

DREW RESIDENCE

Reasons for Designation

Address:

1075 Gorham Street
Newmarket, Ontario L3Y 5G9

For:

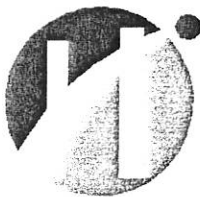
Yuri Sura

Prepared by:

Dave Finley 801 563 693
Jeff Hillen 801 303 140

Date:

December 1, 2002



HUMBER COLLEGE

School of Applied Technology

DREW RESIDENCE

1) ADDRESS

1075 Gorham Street
Newmarket, Ontario L3Y 5G9
Part Lot 2, Registered Plan 383
Regional Municipality of York

2) ORIGINAL OWNER

Dating of the house was difficult. It has been concluded that Henry Minthorn (Mintren), a carpenter built the house in 1855. A plaque stating this has been placed on site.

3) PRESENT OWNER

Richard Anthony Drew and
Stella Joy Drew

4) BUILDING USE

Single Family Residence

5) ARCHITECT

Unknown. Since the original owner appears to be a carpenter it seems he built the house himself.

6) ARCHITECTURAL QUALITIES & DESCRIPTION

6.1 EXTERIOR

a) Materials

Basement Construction:	Partial basement with stone and mortar walls
Exterior Wall Construction:	All wood framing with exterior wood cladding and detailed corner moldings

b) Features

Roof Shape:	Hipped roof
Roof Trim:	Wood trim, no decoration or detailing
Roofing Type:	New plywood and asphalt shingles (renovation)
Typical Window:	
Main Entrance:	Since remove. However, previously centrally located with evidence of a broad-flat headed transom remain. This is indicative of the Regency Style.



6.2 INTERIOR

a) Materials

Flooring:	Pine plank floors
Walls:	Original plaster
Ceiling:	Original plaster
Trim:	Decorative Trim

b) Features

The symmetrical square shaped building is typical of a Regency style. The floors are pine plank flooring. The entire interior is finished with hand-made decorative door and wall trims and mounted on traditional plaster finish walls. All of the original windows are still featuring six/six panes of drawn glass. The roof construction is of historical roof joists and rafter construction. The original materials and method of construction found on this house today illustrates the tradition and history this building comes from.

6.3) DESCRIPTION

a) Room Functions

The floor plan of the original house has been modified to suit a modern living style with the aid of new additions.

Bedroom 1	Main sleeping space
Bedroom 2	Sitting area, occasionally used for guest sleeping area
Living Room	Lounge area and socializing space. Large window excite the space with light.
Front Entry	Turned into an office. Currently used for bookkeeping. Removed Flat Broad-Headed Transom. Currently a 1950's bay window.

b) Planning

Square and symmetrical in shape this building is typical of a Regency style. This square shape eliminates extra costs in complicated construction, and is also easy and fast to build. The close space is very compact and cozy, depicting close-knit families functions.

6.4) ARCHITECTURAL

a) Characteristics

This is a one storey hipped roof residential building still in good condition. All existing windows and mouldings remain and require no maintenance or replacement. All the new asphalt shingles are indicative of new construction, however parts of the existing shake roofing remain under the new roofing system.



b) Features

This residence has many great architectural features in both Neo-Classical and Regency. It has decorative false column in the corners of the existing exterior (Neo-Classical). Wooden cladding and large six/six hung windows with exaggerated head and sill profile (Regency). A recently removed board flat-headed transom entryway and a low hip roof with no attic space.

7) SITE CONSIDERATIONS

7.1) CONTEXT & RELATIONSHIP

This residence sits directly adjacent to a main artery roadway. Developments in mainly new residential have recently surrounded this antique residence. Private access to the site is provided by a curved gravel drive off Gorham Street and ending with an access to Leslie Street. The house is protected on the west with chain-link fencing and on the east by thick landscaping. Green paint on the wood exterior blends perfectly with the surrounding landscaping.

7.2 LANDSCAPING

The house is surrounded in all directions with vast landscaping. The attractive landscape of trees and bushes protect the entire residence from the adjacent noisy Leslie Street. This extensive landscaping provides a variety of shade throughout the property. The site slopes slightly to the Southwest allowing drainage on this very deep lot. There are also gardens spread around the site featuring an array of flowers.

8) HISTORICAL CONSIDERATION

8.1) BACKGROUND

The land was actually a crown reserve until 1824. After 1824 an unknown person had landownership until around 1853. It is assumed that Henry Minthorn (Mintren), a carpenter built the house in starting in 1853 and finished by 1855.

8.2) QUALITY

The Neo-Classical and Regency style of this building is identified throughout this residence. The entranceway (recently removed) included a flat broad-headed transom. The finely detailed baseboard trim and window and door mouldings are straight from the Neo-Classical style. The quality of this woodwork is performed by Canadian craftsmen and should be kept intact.

9) STATE OF THE BUILDING

9.1) EXTERIOR FABRIC CONDITION

The existing foundation is stone and concrete. The Southside of the foundation appears to be repaired sometime after the original foundation was laid. No noticeable cracks, leakage, or settlement is noticeable. The exterior wood cladding has fared well over the years. Along the top of the foundation wall slight dry rot is noticeable, but not unusual



for a house of this age. The windows are in good shape and appear to be sealed to the outside elements. A new asphalt shingle roof has replaced the original depleted shake roofing. Eaves trough and downspouts are in excellence condition. However, a main structural floor beam, that spans south to north through the building, is bearing in the foundation. This will cause concern in the future as a result of accelerated dry rot, and the chance of termite infestation into the structure.

