort

-several planting beds are backed by white trellising or a summerhouse

-west of the house was the kitchen garden, beyond which a hedge separated the garden from the Apple orchard – **160** acres (a sight during blossom-time)

(**75** acres of original forest – in this bush was the source of the spring, 94 feet above house-level, which caught in a reservoir and piped down from level to level, supplies the house and all its outbuildings with a perpetual flow of crystal water)

(**67** acres of arable land)

-bordering the orchard to the south was a cross-road lined with Maples, and across this divide is a **50**-acre section of land recently purchased by Sir William to ensure the privacy of his estate – planted with black walnuts

-the reforestation of the province with black walnuts was considered “an important item in Canadian development” – the Ontario Forestry Branch was then supplying seedlings to landowners and tax exemptions were offered – “any part of a farm used for forestry purposes or being “woodland” is exempt from taxes, provided that such exemption shall not be greater than one acre in ten acres of such farm, and not more than 20-acres held under a single ownership”

1932 – description in biography of property by Loudon:

During the past 50 years improvements have been made from time to time, so that, at the present day, a beautiful country home has replaced the original house: and all the modern conveniences of the city are added to the rural pleasures of the farm. The landscape, which in former days was harsh and naked, has been softened gradually by the planting of innumerable walnut trees, of the black variety, indigenous to the southern portion of Ontario. Sir William, from his earliest days, had a keen interest in the culture of trees; and shortly after obtaining possession of the property began to plant an orchard, which now covers 160 acres and is one of the largest in the province. It contains several varieties of apples but preference has been given to the Northern Spy – there are also 75 acres devoted to farming, small fruits and vegetables.”

1932 – description of use by Loudon:

Throughout all the past fifty years his farm on Yonge Street has been a meeting place for Sir William and his children, his grandchildren, his friends and their friends. A few years ago, he gave the property to his grandson, William Pate Mulock, the eldest son of his son William who died in 1928. The new incumbent is carrying on the farm, as usual, although engaged in his practice of the legal profession in the City of Toronto.

1933 – The Nemarket Era newspaper publishes an article on Mulock’s Farm entitled “The Enchanted Garden”

- unique gateway to the curved driveway along which you pass stately trees
- to the left of the house, a grove of walnut trees
- as the driveway sweeps up to the house, you see down a series of terraces set with wonderful flower beds, beyond a cedar hedge, a delightful parterre, divided from Yonge Street by a fringe of evergreens and other trees, and a picturesque rustic fence
- the sweep of trees curving down the circular flower-beds filled with blossoms, with curved seats backed by high trellised fences, one facing another with long sweep of lawn and trees between, and in the distance a spacious rustic summer-house with deep beds of tall perennials surrounding it
- there are cedar hedges everywhere – the one to the north of the house encloses a delightful square filled with beds of flowers
- at the far side, two taller cedars form an archway, making a little curved doorway to the orchard

1935 – William P. Mulock retires from law and began farming at Armitage – since then he has listed his profession as farmer (TS, 26 Aug 1954).

Sir William comes to the farm for the summers, spending most of his time at his Jarvis Street home where he lives with his sister, Mrs. G.W. Monk.

1937 – on his overnight stay at the farm, William Lyon Mackenzie King comments about the orchard and walnut groves.

1939 – Men of the Trees visits Sir William Mulock at the farm.

Men of the Trees (now International Tree Foundation) is an international, non-profit organization involved in the planting, maintenance and protection of trees. Founded in Kenya in 1922 by Richard St. Barbe Baker (an English environmental activist), there are

chapters in over 100 countries (including Canada/Toronto) and they have planted 26 billion trees internationally. While working in Prince Albert Saskatchewan, Baker became convinced that the wanton waste of timber and agricultural practices (including the razing of the natural scrub trees) by European settlers were leading to deplorable soil degradation and potential aridity on Canada's prairies. Sir William Mulock was honorary president of the Canadian branch of the organization.

1944 – Prime Minister William Lyon Mackenzie King speaks when the Men of the Trees presents a black walnut tree to Sir William Mulock on his 100th birthday, January 19, 1944. Planted temporarily at his Jarvis Street home where the celebrations were – to be transplanted to a “North York park.”

1944 – Sir William Mulock dies

1947 – Thomas Homan Mulock (son of Colonel William Pate Mulock) weds – newspaper refers to the Mulock Farms, Armitage

1948 – renovations under W.P. Mulock (as per drawings of millwork by Aurora Building Company)

1949 – the house had recently been remodeled and redecorated by W.P. Mulock, transforming it into a palatial country residence suitable for year-round occupancy

- the “outmoded rococo” woodwork was removed (Painting and Decorating Contractor Magazine, 1949)

- the large carriage porch was erected over the remodeled entrance, giving the building an entirely different and more imposing appearance

- the exterior was painted – “the brick walls, darkened with age, were painted white, as were the columns and woodwork around the verandahs and sun decks (the “brick walls, which had not been painted for 18 years....” suggests that it was previously painted)

- colour accents were provided by green shutters

- the entire interior of the house was also redecorated at this time and a number of alterations were made

- ceilings were lowered, oak floors refinished

- two tall narrow windows on the stairway were enlarged to make one big window

- library was remodeled – walls were paneled and painted white, bookshelves and a red brick fireplace were added

- all of the lighting fixtures carried the Mulock crest, which also appeared over the mantel

- living room has a dividing archway – new fireplaces and bookshelves were built in – large windows open onto the verandah

- dining room lower walls were panelled and doors rebuilt to match

- the kitchen and pantry were entirely modernized and redecorated – blue inlaid linoleum floors

- new basement recreation room – walls covered with studded leather with a bar, built-in upholstered settees and checkered pattern tile floor

- all upstairs bedrooms were redecorated

- four new bathrooms were designed to supplement the existing one – all three of them in space formerly occupied by a bedroom
- the old bedrooms lacked clothes closets so one room was converted into a dressing room with built in cupboards, with the remaining space made into clothes closets for the adjoining bedrooms
- two large rooms at the rear of the house were divided into four for staff use

1949 - a 1949 newspaper classified advertisement shows that a cook and chauffeur couple were being sought for the estate (26 miles north of Toronto on Yonge Street) (Globe 28 October 1949)

1951 - The wood frame and clapboard one-storey plus partial basement pool house was constructed – designed by architects Hanks and Irwin, added during the occupation of William Pate Mulock and family

1954 – William P. Mulock dies “at his farm home near Newmarket” – surviving are his widow and two sons, William Johnston and Thomas Homan who operate the Mulock Farm

1958 – description by Herbert A. Bruce – when he was over 80, Mulock invited Bruce to spend a weekend with him at Holland House, near Markdale, where he had a fishing preserve

1961 – Ethel Pate Mulock (mother of William Pate Mulock) dies (while living at the Park Plaza Hotel, where she had lived for 30 years).

1968 – Toronto Star photo – the Mulock home is one of 6 houses in King Township which will be open Thursday afternoon on a tour of country homes sponsored by the Ontario Humane Society. Occupied by Sir William Mulock’s great granddaughter.

1968 – Kathleen E. (Johnston) Mulock, wife of the late William P. Mulock dies at Newmarket

1970 – land transferred from William P. Mulock to Thomas Homan Mulock (16 years after William Pate’s death and 2 years after their mother’s death)

1993 – Plan of Subdivision for the “Mulock Country Estates” (north of Mulock Road 19T-90010) for 774 single family homes, 330 townhouses, 408 “Mansion Townhouses” and 427 apartment units and (south of Mulock Road 19T-90031) for 197 single family houses, plus industrial and commercial – Plan 65R-13937 severs current property from former Lot 91

1995 – prior to 1995, the barn was demolished/destroyed - by 1999 the current property boundaries were all that remained of the original Mulock farm

William Mulock, 1844-1944

U of T and related

As student:

1859: after 'backwoods education', Entered University College, U of T;
1859: with U of T's endowment under threat, Mulock defended the role of the university (as distinct from the practical college) and helped guarantee its continued funding; 1862: organised student meeting that led to University College volunteers, who would later become part of Queen's Own Rifles Army reserve regiment; 1863: Graduated with Gold Medal in Modern languages, enrolled in law school

As Administrator:

1873-1944: University Senator; 1876, '78: founds, with others first science and engineering departments; 1881-90: Vice-chancellor, brings other professional schools (agriculture, dentistry, medical college for women, pharmacy, music, veterinary science, etc) and previously independent colleges under direction of university, successfully advocated for public support of medical education; did not accept a salary in this role; 1924-44: Chancellor

Lawyer and Law Society

1863: Enrolled in law school (Osgoode?), articling in Newmarket and Toronto; 1868: called to the bar; 1873: Lecturer, Examiner, Vice-Chancellor of Upper Canada Law Society's law school; 1923-36: Chief Justice of Supreme Court of Ontario

Sportsman

1861: Captained first recorded football game in Canada, as student at U of T.

Founder or Co-founder

Among others: Wellesley Hospital; Dominion Bank; Frederick Banting Institute, supporting young scientists; while not an official founder of U of T, influenced its current form, the breadth of its departments and inclusion of its professional schools, some of whose enrollees he insured would be underwritten by the public

Communications

1903: negotiated agreement to establish publicly owned telecommunications lines between Canada, Australia and New Zealand

Politics

1882-1905: Liberal MP for North York; 1896-1905: Postmaster General, introduced first postage stamp; 1900-05: (first) Minister of Labour, abolishing government contracts with sweatshops, implementing minimum wage; brought William Lyon Mackenzie King, an economist, into politics (WLMK was Mulock's first Deputy Minister of Labour); 1905: part of negotiations that established Alberta and Saskatchewan, expanding Canadian confederation

Friends

Hosted at farm, among others: Guglielmo Marconi, Frederick Banting and Charles Best; Prince of Wales (Edward VIII)

Recent History of the Land in Newmarket

Land was part of 210 acre grant by government of Upper Canada to an American Quaker displaced by American Revolution, Rufus Rogers; descendant Augustus Rogers built the eponymous house on the site; Mulock bought the residence and surrounding farm in 1880s from Augustus Rogers, and it was expanded to almost 400 acres

Mulock was regarded as an experimental farmer for practices in cross-breeding and testing different crop varieties; the grove of black walnuts was imported from overseas

Joseph Cawthra, 1759-1842

Founder of family dynasty, based on a 200 acre land grant from government, in Mississauga, which he supplemented with a purchase of additional 200 acres; opened Toronto's first apothecary; became principal grocery importer for Upper Canada; profited (profiteered, according to many) from the latter especially during War of 1812; regarded as a non-conformist for working outside, and occasionally speaking against, the ruling Family Compact of Upper Canada; son William multiplied the family's wealth through financial management and established a contagious diseases hospital with William Gooderham and James Worts, and a home for girls; principal supporter of the Cathedral Church of St James (Church and King), the oldest congregation in the city; considered Toronto's richest man through the 19th century; underwrote the Jarvis' family's completion of Jarvis Street

Cawthra Mulock, 1882-1918

Son to William and his wife, Sarah Ellen Cawthra Crowther; heir (to exclusion of siblings) to a large portion of Cawthra estate; referred to as 'Boy Millionaire'; active in philanthropy, theatre (including construction of Princess Alexandra Theatre), politics; dies of Spanish Flu

Colonel William Pate Mulock, 1897-1954

Grandson; MP for North York; youngest minister in Mackenzie King's cabinet; as postmaster general, developed Canada's modern mail system

Alfred Mulock Rogers, 1926-68

Great-grandson; actor in television series and spaghetti westerns, and for the latter moved to Andalusia to work with Sergio Leone, who regarded him as unstable and violent; jumped off a building after a day of shooting, allegedly in costume.

William Lyon MacKenzie King, 1874-1950

Liberal Prime Minister of Canada from 1921-30 and 1935-48; longest serving in Canadian history; consulted, via medium, spirits of Wilfrid Laurier, Leonardo da Vinci, his (WLMK's) deceased dog; during WWII he refused entry to Jewish refugees from Europe and interned Japanese-Canadians (categorised as 'enemy aliens'); managed Canada's expanding wartime economy and oversaw increase in welfare state, including establishing unemployment insurance and family allowances



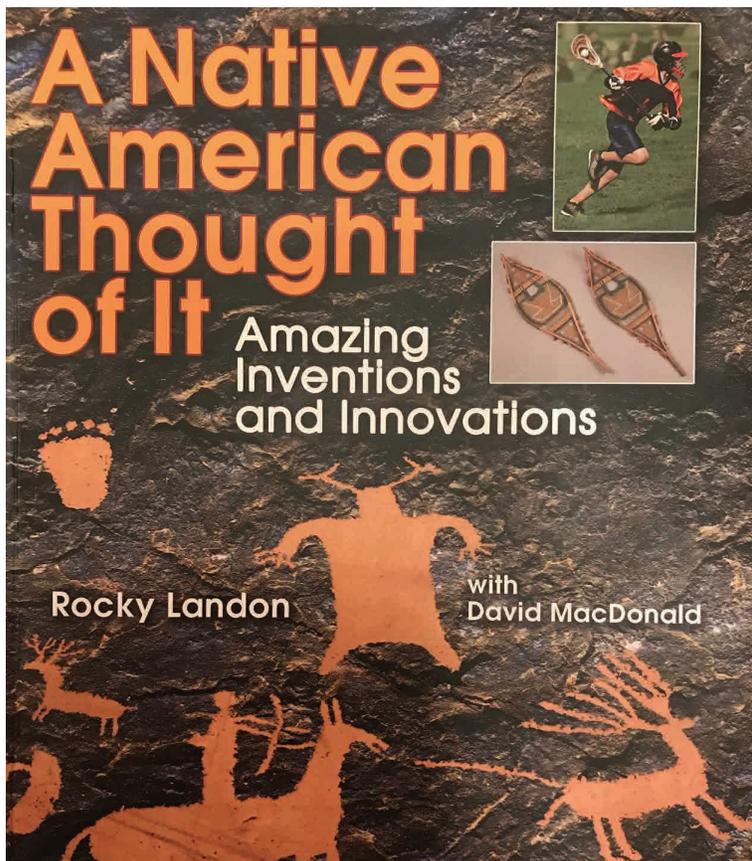
APPENDIX M
INDIGENOUS HISTORY SLIDE DECK
TRINA MOYAN BELL



TRUTH & RECONCILIATION



Who are you? Where are you from?



Can you think
of any?

So who was here?



1500-1550 – Wendat (Huron)

1660s- Seneca
(Haudenosaunee)

1660s- 1700s – Anishnabek

LARGEST WENDAT VILLAGE 20 MINUTES FROM NEW MARKET



- AD 1500 to 1530

- 98 longhouses

- multi-row perimeter palisades

- central "plaza" area

- middens and upward of 200,000
cultural artifacts

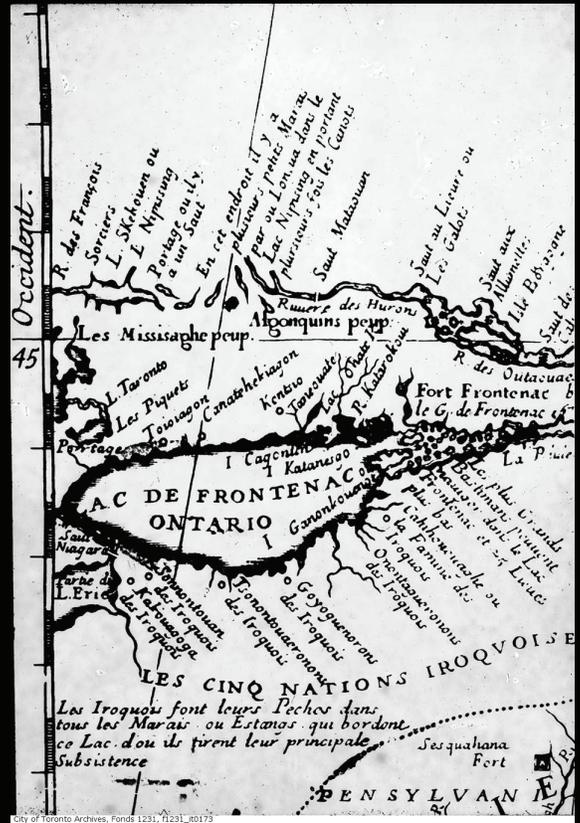
- corn fields 1 Km in each direction

- Hunting and harvesting would have
included the land New Market sits on

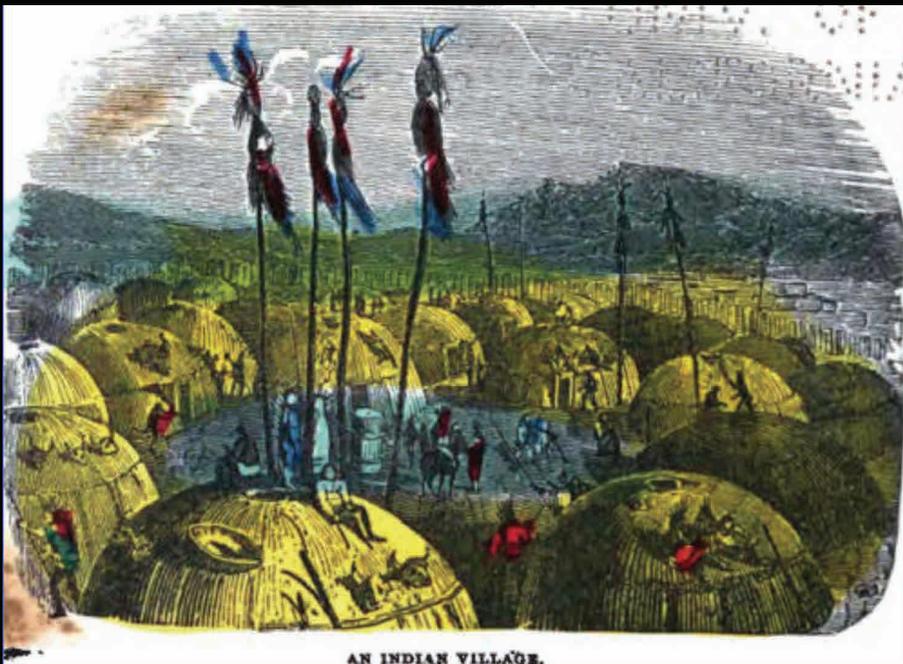
Seneca

MAP OF LAKE ONTARIO, CA. 1680.

THE VILLAGES OF TEIAIAGON AND GANESTIQUIAGON APPEAR IN PLACE OF MODERN DAY TORONTO AT THE HUMBER AND ROUGE RIVERS.



ANISHNABEK VILLAGES



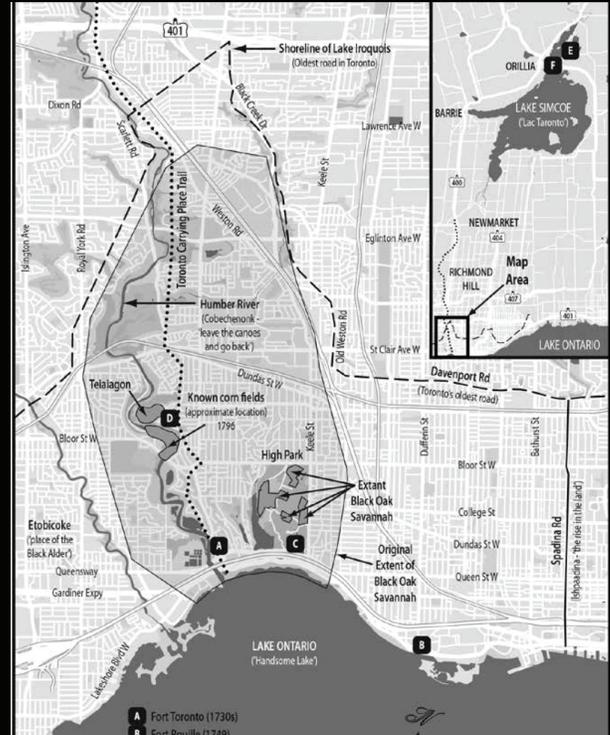
**THREE FIRES
CONFEDERACY:**

- ODAWA
- OJIBWE/CHIPPEWA
- POTAWATOMI

EUROPEANS DEPENDED ON FIRST NATIONS FOR THEIR SURVIVAL – FUR TRADE



Toronto Carrying Place – Where is New Market?



LAKE SIMCOE/LAC TORONTO



The Doctrine of Discovery, The Valladolid Debate, Manifest Destiny

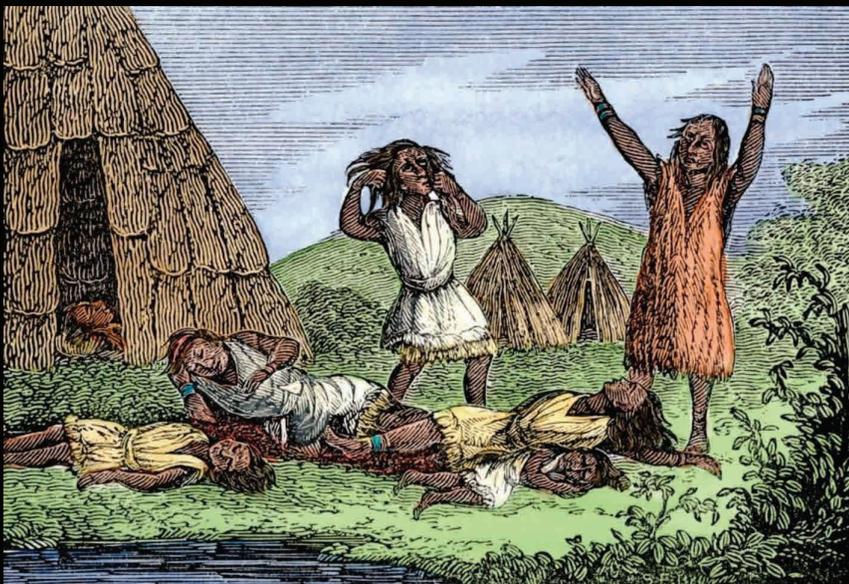


De Las Casas, Bartolomé, *The Devastation of the Indies*, Johns Hopkins University Press, Baltimore & London, 1992.