9.2) INTERIOR FABRIC CONDITION

The low foundation walls are of stone and concrete with a poured concrete slab. The frame of the building is of typical wood construction. Slight dry rot is noticeable in the floor joists adjacent to the foundation walls. Floors are pine plank flooring all of which are in good condition. All interior walls are plaster, painted or wall papered; Underlying condition could not be noted, but appear in good condition. The only noticeable disturbance in the interior wall and floor finish is in the living room where it appears a wall has been removed during a renovation. No noticeable settlement around windows or doors. No apparent leakage at ceiling level indicates a sealed roofing system currently and historically. The hipped roof joists are in very good condition and roof insulation is adequate.

9.3) STRUCTURAL STABILITY

The original residence is in good structural stability. No differential settlement in foundation wall is evident. Although slight dry rot is noted in floor joist adjacent to foundation walls, no obvious deflection in wood beams are apparent. Windows and doors seem square and plumb indicating a strong exterior wood frame. As noted before roof joists are good quality and do not need repair or replacement. The structural floor beam should be kept under observation for any increase in dry rot or noticeable deflection.

10) SOURCE & BIBLIOGRAPHY

Corporation of the Town of Newmarket (1999). A Brief History of the Town of Newmarket. Retrieved November 15, 2002, from Town of Newmarket web site - www.town.newmarket.on.ca