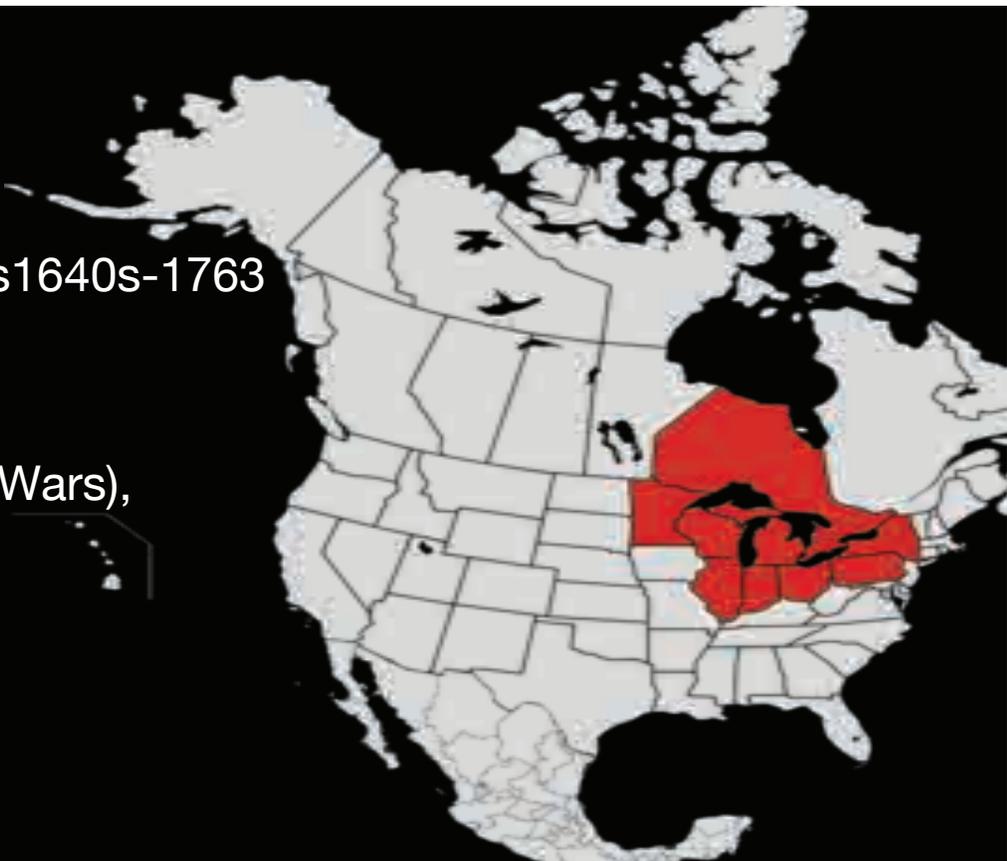
John Gast, *American Progress*, 1872

DISEASE

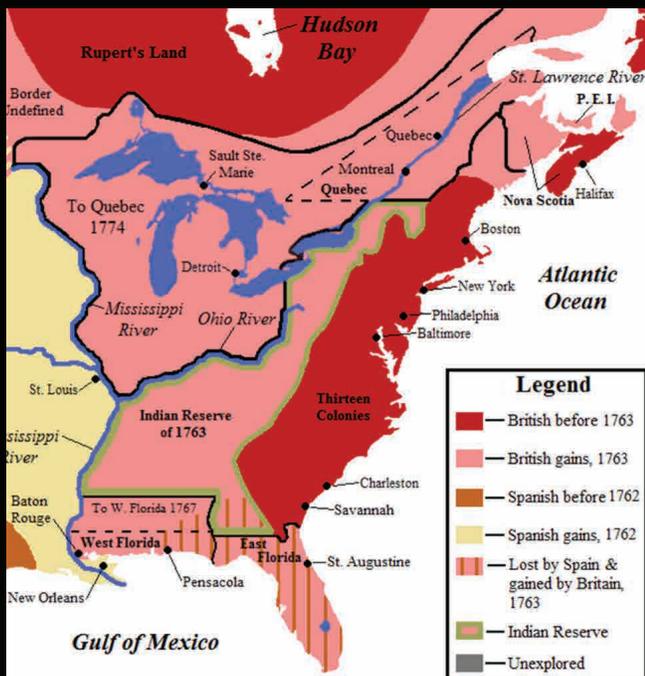


- Millions died. In fact, some people believe that more than half the Indigenous people alive at the time died from these diseases.

- ▶ Monopoly Trade Wars 1640s-1763
- Beaver Wars
- (French and Iroquois Wars),
- resource depletion
- 7 Years War



ROYAL PROCLAMATION 1763



- Set up core elements of the relationship between the Crown and First Nations – fiduciary responsibility

- Laid the foundation for the Treaty making process

- Acknowledged Indigenous title of Indigenous lands

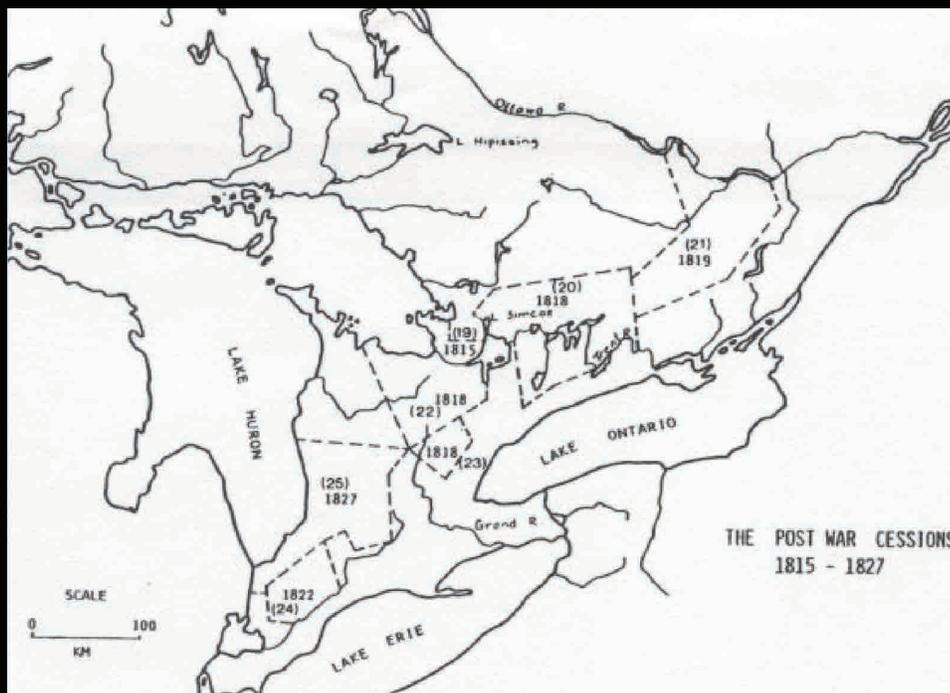
- British claim right to “purchase” Indian land through Treaty

- Métis kept out of ‘Treaty’ processes

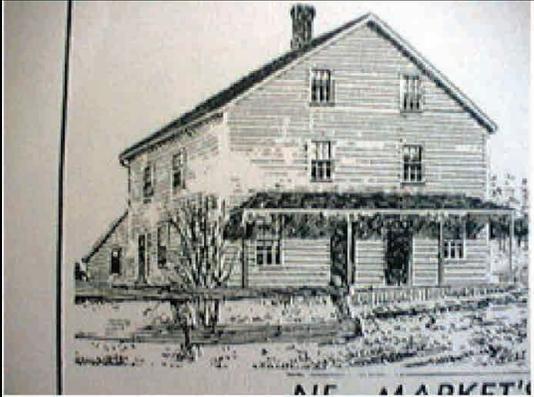
WAR OF 1812 (1812-1814)

- The War of 1812 was a military conflict between the United States and Great Britain. As a colony of Great Britain, Canada was swept up in the War of 1812 and was invaded a number of times by the Americans.
- The war was fought in Upper Canada, Lower Canada, on the Great Lakes and the Atlantic and in areas of the United States
- However, in Canada, the war contributed to a growing sense of National identity, including the idea that civilian soldiers were largely responsible for repelling the American invaders – but in fact it was the First Nations allies that ensured victory.
- In contrast, the First Nations allies suffered much because of the war

POST WAR – FIRST NATIONS PEOPLE PUSHED OUT & FORCED LAND SURRENDERS



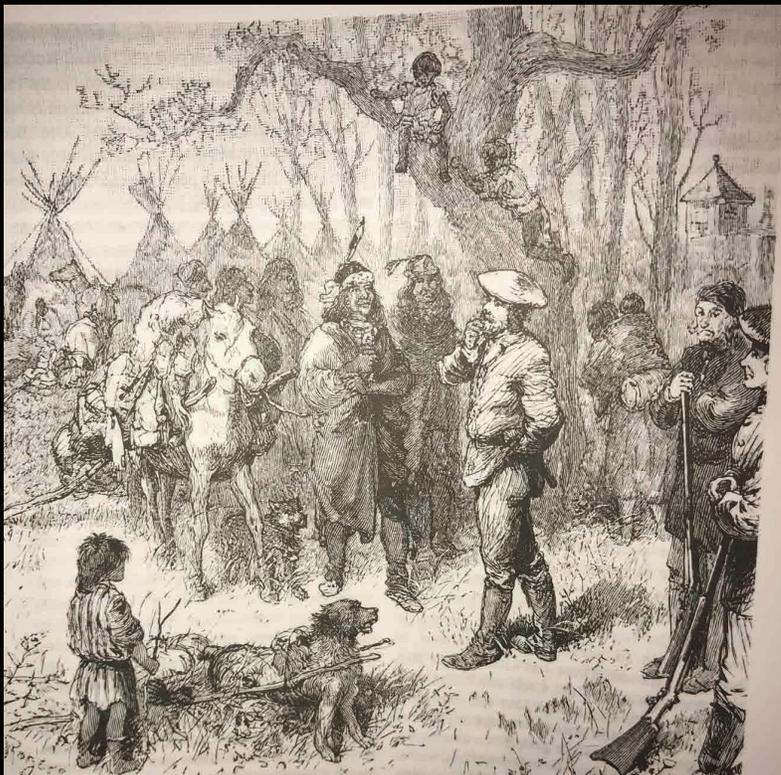
MEANWHILE NEW MARKET IS ESTABLISHED- 1801



*Hill Trading Post,
Main and Water Streets,
1801*

In 1801, Rogers, leading several Quaker families, left their homes in Vermont and Pennsylvania and secured land grants of 8,000 acres located at the east end of lots 93, 94, and 95 along along Yonge Street in the former Townships of Whitchurch and King. It was easy for them to see the potential in these fertile rolling lands, through which flowed the Holland River, an important trading artery for both aboriginals and fur traders.

New Market Trading Tree



CIVILIZING PROJECT BEGINS

Policy on “Aboriginal Tribes in British Possessions” in 1834:

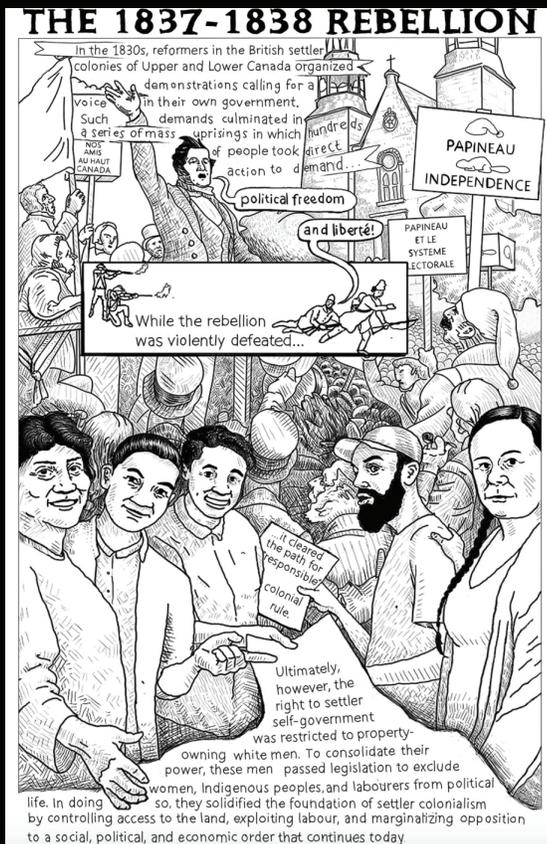
Policy Goal:

- eventually relieving His Majesty's Government from the expense of the Indian department

Objectives:

1. To collect the Indians in considerable numbers, and to settle them in villages, with due portion of land for their cultivation and support.
- 2.d. To make such provision for their religious improvement, education and instruction in husbandry...

(Great Britain. 1968 British Parliamentary Papers of 1834)



January 19, 1843 – October 1, 1944



William Mulock was a longtime politician who served as Canada's postmaster general and then labour minister.

Legislative History

- 1857 Gradual Civilization Act
- 1860 Indian Lands Act
- 1867 Confederation of Canada (BNA)
- 1869 Gradual Enfranchisement of Indians Act
(Chief and Council system)

INDIAN ACT 1876

1881: Officers of the Indian Department - Indian Agents – given the same legal power of Magistrates

1884: Prohibited 'religious ceremonies and dances'

1884: Prohibited Indigenous people to gather in groups of 3 or more

1885: Pass system policy imposed

1905: Power to remove Indian peoples from reserves near towns with more than 8,000 people

RESIDENTIAL SCHOOLS



Canada's first prime minister, Sir John A. Macdonald, in 1883: "When the school is on the reserve the child lives with its parents, who are savages; he is surrounded by savages. Indian children should be withdrawn as much as possible from the parental influence" (Truth and Reconciliation 2015).

Undated before and after photos of Thomas Moore at the Regina Indian Industrial School



GENOCIDE

- Forced sterilization (eugenics)
- Nutritional experiments (i.e. prolonged starvation, trials on food supplements and medicines, withholding of medicines)
- Psychological experiments (i.e. electroshock, confinement)
- Infectious disease studies

Some children died as runaways and were found frozen to death in snowy fields; others who tried to escape their abusers drowned



PETER BRYCE



- In 1904, Dr. Bryce was hired by the Department of the Interior to manage public health issues in both the Immigration Department and Indian Affairs.
- In 1907, he issued a report critical of the health conditions in the residential school system of western Canada.
- His report also laid blame on the federal government for negligence that led to shocking death rates due to communicable disease, primarily tuberculosis.

BRYCE REPORT

- Statistics showed students were dying at rates between 24 to 69 per cent.
- Although the report was shared widely within the department, it did not gain much publicity.
- Duncan Campbell Scott, then head of Indian Affairs, dismissed Dr. Bryce's recommendations to establish proper hospitals and overhaul the Indian education system, and eventually terminated funding for his research.

RESIDENTIAL SCHOOLS BECOME MANDATORY IN 1920

“I want to get rid of the Indian problem. Our objective is to continue until there is not a single Indian in Canada that has not been absorbed into the body politic and there is no Indian question, and no Indian Department, that is the whole object of this Bill.”

**Duncan Campbell Scott, 1920 in Johnston
1983**

Odds of **dying** for **children** in **Indian residential schools**:

1 in **25**

Odds of **dying** for **Canadians** serving in **WWII**:

1 in **26**

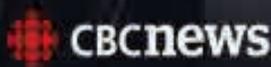
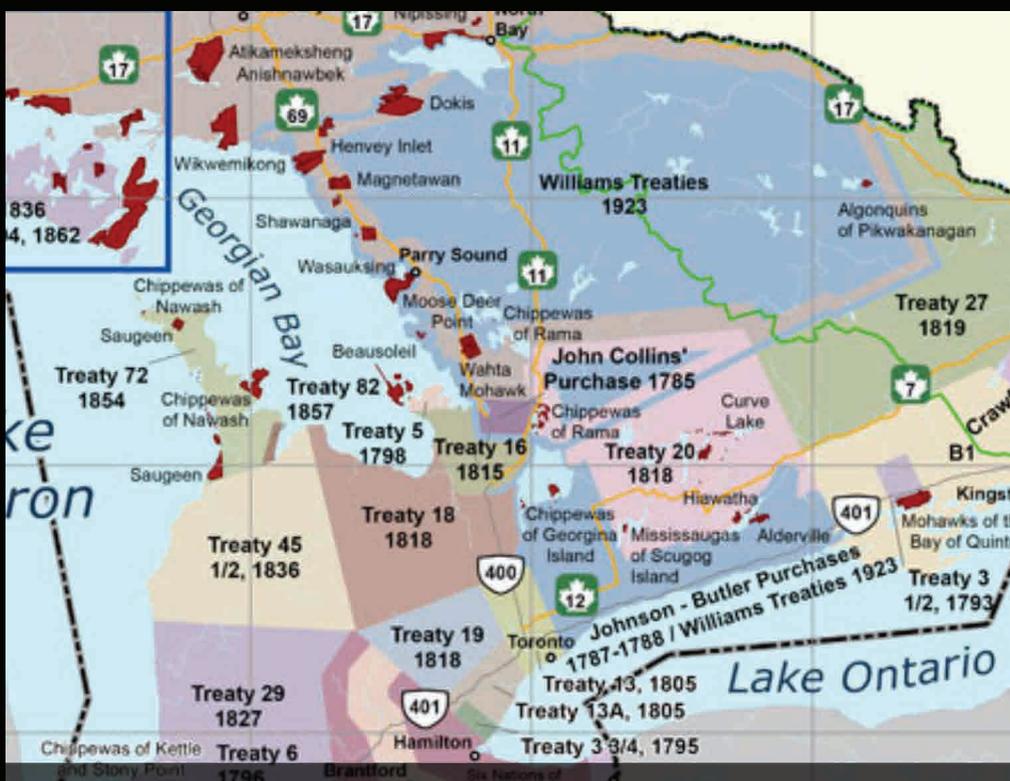


Image courtesy: Library and Archives Canada



New Market sits upon the lands of the Williams Treaties

The Williams Treaties, seen in blue, cover a large part of central Ontario, including

Looking back: the Williams Treaties

1700s to 1800s

Treaties made for southern part of First Nations' traditional lands that protect their harvesting rights

Mid-1800s

First Nations first petition Crown about settlers on northern part of their traditional lands who are interfering with their harvesting

1923

Williams Treaties signed to try to deal with First Nations' complaints, but lead to longstanding disputes about compensation, land and harvesting

1992

First Nations file litigation seeking justice and fair compensation



The claim

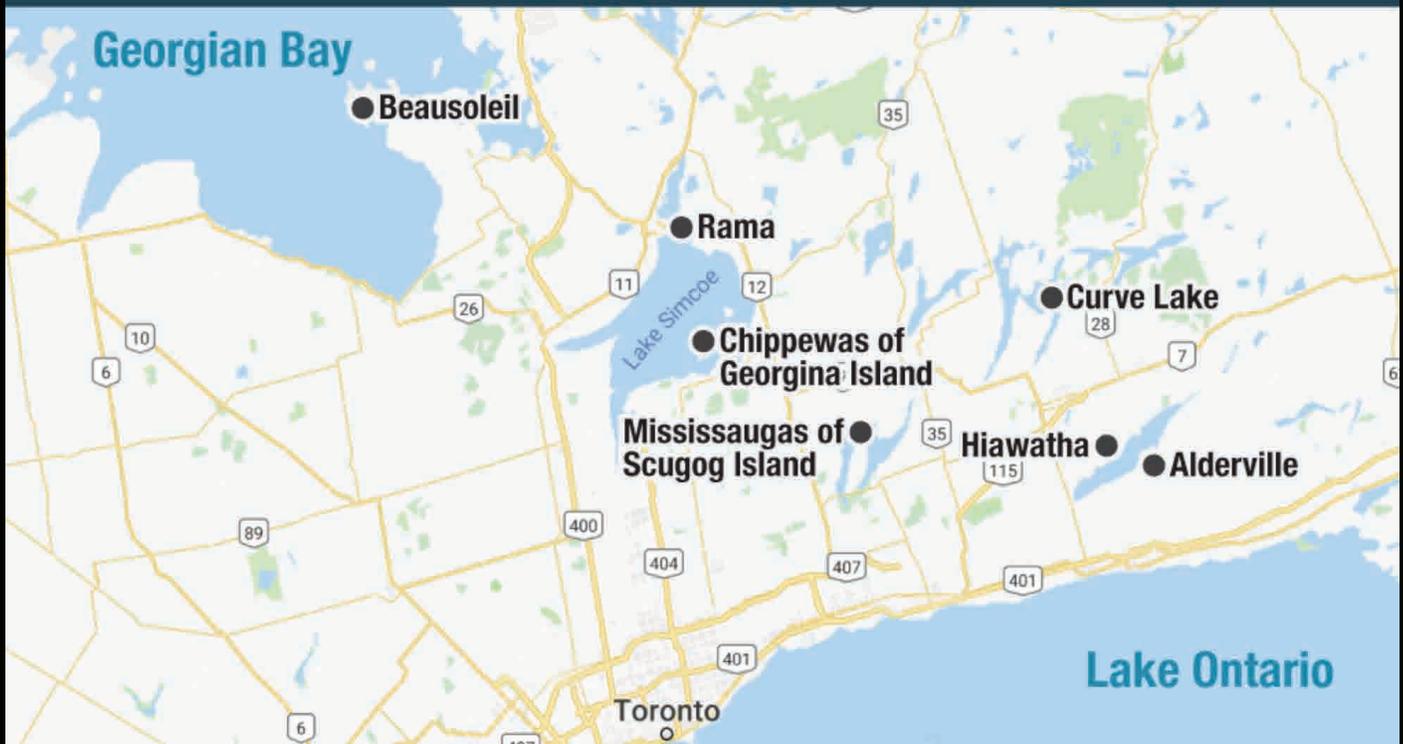
Crown did not act honourably when making and implementing Williams Treaties:

- proper compensation and additional lands not provided in 1923
- First Nations' harvesting rights unjustly denied

WILLIAMS TREATIES FIRST NATIONS

- The Williams Treaties First Nations are:
- Chippewas of Beausoleil, Georgina Island and Rama
- Mississaugas of Alderville, Curve Lake, Hiawatha, Scugog Island
- These seven First Nations are signatories to various 18th and 19th century treaties that covered lands in different parts of south central Ontario. In 1923, the Chippewas and Mississaugas signed the Williams Treaties and together, over 90 years later, the Williams Treaties First Nations have joined to ensure their rights to and the relationship with the land is respected.