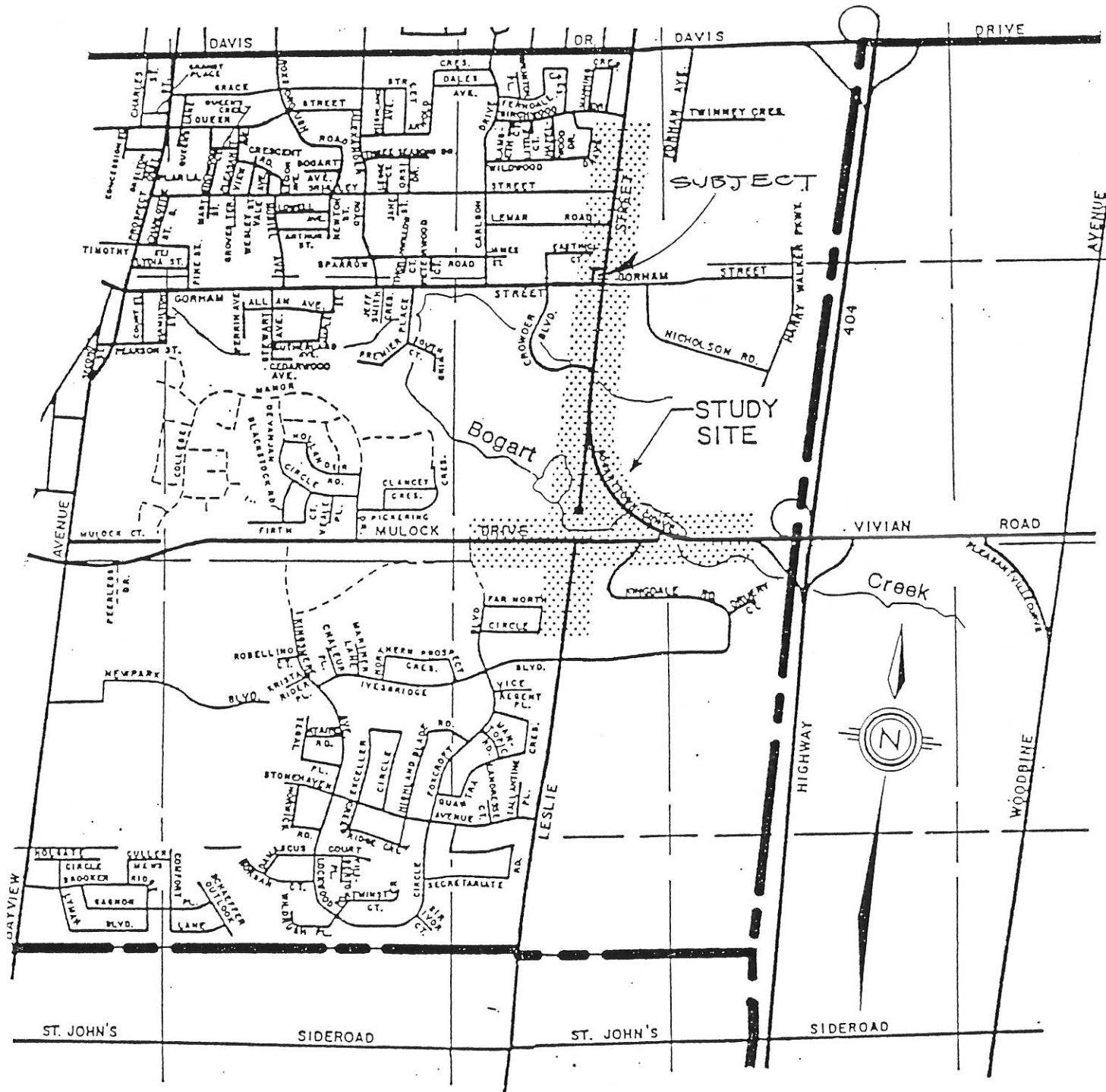
11) RECOMMENDATIONS

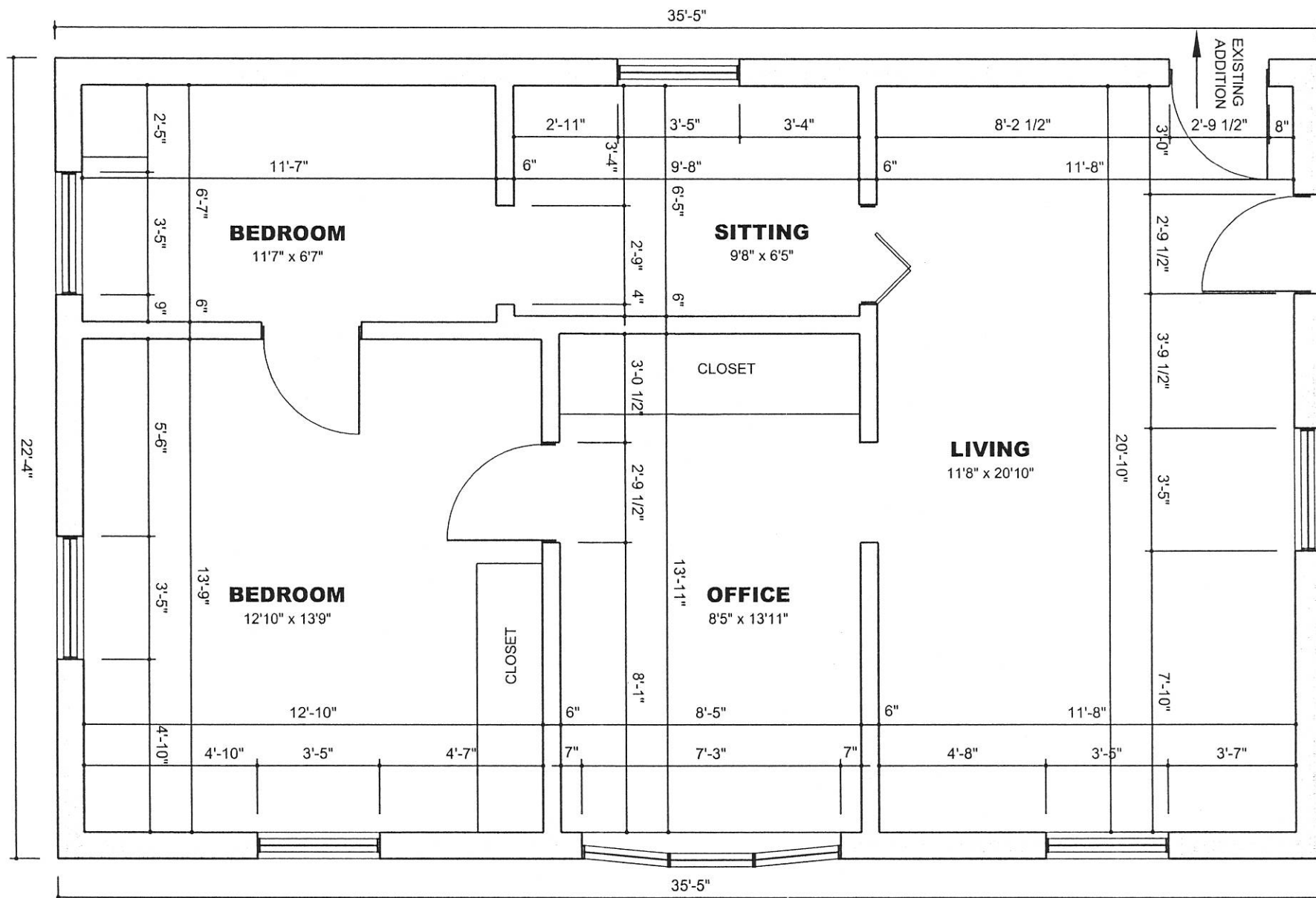
Drew house is recommend for designation for its historical importance to the town of NewMarket because of its age and Canadian craftsmanship. This house is rich in the Neo-Classical and Regency style. It is a great example of finely detailed mouldings by Canadian craftsmen. This early Canadian residence should definitely be preserved.



Town of Newmarket

Subject Area





FLOOR PLAN AS RENOVATED

SCALE: 1/4" = 1'-0"