Who are the Williams Treaties First Nations?



GEORGINA ISLAND FIRST NATION



Life on Georgina Island began in the early 1800's. The Department of Upper Canada wanted to separate the Indians from the white settlements, putting them on reservations was a way of accomplishing this.

In 1826, camp meetings were held by the Methodist missionaries who worked vigorously to convert Indians to Christianity. Schooling was encouraged and children were placed with mission families. They were trained to spread the Christian faith and were forbidden to practice their Native Teachings or to use their Native tongue. Boarding schools were to follow, taking children away from heart broken families.

STATEMENT OF APOLOGY FOR THE IMPACTS OF THE 1923 WILLIAMS TREATIES

Instead of protecting harvesting rights in your pre-Confederation treaty areas, the Williams Treaties were viewed as extinguishing ... This led to many challenges, injustices, and indignities ... mothers and fathers were unable to provide for their families as they had before. This, along with other colonial policies and practices, led to hardship and increased dependence on government. Other members who continued to hunt, fish, trap and gather off reserve or out of season were prosecuted under the law for harvesting. In some cases, these members had their nets, traps, or fishing lines taken from them, while others were fined or imprisoned. Still others were compelled to pursue traditional activities secretly — trapping and catching frogs at night or ice fishing under white blankets — so as not to attract the attention of authorities.... At times, only those who could outrun, outskate, or outmaneuver the authorities through the islands and shallows were able to escape prosecution.

Honourable Carolyn Bennet

The negotiated Settlement Agreement

Recognition of pre-existing treaty harvesting rights

for First Nations members in certain treaty areas

Federal and provincial apologies

for negative impacts of the Williams Treaties on First Nations

Financial compensation

\$666 million from Canada and \$444 million from Ontario

Additional reserve lands

each First Nation can acquire and apply to add up to 11,000 acres to their reserve land base

Total Indigenous population in Ontario:

374,395

Total Indigenous population in York Region:

695

First Nations
425

Métis
250

Inuit
20



STATS CAN – 2016

IDEAS: INDIGENOUS HISTORY AT MULOCK



Moccasin Identifier Project
Former Chief Carolyn King
MCFN

Indigenous Medicine, Teaching or Story Gardens



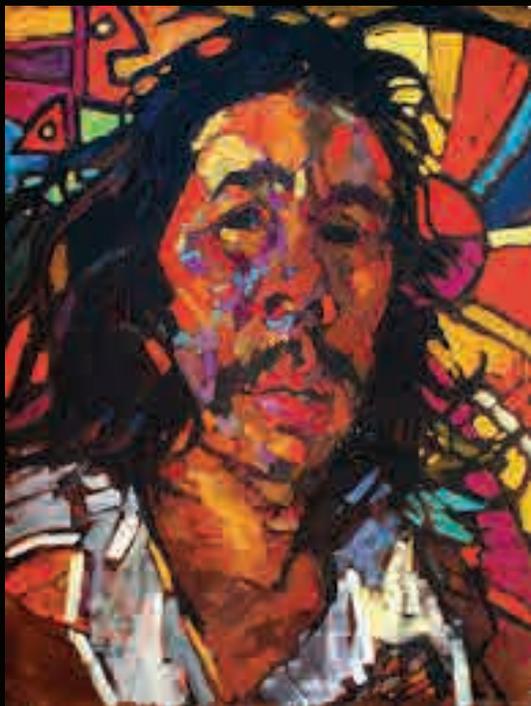
STORY TELLING INSTALLATION

- Indigenous memory and story telling – the missing stories
- Indigenous history of the area
- History of the treaties
- Told by members of the Williams Treaties First Nations

Celebrating Indigenous Authors & Artists from the Seven First Nations



**Drew Hayden Taylor
Playwright & Author
-Curve Lake First Nation**



**ARTHUR SHILLING
INTERNATIONALLY ACCLAIMED
PORTRAIT ARTIST
- RAMA FIRST NATION**



LEANNE BETASAMOSAKE SIMPSON
WRITER, MUSICIAN, ACADEMIC,
AND AUTHOR
- ALDERVILLE FIRST NATION



APPENDIX N MAGAZINE/BOOK ARTICLES

THE ESTATE RECEIVED FROM DEBORAH BARBOUR



IF YOU HAVE SOMETHING YOU ARE NOT USING WHY NOT SELL IT.

Our Adlet Column will find a Buyer See Page 4—First Column.

EXTRA COPIES 5c. EACH

The Newmarket Era



WHERE THERE ARE THE BREEZES OF HEALTH AND JOY

Sir Wm. Mulock's Farm The Enchanted Garden



It was with much pleasure I saw Sir William Mulock's "Farm" (as he loves to call it) the other day. It grows more and more beautiful every year, and well may it be called "The Most Perfect Farm."

As regards the farming part, I am not competent to judge. It is the flowers, yes, and the specially beautiful trees, and the velvet lawns that captivate me, making such a wonderful setting for the stately home, where the family love to gather in the summer, and dispense hospitality.

As you turn from Yonge St. at the unique gateway, and proceed up the driveway, you pass between stately trees, along a curved way that makes you fancy you are going to some remote and ancient castle in the English. You wouldn't be surprised to find yourself waiting beside the moat for the draw-bridge to be let down, so you could cross over into the court-yard; specially so when you see the beautiful Union Jack flag flying in the breeze from its high standard on the lawn in front of the house!

As you near the house, you see to your left a grove of walnut trees that year by year increase in size and luxuriance; then, as the driveway sweeps up to the house, you see down a series of terraces set with wonderful flower-beds, beyond a cedar-hedge, a delightful parterre, white down another terrace, is again a second parterre, divided from Yonge Street by a fringe of evergreens and other trees, and a picturesque rustic fence.

I can't say enough for the beauty of the trees, so I was particularly pleased while exploring an English garden, and I've seen plenty; but I have never seen anything like this in Canada before! It's most certainly laid out in really truly English style, but I wish I could do it justice, but words of mine, I know, cannot describe its wonderful beauty, the sweep of trees reaching to the sky, the circular flower-beds filled with blossoms, with curved seats backed by high trellised fences, one facing another with a long expanse of lawn and trees between, and in the distance a spacious rustic summer-house with deep beds of tall geraniums and other flowers. There are cedar hedges everywhere! The one to the north of the house encloses a delightful little square filled with flowers, all in bloom, emitting the most wonderful fragrance. At the far side, two tall cedars form an archway, making a little curved doorway to the orchard. And there are dear little bird-houses everywhere, with plenty of birds to occupy them, and black squirrels too, brisking about.

But of course there would be plenty of squirrels and chipmunks where the walnuts are so plentiful! I spoke the other week about the wonderful walnut trees, in walnut groves, in the road running west, just south of Sir Wm's estate, when we went in the car to gather gold when dinner was over the other side of the orchard after orchard of Northern Spy apple trees.

In spite of the extreme heat, and the dry weather (we have had six or seven weeks with practically no rain) Sir Wm.'s lawns and flower-beds are wonderful. I think he has had more of annual that ever grew, flowering in profusion right now. Of course this is the month for the annuals to be at their best!

There are flower-beds everywhere, and the perfume from the millions of glowing life so many of them, filled the air with their perfume as evening drew on. Ever so many kinds of marigolds from the tiny kind—the French marigold used as border, to the tall showy African ones; and the verbenas of every color, and the verbena of the most delicate shades of blue and purple. But why enumerate like a seed catalogue? Everything was so sweet, peonies, microcosms, conifers, the "creeps"—oh! and oh! but it was a delight to wander round and drink in

the wonderful beauty, color and perfume. Sir Wm. smiled at my enthusiasm, but entirely agreed with me. I just can't help myself babbling over when I see so much beauty all in one place. There is Sir Wm.'s, was commenting on the size and beauty of the walnut trees beside the driveway, saying how they grew—but he said they were "mere babies", so evidently the other ones, back farther, must be magnificent. Indeed I know they are! I recall collecting their beauty every year the Prince of Wales was there for a fortnight.

And that brings back the day of the hunt every body to my mind. What a day that was! Sir Wm.'s estate had plenty of color that day, but it was "Huntsman's pink"! The Hunt Club on their magnificent moorlands and the hounds, made a pretty picture. My young son, little more than two and a half at that time, hunted it. "The Prince of Wales' Fox-Trot."

And I feel sure that the Prince of Wales thought how delightfully fresh it all was, and wondered to see a little bit of "Merrie England" set down in North York! I am sure he would have enjoyed it very much, and the beauty of the trees, and lawns and flowers that are the delight of all who are privileged to see them, and accept more to my mind. Sir Wm.'s garden has, as has been noted for his hospitality, and it was really and truly sorry for the Prince that he could not wait to enjoy it but his duties called him away right after the famous hunt.

Sir Wm. threw his beautiful grounds open to all who wished to go that day, and many availed themselves of the opportunity to spend an afternoon there and, long after, you heard people saying "What a delightful place it is," and how they enjoyed their afternoon. Many of them did not see the Prince, but seeing the beautiful grounds, the trees, the velvet lawns and the flowers, were evidently much as they desired. Every huntsman in pink might have seen the Prince, but the trees and flowers of the beautiful year have, for the most part, been held in their own right, and are fully as satisfying! Not exact?

—Golden Glow.

EDDIE, THE AD MAN

IF YOU WOULD WATCH JUST ONE IN WHILE, WOULD YOU EXPECT SOME MERCHANTS EXPECT A VERY GOOD BUSINESS OCCASIONAL AD



ENCOURAGEMENT FOR WESTERN FARMERS

St. Paul, Aug. 11.—Canada's wheat still stood supreme as the world's grain show and conference came to a close here today.

Pocketing the biggest winnings of the \$100,000 in cash prizes, the Dominion Farmers' sales banner at the top of the next with hopes rising that demand for Canadian wheat from foreign countries would cut down the 1933 carryover. Experts who attended the conference, gave farmers encouragement in disclosing European countries wanted the Canadian grain. The big share of the prize money from all grains went to the Dominion. Its growers took \$61,874, more than double the \$25,252 which went to United States growers and \$8,221 won by farmers in countries other than Canada and the United States. Approximately \$2,000 of the prize money was not awarded because judges held some entries were not worthy.



A close-up of the Bruce Lake Boat Club on the shore of Bruce Lake. In the foreground is on its way to the diving raft in the lake.

30,000 Miles of Good Roads Attract Quebec Visitors

Province Criss-Crossed With Scenic Routes

Sherbrooke (Que.) Record.

THIRTY THOUSAND miles of good roads! It sounds like a description of the highway system of the entire Dominion of Canada, but it is not. There are thirty thousand miles of good roads in Quebec province alone.

Instead of confining its expenditures on roads just to main highways, the Province of Quebec has thrown a network of smooth-gravelled routes criss-cross over the face of its beautiful province, through forests, over mountains, around lakes and along rivers, until there is no corner which visitors may not reach speedily in comfort and safety.

This means that the visitor to Quebec can now along in his car through any kind of scenery he chooses. Tree-lined country roads, winding picturesque gravelled and paved dells, are as available to the touring motorist now as they were twenty years ago. The horizon and buggy. He need not stay on the crowded, straight main routes were the world and his wife are speeding from town to town. He need not get his nose to the curb and traffic.

With the motor humming softly, tires scurrying cheerily on smooth gravel, the flexible automobile today will carry him in leisurely ease up and down sylvan paradises, were he will meet and greet in his own time, the most interesting and picturesque scenes he can desire. He can stop where he likes, browse around as he pleases, take his own time. If a brook invites him to fish he is free to stop and fish until nightfall. If a spreading tree calls to him, he can stretch out under it and watch the birds in his heart's content.

He knows the road ahead of his good; that he can travel back to

town as safely at midnight as at noon.

So, in its roads system, the Province of Quebec carries out its traditional hospitality. It calls the visitor, not only to its busy centres, but to the farthest-flung beauty-spots of the province. And even in the woods it offers him every convenience.

It is needless to say that, in a region where the roads have been improved for the greatest convenience and pleasure of the greatest number, everything else is in keeping. The hotels, moderately priced, are as home-like and cosy. Out-of-door sports are provided in profusion. The people themselves are courteous, cheerful and kindly.

But if the visitor prefers excitement to quiet, he can find that, too, in the cities of Quebec Province are up-to-the-minute and progressive. You can think of nothing in New York that you will not find in Montreal. You can spend hundreds of dollars here, and get your money's worth, just as you can spend cents in the rural districts and live off the fat of the land.

Tourists who come once to Quebec come back again and again. There is a reason for it. In Quebec you can rest, if you want to rest, but you will never be bored.

A WELCOME TO VISITORS

We do not know of any city which has inspired in the cultured such a strong desire to drop into poetry in doing justice to the city at the confluence of the brick-making waters of the St. Francis, the Margot and the Massawippi.

Once more may we bespeak a friendly greeting and a glad welcome to the visitors who chose August as the ideal month in which to visit Sherbrooke.

Judges at the baby show: a preliminary prize.

Premier Henry was the oldest regular attendant among the platform judges, having attended every Lennox picnic since their inception. He had driven from Picton, where he had attended an afternoon meeting and arrived just in time to be called to the platform before the presentations of the prize-winning babies was made. He was greeted with cheers.

(Child Star Correspondent)

Jackson's Point, Aug. 7.—(Special "Herb" Lennox, greatest all-time Canadian golfish plenker, among his 25,000 golfish holiday guests at Jack-son's Point.

White-tressed, blue-coated, Panama-hatted—with the inevitable round-top—the veteran plenker warrior looked younger than ever and now, draped than a fashions' boy friend, he sailed in and out and around and around the numerous throngs come to enjoy his plenkiery.

More than a quarter of a century ago—28 years, to be exact—P. Herb Lennox, a young and coming have an eye to Parliamentary halls, Nottling, started political plenkiery with Lennox about it; he wanted to meet people. And every year since, the Lennox picnic has been one of the principal summer events of the history of North York district.

Ontario's Premier Hon. George S. Henry, hosted from the picnic speaking platform yesterday that he had attended every one of them. Counting in the "herb-and-bug" age, he has been a visitor for his sister, Miss Terrie Henry. She left last week, after the picnic, to visit her sister, Mrs. Voelker, who is returning with her in two weeks.

An old and esteemed friend of the editor of the Era, Mr. David Stouffer, passed away on Tuesday evening, August 7th, at his home in York and Ontario Counties. He was a descendant of the founders of Stouffville and his interest in choir and chorus music made him a member of the York and Ontario Chorus. He was born in Stouffville in 1844 and was a very kindly man. He was a member of the York and Ontario Musical Association.

or week-ended driver.

A stiff breeze which whipped the trees and swayed the speakers' platform, a cloud-protection against the scorching rays of the sun and a temperature verging between 80 and 90 provided perfect plenkiery weather. Rain threatened, but just couldn't fall on "Herb" Lennox. The wind lifted and roared the dust from which a dozen plenkers addressed the throng. "Herb" Lennox, who was really a hard held away, and nothing happened.

Athletic Event

And it was "annoy" picnic. The throng and the activities would have numbered an ordinary G.N.S. day. Parties, athletic events, including boxing, wrestling and aquatic events, horseback pitching, baseball, football, tennis, and croquet, were the specialties, while distinctly above par for such affairs, were good conservative campaign speeches, all of them a part of the program and not far-distant dates of election, Federal as well as Provincial.

Billed as a "non-political" picnic, the affair, of course, was as political as a Tory ward meeting, with the exception that "Herb" Lennox—good sport that he is—would have made any number of G.N.S. welcome. But the speeches, while distinctly above par for such affairs, were good conservative campaign speeches, all of them a part of the program and not far-distant dates of election, Federal as well as Provincial.

Social and Personal Paragraphs

—Bullitt Trivet and family spent Civic Monday at Lambton Park.

—Mrs. J. [unclear] and family, and Mr. [unclear], are holidaying on Georgian Bay.

—Mrs. D. Seadore has moved from the corner of Niagara St. and Millard Ave. to D'Arcy St.

—Mrs. Dr. Edwards and the boys are enjoying summer holidays at their cottage on Lake Simcoe.

—Miss [unclear] Wood of Toronto is spending a week's vacation with her cousin, Miss Helen Harland.

—Mrs. C. C. Harding of San Francisco is visiting at the home of her niece, Mr. and Mrs. Davis McCarthy, Toronto.

—Mrs. and Mr. A. D. Evans and family and Albert Evans, visited Kirkfield and Fenelon Falls over the weekend.

—Mr. Anthony Wolfe spent Civic Holiday at Honey Harbor and brought home a fish that weighed 25 lbs. He is having it mounted.

—Mrs. (Dr.) H. J. Irving and two sons of Kingston, are spending two weeks at the home of her parents, Mr. and Mrs. W. Williams.

—Mrs. More and daughter Peggy of Toronto have been spending the past two weeks at the home of her parents, Mr. and Mrs. W. Williams.

—Mr. and Mrs. Stouffer and family of Aurora, have moved to 1500 King St. E. and are occupying Mrs. Sheppard's house at the end of Victoria Ave. on Bedford St.

—Mr. and Mrs. Will Bruce and son of Detroit, Mich., moved over to visit Mr. Bruce's parents over the weekend. Mr. Bruce and Donald are remaining for a two week's vacation.

—Mr. and Mrs. Arthur Coombs of Toronto and Mr. and Mrs. Verill Coombs and daughter and Miss Pearson of Kingston visited at Mr. and Mrs. Charles Kirby's on Sunday.

—Hon. Frank and Mrs. Branton left on Monday for their home in Bradenton, Florida, after a month's visit with Mrs. W. A. Branton in town and Mrs. and Mrs. T. O. Townley in Toronto.

—Miss Hattie [unclear], who is Sup't. of a Research Institute, Minneapolis, has been on a visit to her sister, Miss Terrie Henry. She left last week, after the picnic, to visit her sister, Mrs. Voelker, who is returning with her in two weeks.

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—Mrs. Norris, who was in town for the month of June, calling her sister, Miss Wright, left for Kirkland Lake last Wednesday to visit her daughter for the remainder of the summer.

—Mrs. F. Maclean sailed for England early in July on the "Empress of Canada" to spend the holiday in the Old Land. She hopes to spend part of the time on a cruise to Norway, the Netherlands, and other parts of Europe. She is a member of the York and Ontario Musical Association and was formerly Miss Marion Perkins of this town. Her daughter, Frances, is as usual at a Girls' Camp for the summer vacation.

—There are no doubt many of the students of the old Fickering College in Ontario County residing in Newmarket and vicinity, and it may be well for them to know that the editor of the Sherbrooke Daily Record, Quebec, is none other than Mr. Alfred Wood, who is a former graduate of that institution, while versatile productions we have reproduced quite a number of them when they were "printer's devil" in the Fickering News office to editor and manager before drifting to Canadian and American cities and has finally settled down in Sherbrooke. He is a regular fighting editor and was sure his old friends will read his production with greater interest when they know who the writer is, and wish him much success. The Fickering News is still in charge of that fine old schoolmaster, Mr. Wood.

Continued on page 5.

Coming Events

Friday, Aug. 11.—Big Comedy Co. and Art Week's Orchestra at Cookstown.

Friday, Aug. 12.—Art Week's Orchestra at Cookstown.

Wednesday, Aug. 14.—Folk Picnic at Woodville Park.

Sept. 13 and 14.—Street Dance and Coronation in Newmarket under Central Club.



NEW FACE FOR A COUNTRY HOME

Paint and wallpaper join in color styling Mulock home, Aurora, Ont.

By J. C. MONTGOMERY

A LOFTY and ancient house, surrounded by groves of walnut trees, served the late Sir William Mulock for many years as a summer home. Located on highway No. 11 a few miles north of Aurora, Ont., the house was used for only a short period each year. Hence it had been left in its original state—a large and well built but old-fashioned country residence.

The present owner, Col. W. P. Mulock, had the house remodelled and redecorated recently, transforming it into a palatial country residence suitable for year-around occupancy.

Around verandahs and gables, the building had a lot of outmoded, rococo woodwork which was all removed. The entrance was remodelled and a large carriage porch erected over it, giving the building an entirely different and more imposing appearance.

However, the greatest improvement in exterior appearance was probably made by painting the whole building. The brick walls, darkened with age were painted white, along with the columns and woodwork around verandahs and sun decks. Color accents were provided by green shutters. Now, the large white building in its setting of green lawns, shrubbery, flower

borders, and hedges, makes an eye-pleasing picture.