DREW HOUSE

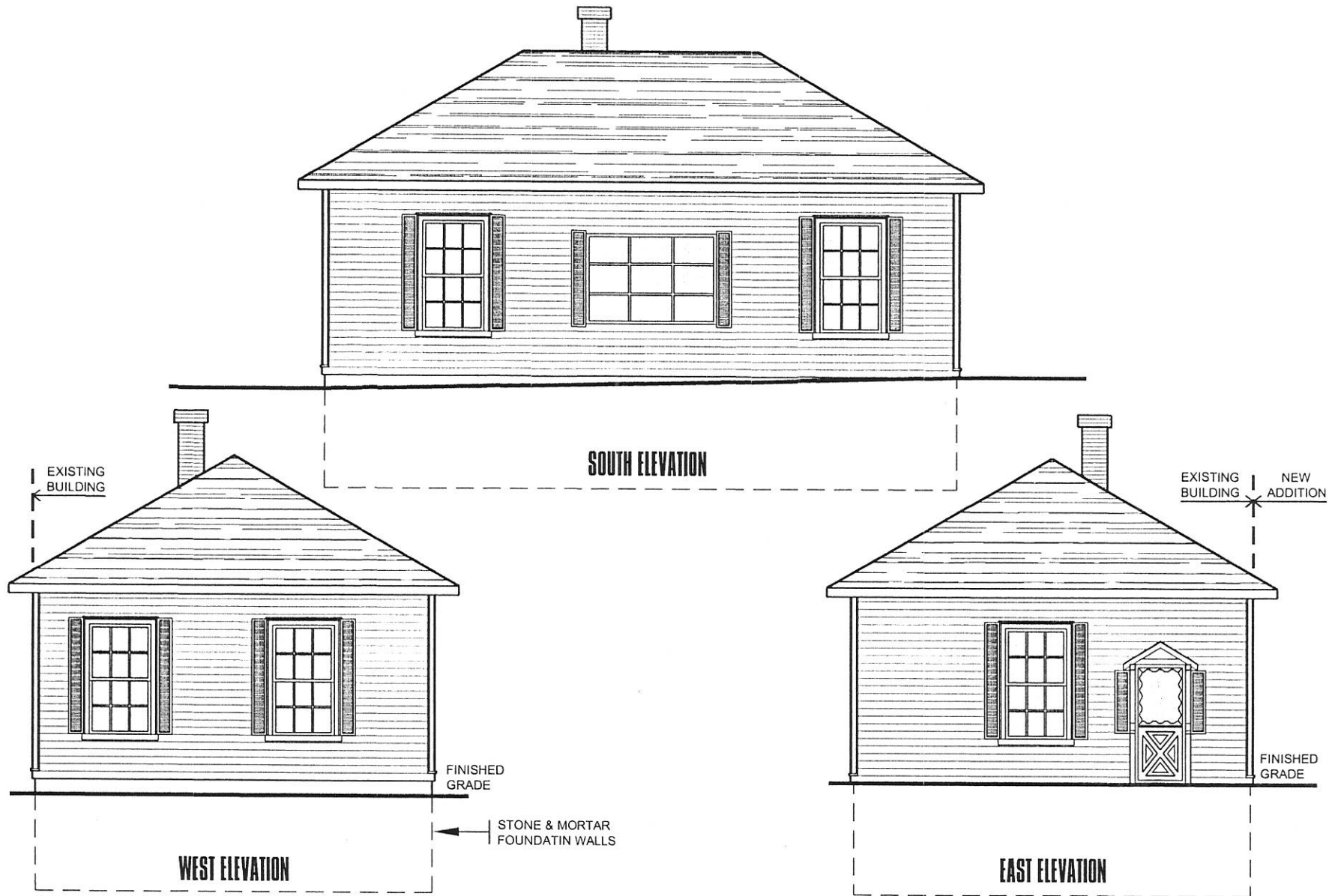
ADDRESS: 1075 GORHAM STREET
NEWMARKET, ONTARIO

DRAWN BY: DAVE FINLEY
JEFF HILLEN



HUMBER COLLEGE
School of Applied Technology

DATE PLOTTED: NOV 28, 2002
SCALE: 1/4" = 1'-0"



ELEVATIONS AS RENOVATED
 SCALE: 1/8" = 1'-0"

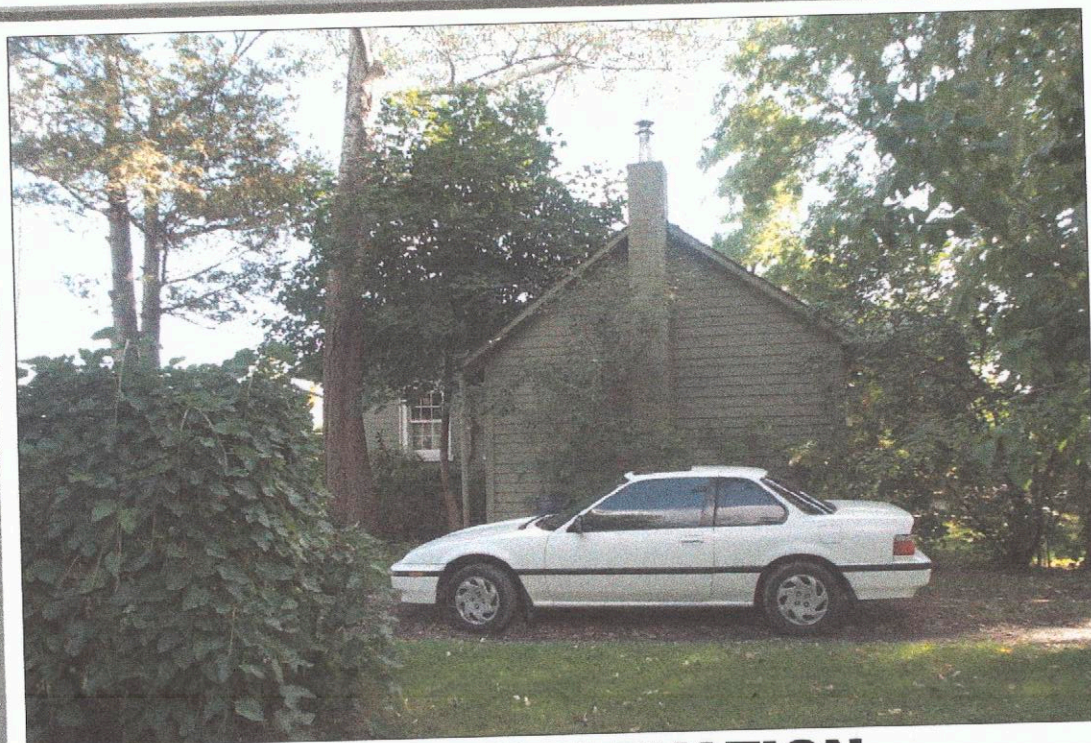
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NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