The walls were prepared for painting by extensive wire brushing to clean them and remove loosened particles, according to Chas. Davies, painter and decorator who did the job. The brick walls, which had not been painted for 18 years, were given two coats of exterior gloss white, the first one thinned with turpentine. The new carriage porch received three coats, one of exterior primer and two of exterior gloss paint. About 20,000 sq. ft. of wall had to be covered, requiring 110 gals. of paint. The paint was burned off most of the verandah columns before they were refinished.

Interior Decorations

The entire interior of the house was also redecorated, and a number of alterations were made. Most of the ceilings were lowered one and a half or two feet, leaving them about 12 feet high. Oak floors throughout had the old finishes removed by sandpapering, and were then filled, varnished and waxed.

Walls in the entrance hall were papered in a floral monotone pattern, and doors and woodwork were painted white. Colorful scatter rugs cover most of the oak floor. The decorations are set off by carved

chairs and other pieces of antique furniture in dark finishes.

The stairway to the second floor is finished in black, with white risers and red carpet. Two tall and narrow windows on the stairway were enlarged to make one big window, which had red drapes matching the carpet. The large upstairs hall has the same wallpaper as downstairs, and a rug in which red shades predominate.

The remodelled library, at the front of the house on the ground floor, is a room of considerable character. Its walls were panelled and painted white, and the piano and stool were refinished to match. The ceiling is in texture-surfaced plaster also in a white finish. Color is introduced in the drapes and furniture upholstery, which are red. A large black desk and black rug help to tone down the room, creating a suitable atmosphere for reading.

New bookshelves and a red brick fireplace were built in across one end of this room. Swords and scabbards hang on the upper wall above the panelling. All lighting fixtures carry the Mulock crest, which also appears over the mantel.

Across the hall, the large living room has an archway with doors to divide it into two rooms when desired. New fireplaces and book

Y HOME



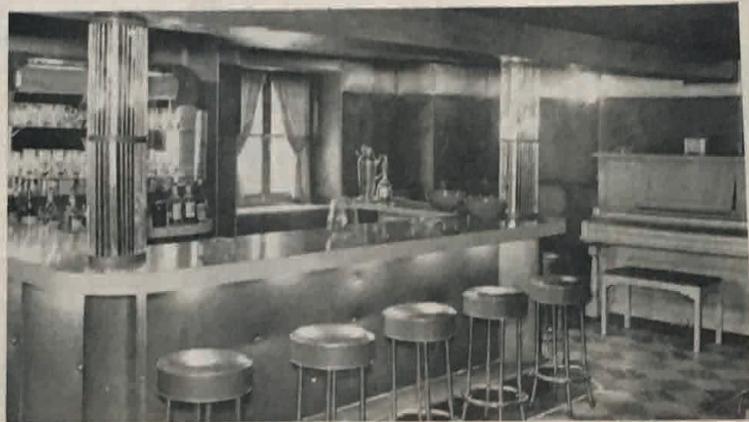
A sophisticated room, the library has a large black rug and red furniture and drapes. New wall paneling, along with the piano, (not in illustration) was painted white.

shelves were built in at each end of the room and the ceiling was lowered. Wall papers with patterns in monotone were applied on the walls and the ceiling was finished white.

The immense windows, which open onto the verandah, are huge with drapes in dusty pink, which color also appears in the rugs. Furniture is covered with a bright floral design containing red, green and blue on a very pale green ground. Pink and blue cushions provide blending and contrasting color notes. Creating one dark spot in the colorful room, a black carved desk stands in one of the bay windows.

Blue is the predominant color in the dining room. Ceiling and upper walls were spray painted a pale blue tint. The lower walls were paneled and doors rebuilt to match; then all painted white. There are light blue figured drapes on the windows and a medium blue rug on the floor. In contrast to the light decoration, furniture is mahogany in a dark stained finish. There are two china cabinets and a large antique carved sideboard in a near-black finish.

The hall to the kitchen and pantry was also redecorated. Walls were first covered with fabric. The dado was then painted blue and upper walls white, with a silver stripe between. The kitchen and pantry were entirely modernized and redecorat-



The colorful recreation room has red leather on bar and stools, blue leather on the walls, and a band of silver next the ceiling. Piano, bench, and table were painted silver.



The dining room has blue carpet and figured drapes in pale blue. A paneled wainscot was installed and painted white.



Old brick walls were made bright with white paint. Dark green shutters break up the white expanses and harmonize with green in the shrubbery.



A corner of the entrance hall, showing two of the antique carved chairs, re-finished oak floor, woodwork painted white, and floral pattern wallpaper.



ed in white. Floors here are covered with blue inlaid linoleum.

Blue, red, and silver were combined to create a pleasing and relaxing atmosphere in the new basement recreation room. The ceiling was painted blue and walls were covered with studded leather in the same color. A border of silver-finished leather was carried around the top of the walls next to the ceiling.

A small refreshment bar at one end of the room has front and serrated-style ends covered with red leather. Corners of the room contain built-in settees upholstered in blue and red leather. A large table has a blue top and silver legs, while the piano is painted entirely in silver. Window sills are grey marble. The floor is covered with checkered pattern tile in terra cotta, black, and grey shades. Green, red, and white light add to the colorful effect.

The bedrooms, all on the second floor and each with its own fireplace, were also redecorated. The large master bedroom, with white marble fireplace, was painted pale blue. Another room has walls and ceiling covered with blue wallpaper. A large and gay floral pattern was selected for wallpapering another bedroom and connected sitting room. A rug containing strong reds harmonizes with key wallpaper colors here.

Colorful Bathrooms

Previously, the house contained one old-style bathroom. Four new ones were built in, three of them in space formerly occupied by a bedroom. One bathroom is finished in pale blue with blue tile. The second is white with black trim, and the third is finished in peach with pink tile. All bathrooms have tile floors.

The old bedrooms lacked closets. One room was converted into a dressing room with remaining space made into clothes closets for adjoining bedrooms. The dressing room, painted pastel blue, has a row of cupboards on each side. Full-length doors give access to chests of drawers, wardrobes, and other storage facilities. One pair of doors opens into a smart vanity dresser, with mirrors in front and on the wings formed by the backs of the doors. The cabinet woodwork in this room has a natural varnished finish.

The rear hall upstairs was finished in white, blue, and silver the same as the one downstairs. A sewing room has peach paper on the walls and white paper on the ceiling. Two large rooms at the rear of the house were divided into four for staff use. These also have papered walls and ceiling, with two rooms in blue, one in green, and one in pink.

Number of Coats

Painted ceilings throughout the house received three coats of flat finish. Painted walls were given one coat of sealer and two coats of semi-gloss paint. Four coats were applied on the new woodwork and panelling, which is pine. The finish here consists of one coat of sealer, one of flat, and two of semi-gloss paint.

Paint remover was used for stripping some old finishes. Old woodwork was thoroughly sandpapered before applying the first coat. After each coat of finish on woodwork had dried, it was sandpapered before the next coat was applied.

Constant supervision helped ensure a good job on this fine home, according to Mr. Davies. He feels it a source of satisfaction that, after handling painting and decorating here for the past thirty years, he was selected for the big job of changing the entire decorative scheme.

From all angles, inside and out, the house presents a greatly enhanced appearance since completion of the decorating and other work. Paint, wallpaper and other materials, along with the decorator's skill, played a leading part in effecting the transformation.

Cheerful living room colors include dusty pink in the carpet and drapes, and reds, greens, and blues in gay floral furniture coverings. Wallpaper has a soft monotone pattern which does not call attention to itself.



At the entrance to The Elms, the country estate of Sir William Mulock, near Aurora, Ont. Clipped flowering shrubbery is banked against the house, and there is an effective frame of boxed Cedar surrounding the curving driveway

THE ELMS : An Estate of Trees

By Anne Elizabeth Wilson

TREE-GUARDED, hidden from the traveller who passes its gates on the highway between Lakes Ontario and Simcoe, is an estate, which for half a century has stood as a symbol of all things permanent and lasting. That its chief beauty as well as its practical interest has been the planting and development of trees, is an indication of its atmosphere. It is a rare thing, indeed, to find acres brought to such arboreal growth and perfection during the lifetime of its owner. Indeed, the greatest surprise for the visitor at *The Elms* is to learn that every tree about the acres of grounds was planted by Sir William Mulock himself when, fifty years ago, he chose this site for a home. For the amazing variety, height and girth, the unstudied beauty, are like Nature's own forest growth—and yet Sir William will tell you that when first he came, it was a ploughed field!

Trees, shrubs, lawns like the English sward that has been nurtured for centuries, are the secrets of the impressive quality that distinguishes this Canadian estate. Perhaps the treatment of clipped shrubbery in hedges and massed effects about the house are most unusual and instructive. Clipped Cedar hedges are well known in our Canadian gardens, but clipped Spruce is an innovation in this country, I think. For density and richness, it is without an equal, and the "garden enclosed" behind the cream-colored gabled house, is distinctive with this low living wall of green. Behind the hedge, tall Golden Glow picks out its length against the great trees, while the Spruce itself forms a background for tall perennials and beds of bright annuals.

The whole decorative scheme of the grounds has been cleverly augmented with annuals—the beds about the front and side of the house sweet with Nicotiana in the evening, and lively with

dwarf Japanese Spruce which are so decorative and so seldom seen save in very formal gardens.

In the photograph of the house which gives only a hint of the long pillared gallery which flanks its eastern view, is seen the interesting group of flowering shrubs which are part of the entrance welcome. Variety is notable in all the planting at *The Elms*, and here the particular charm of it is fully realized—for growing side by side, interlacing branches and blending bloom, is every type of flowering shrub, clipped to hedge-like symmetry.

Elms, Butternuts, Maples, Evergreens of every sort and Black Walnuts make up the screen of green which surrounds but does not overshadow the house. From slope to slope one walks, struck afresh by the beauty which has been fostered and built by trees. Several beds, backed by white trellising or summerhouse, are set against groves that form the perfect background for such effect. It is as though the trees had said to beds of Phlox, Golden Glow Lilies and stone terraces trimmed with annuals, "Here is your setting. Now make the most of it."