MAIN ENTRANCE, WEST FACE OF BUILDING

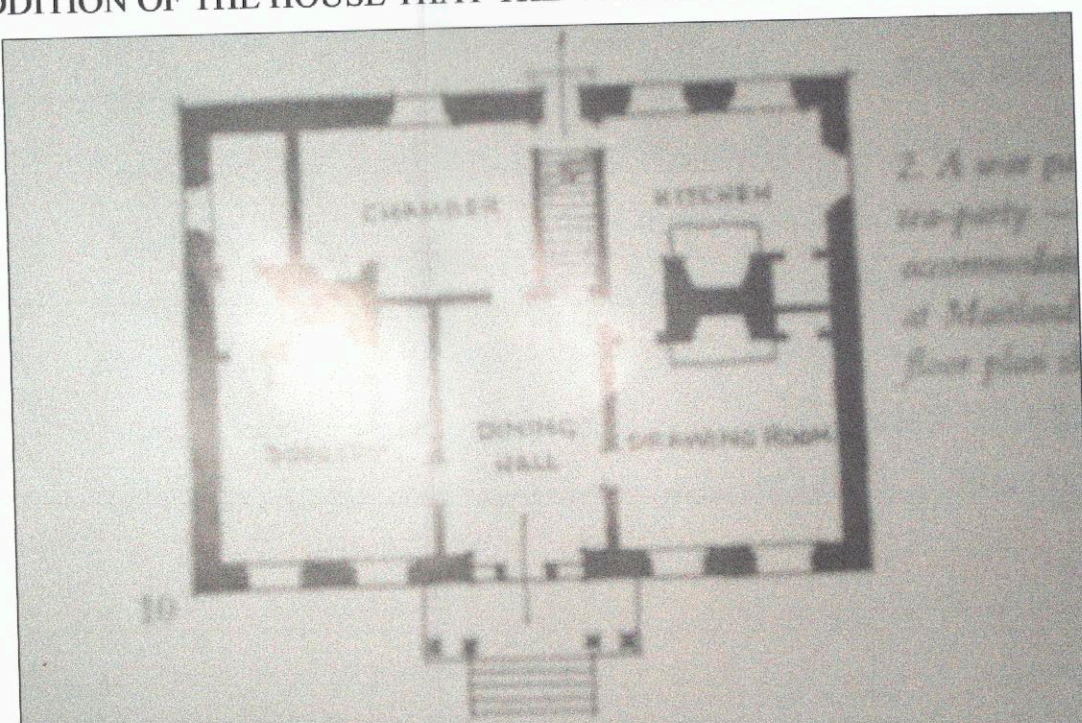
PIC. 1



CORNER COLUMN

PIC. 3

WHAT PLACES THE BUILDING IN NEO-CLASSICAL IS THE ANTIQUE DETAILED MOULDINGS FOUND AROUND THE DOORS AND WINDOWS IN THE INTERIOR. IT IS FOR THIS REASON THAT I CHOSE TO DO DETAILS OF THE MOULDINGS. THE OLD ENTRY ALSO APPEARS TO HAVE A BROAD FLAT-HEADED TRANSOM OVER THE DOOR. EVEN THE EXPRESSIONAL PRESENTATION OF THE STRUCTURE, SEEN AT THE EDGES OF THE BUILDING BY THE DETAILED COLUMNS(see pic. 3), EXPRESS THE IDEA OF NEO-CLASSICAL STYLE THAT THE BUILDING SHOULD CONSIST SOLELY OF THE ELEMENTS THAT SUPPORT THE BUILDING.



REGENCY FLOOR PLAN

PIC. 4

THIS NEO-CLASSICAL/REGENCY HOUSE IS LOCATED AT 1075 GORHAM ST. IN NEWMARKET ONTARIO AND IS OWNED BY TONY DREW. AS A RESULT OF THE UNKNOWN CONSTRUCTION DATE OF THE BUILDING, IT MAKES IDENTIFYING THE ARCHITECT OF THE HOUSE IMPOSSIBLE. WHAT IS SUSPECTED IS THE ORIGINAL OWNER OF THE BUILDING WAS A CARPENTER AND BUILT THE HOUSE USING THE REGENCY STYLE. THE BUILDING HAS GONE THROUGH MANY RENOVATIONS, AND AS A RESULT HAS ALTERED THE ORIGINAL FLOOR PLAN TO WHAT THEY ARE TODAY. FOR EXAMPLE DURING A RENOVATION THE FRONT ENTRY WAS REMOVED AND FILLED IN WITH A WINDOW (see pic.2), CAUSING THE WEST SIDE OF THE HOUSE TO BECOME THE NEW ENTRY(see pic.1).

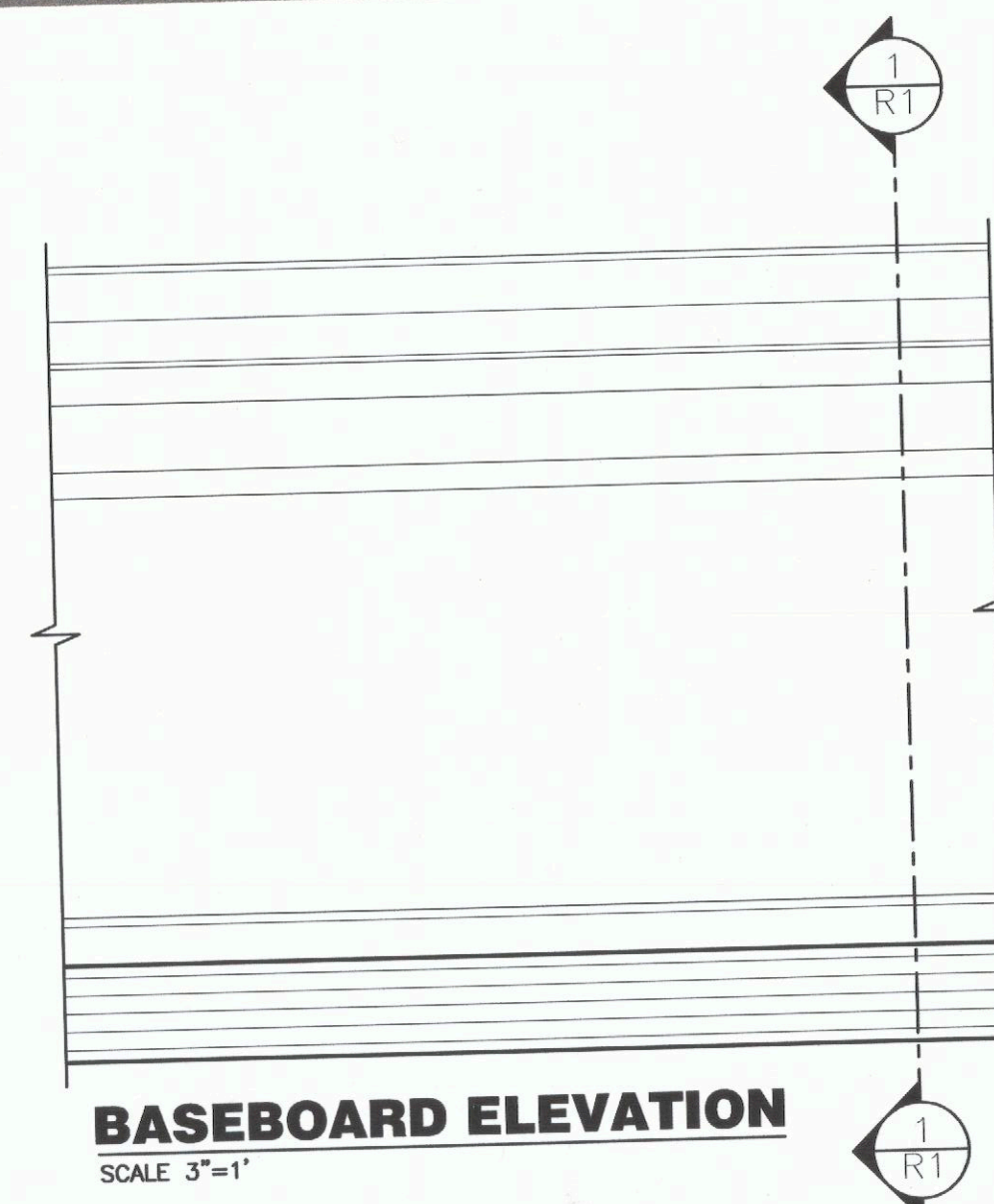
THE HOUSE CAN BE PLACED IN BOTH NEO-CLASSICAL AND REGENCY BECAUSE OF THE TYPICAL DETAILS USED IN BOTH STYLES FOUND ON THE BUILDING. THE CHARACTERISTIC STYLES OF REGENCY FOUND ON THIS HOUSE IS FOUND IN THE SYMMETRICAL SQUARE SHAPED FLOOR PLAN (see pic. 4) AND HIP ROOF. TYPICALLY REGENCY STYLE BUILDINGS HAVE A VERANDAH. IT IS POSSIBLE THAT DURING A RENOVATION AND/OR ADDITION OF THE HOUSE THAT THE VERANDAH WAS REMOVED.