THROUGH thirty acres of superb private grounds, one sees to the west, across the bright green of the kitchen garden and the boundary hedge, the white waves of Buckwheat that break against the feet of the Apple orchard. A lovelier sight than these hundred and sixty acres of bearing trees in blossom-time cannot well be imagined. It is one of the sights of the countryside in spring, for this part of Ontario at least is not given to many such lavish fruit plantations. It is in its orchards that *The Elms* becomes a productive estate. Planted chiefly in late Northern Spies, it is leavened with a few earlier varieties to secure successful fertilization of the tree. The orchard is now under the management of Sir William



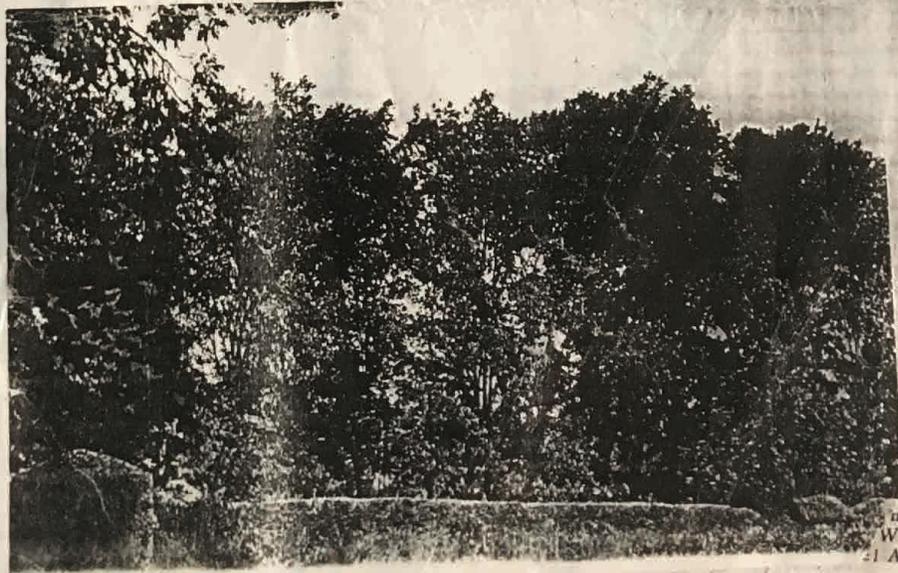
It ought to be a pleasant place to sniff, when it is packed for the winter! Here the apples are brought from the orchard by truck, graded with utmost care and stored, as required by the market. With cool, whitewashed roughcast walls and ventilated windows, it is scientifically designed for the preservation of stored fruit through all the seasons. Practically all of Sir William's fruit is marketed in Canada for home consumption. Curious about the part played by the black wheat in the orchard scheme, I learned that it is grown not as a crop but as a sort of ground-cleanser, keeping the acreage free of devitalizing growth. It seems that black wheat is such a lusty grower in itself that not even weeds can compete with it!

ORDERING the orchard to the south, across a cross-road lined with Maples, and across this divide is a fifty-acre section of land recently purchased by Sir William to ensure the privacy of his estate. Here his plantation of Black Walnuts is one of the chief features of the place. A grove of hundreds of young trees, three, four and six years old, gives promise of timberland of the first class, in years to come. The Black Walnut is not considered of value so much for its fruit as for its exquisite wood, and recent statistics of this tree on a [See also page 48]

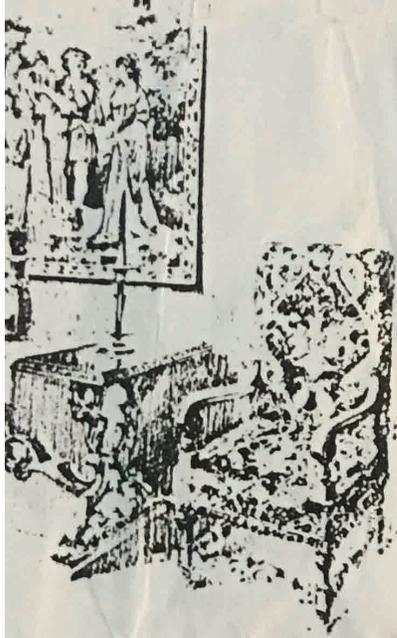


As the backbone of the "Age of Wood" the Black Walnut is slated to return to demand in the present century and its reforestation should be considered an important item in Canadian development. Sir William Mulock has had a great deal to do with it at various intervals over a period of years. Hundreds of Black

Centre: A study in tree planting: A Fir beside a Willow, a Magnum Pine neighboring a Maple. No less than seven different varieties of native trees can be distinguished in this group, not to mention the flowering shrubs. All were planted thirty or forty years ago by Sir William, who strove to imitate Nature's own



A study in tree planting: A Fir beside a Willow, a Magnum Pine neighboring a Maple. No less than seven different varieties of native trees can be distinguished in this group, not to mention the flowering shrubs. All were planted thirty or forty years ago by Sir William, who strove to imitate Nature's own



Summer Day, by Braida Stanley-Creek, one of the British canvases shown at the Canadian National Exhibition Art Salon

THE ELMS

Continued from page 27

wholesale scale in the United States is an indication of Sir William's previous farsighted plan in establishing it here. The backbone of the "age of wood" on this continent, the Black Walnut is slated for a return to great demand within the present century, and its reforestation should be considered an important item in Canadian development. The establishment of another large grove in neighboring land is being considered on the Mulock estate at present. For its beauty of growth alone, the Black Walnut is an investment; feathery-leaved and deep green, it is one of the most satisfying of ornamental and shade trees, as the lush thirty-year-old specimens about the grounds of *The Elms* bear witness.

The Ontario Forestry Branch, with offices at the Parliament Buildings, Toronto, is supplying Black Walnut seedlings among the other forest trees for reforesting work. Anyone with land which is suitable for the purpose may secure as many as 3,500 baby trees in one variety or in assortment, and an additional 500 for windbreak purposes, if desired. The exact exemption from taxation in reforested land or natural bush is as follows: "Any part of a farm used for forestry purposes or being 'woodland' is exempt from taxes, provided that such exemption shall not be greater than one acre in ten acres of such farm, and not more than twenty acres held under a single ownership."

In giving instructions and findings on the Black Walnut, Arthur Herbert Richardson, M.A., M.F., in his government report, *Forest Tree Planting*, states that the Black Walnut has been successfully grown as far north as Ottawa, but for forest plantations advises that it would be unwise to use this tree north

Richardson states, will always be valuable, owing to its color and workability.

BUT these are not all the riches of what any beholder must feel to be one of the most beautiful estates in this section of Canada. Behind all its splendid development, stand seventy-five acres of original forest, untouched and held in Nature's trust. Here, at the present time, sport some fourteen Shetland ponies, temporarily freed from stable life by building operations on the estate-proper. One of them at least, *Piccolo Pete*, is now the particular pet of Master Billy, Sir William's great-grandson, who spent much of the past summer on its broad back.

Here in "The Bush" is the source of the spring, ninety-four feet above the house-level, which, caught in a reservoir and piped down from level to level, supplies the great house and all its hidden outbuildings with a perpetual flow of crystal water.

Judging from the previous estimates of its grounds, orchards and groves, in terms of acreage, it is not surprising to learn that in all *The Elms* comprises no less than three hundred and eighty-two acres. Sixty-seven, unaccounted for here, are in arable land. Four generations have lived upon it. Thinking of it in connection with its family, I know no phrase that so well describes it in feeling and in aspect as "ancestral acres." As the country seat of one of the best loved of distinguished Canadians, it has taken on the venerable beauty one connects with family holdings of the Old World. It has seen, and, in many senses, inaugurated the development of the country roundabout. Indeed, during his term as Postmaster-General, Sir William even named the local post-office! As one

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THE **G**ARDEN OF

TOM AND JOYCE MULOCK
NEWMARKET, ONTARIO

Our garden consists of fifteen acres of lawns, trees and shrubs casually combined. The hundred or so varieties of trees and shrubs, most of them planted ninety years ago by my husband's great-grandfather, Sir William Mulock, are grouped in loose masses around open lawns. Giant Norway spruce soaring ninety feet high are skilfully planted along tiered banks.

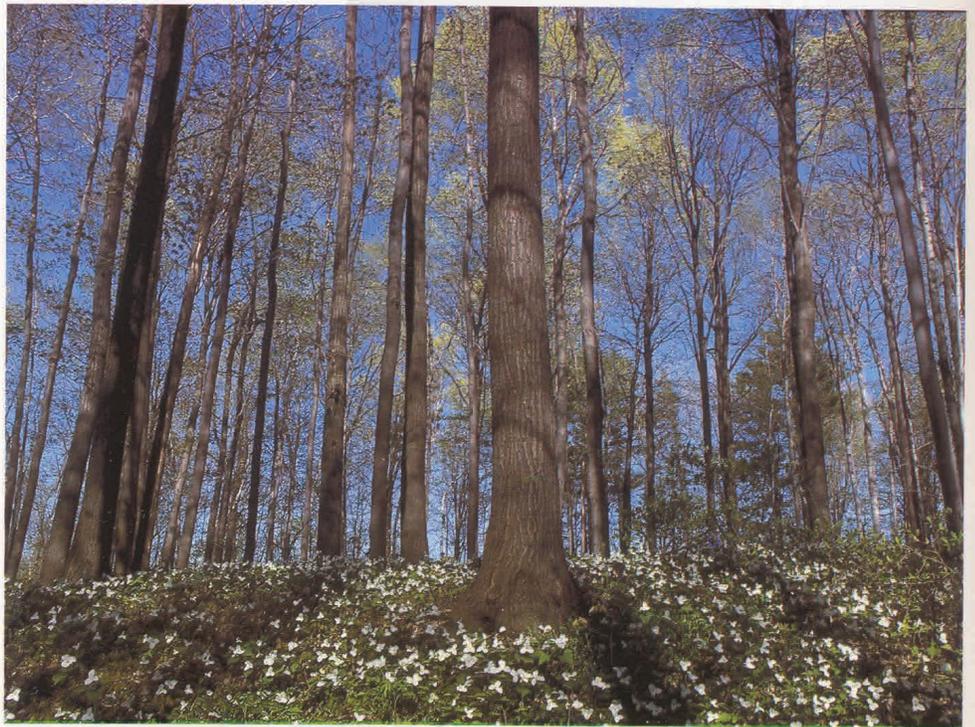
Beyond forty-foot-tall cedar hedges, a variety of fruit trees have been planted in clusters, thus creating a lovely balance of blossoms in the spring. Groves of black English walnut, a rare Romanian walnut presented to Sir William in 1900 by the Romanian government, oak and chestnut, red and white maple, Koster blue spruce, several elm beginning to reappear, mountain ash, flowering crab apple and almond, and forsythia are a sampling of the many species existing today.

Ornamental evergreens – pyramid cedar, mugho pine, spreading yew, privet, juniper and many others – are set where their silhouettes are clearly visible.

With each season the panorama changes. From spring to summer there is the enormous satisfaction of seeing the buds and young leaves making their first appearance, and the solitude of neigh-

bouring woodland covered in a blanket of trilliums. In autumn the colours of the leaves range from pale yellow to burnt orange. In winter the evergreens provide a never-ending source of pride.

My husband and I have inherited a small but prodigious piece of Ontario, and we felt the best memorial we could offer was to continue living here, to replace the trees and shrubs that have perished and to maintain the property in the way its original owner envisaged it.





Opposite, above left and right: Ancient trees and vast expanses of lawn are the main features of this old Ontario farm property.

Opposite, below: Thousands of trillium carpet the woods in May.

Above: A grove of rare English walnut trees.