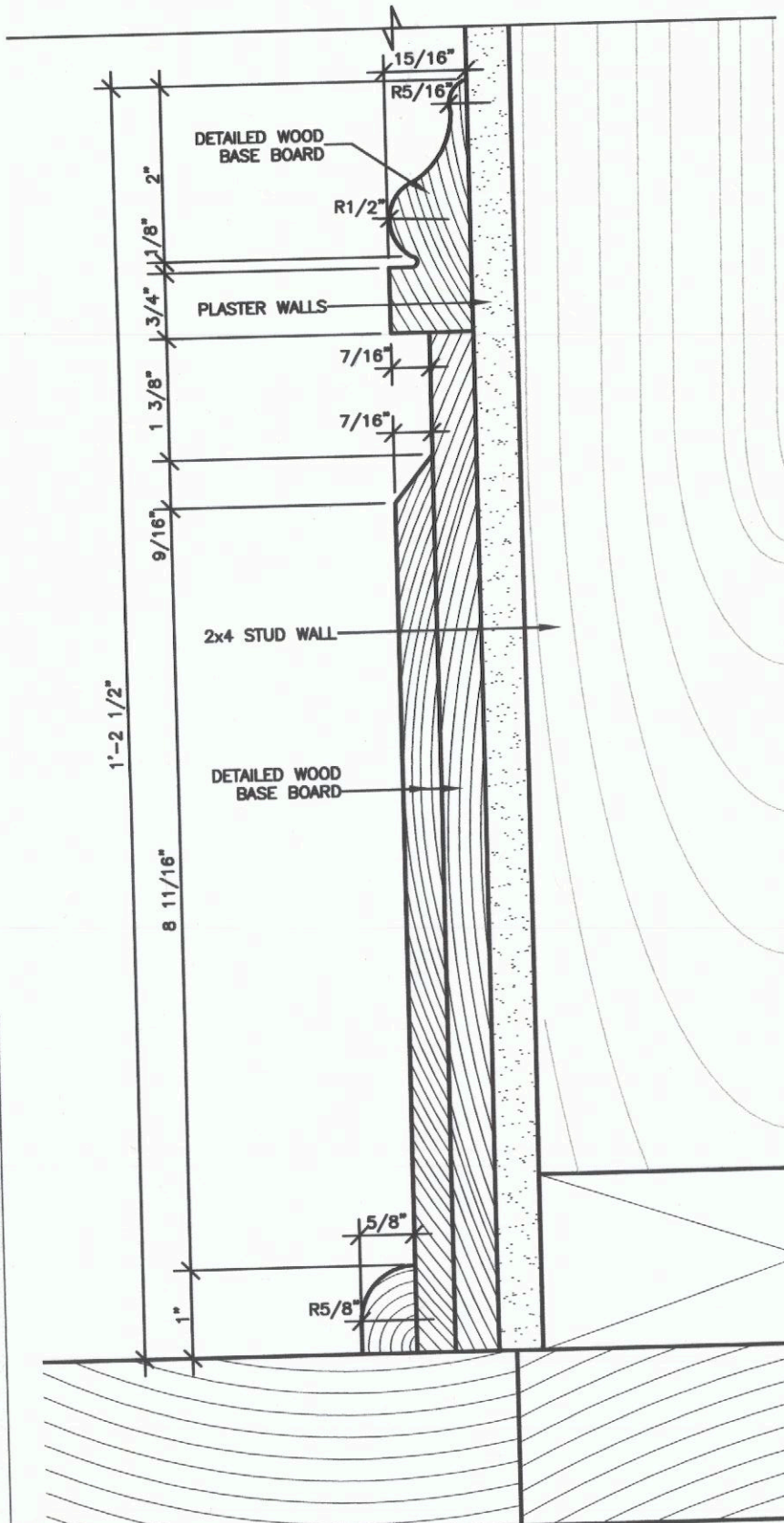
LIVING ROOM WINDOW



LIVING ROOM TO OLD ENTRY DOOR WAY



BASEBOARD ELEVATION
SCALE 3"=1"



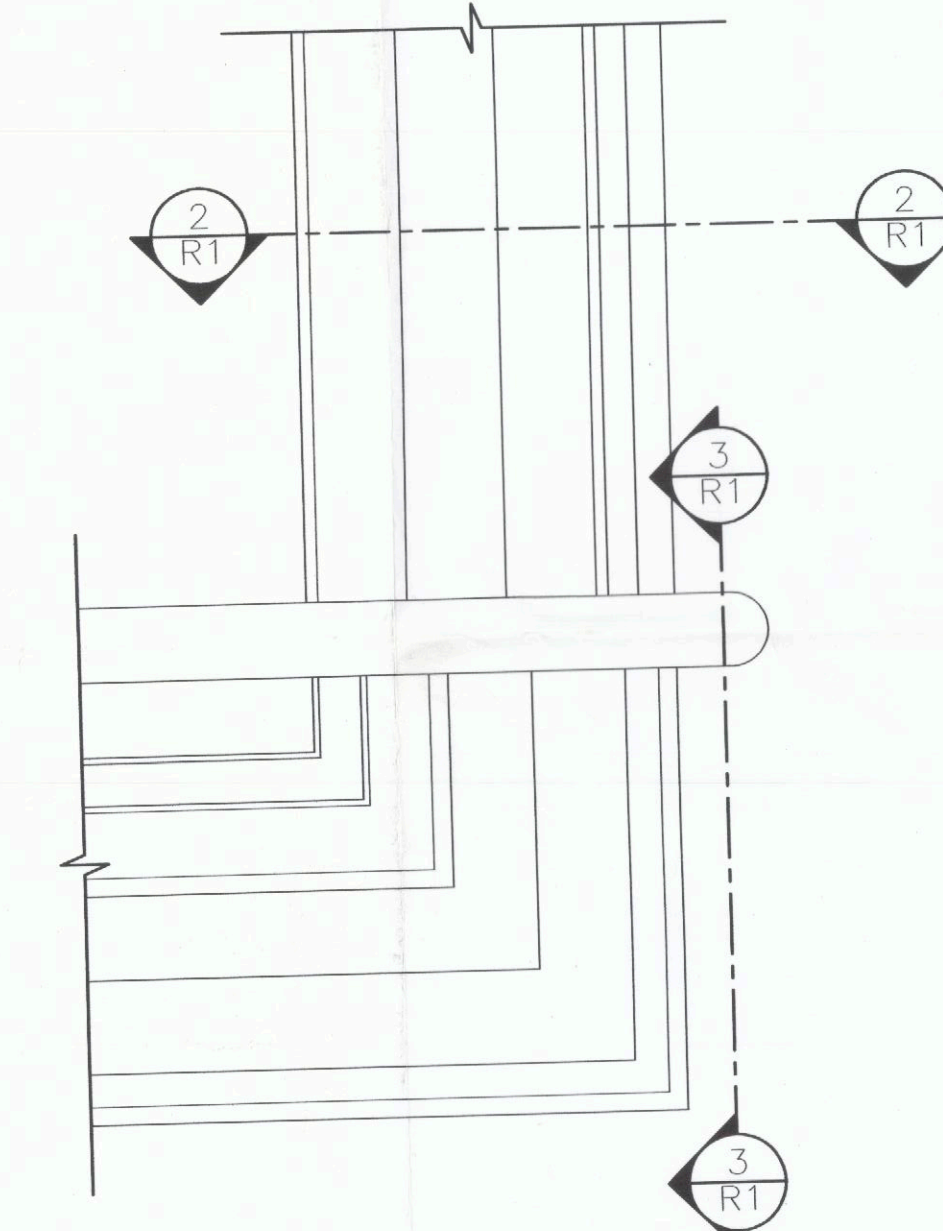
BASEBOARD SECTION
SCALE 6"=1"



BASEBOARD
NOT SCALED



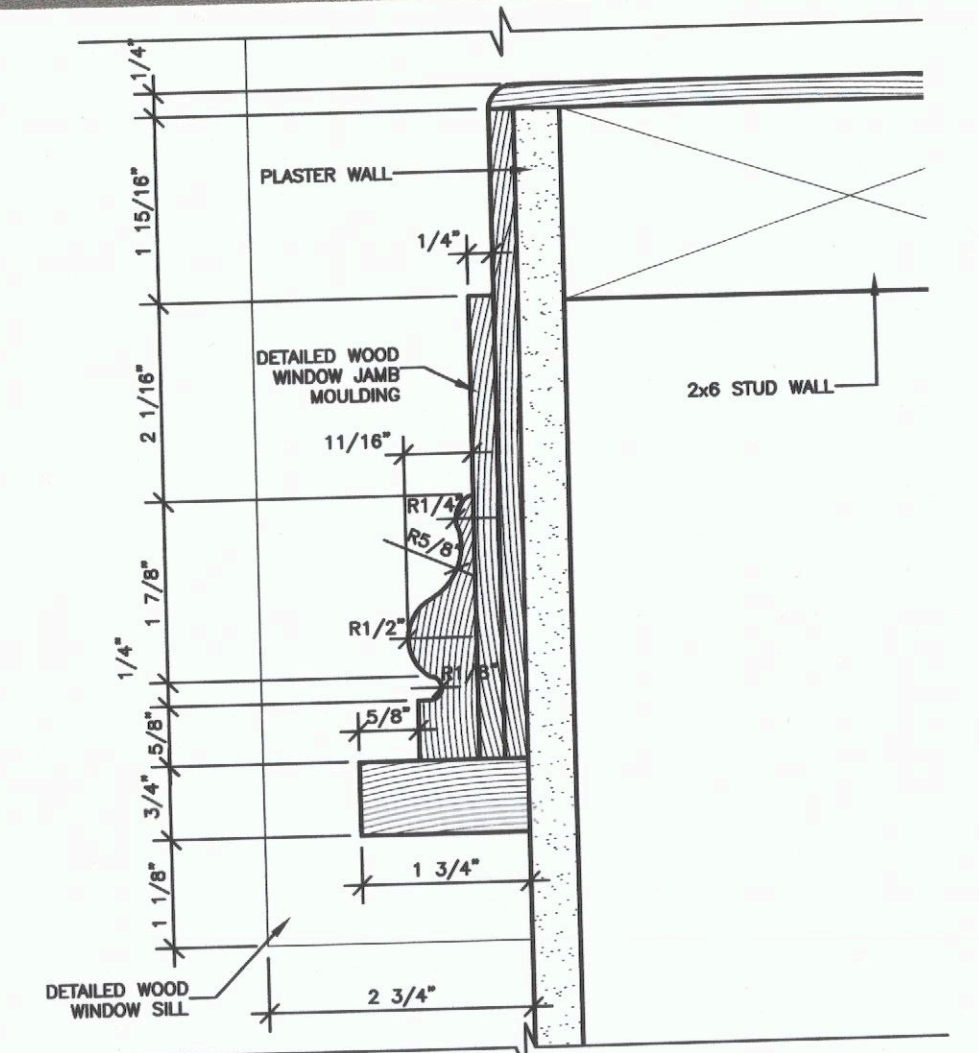
WINDOW JAMB
NOTE SCALED



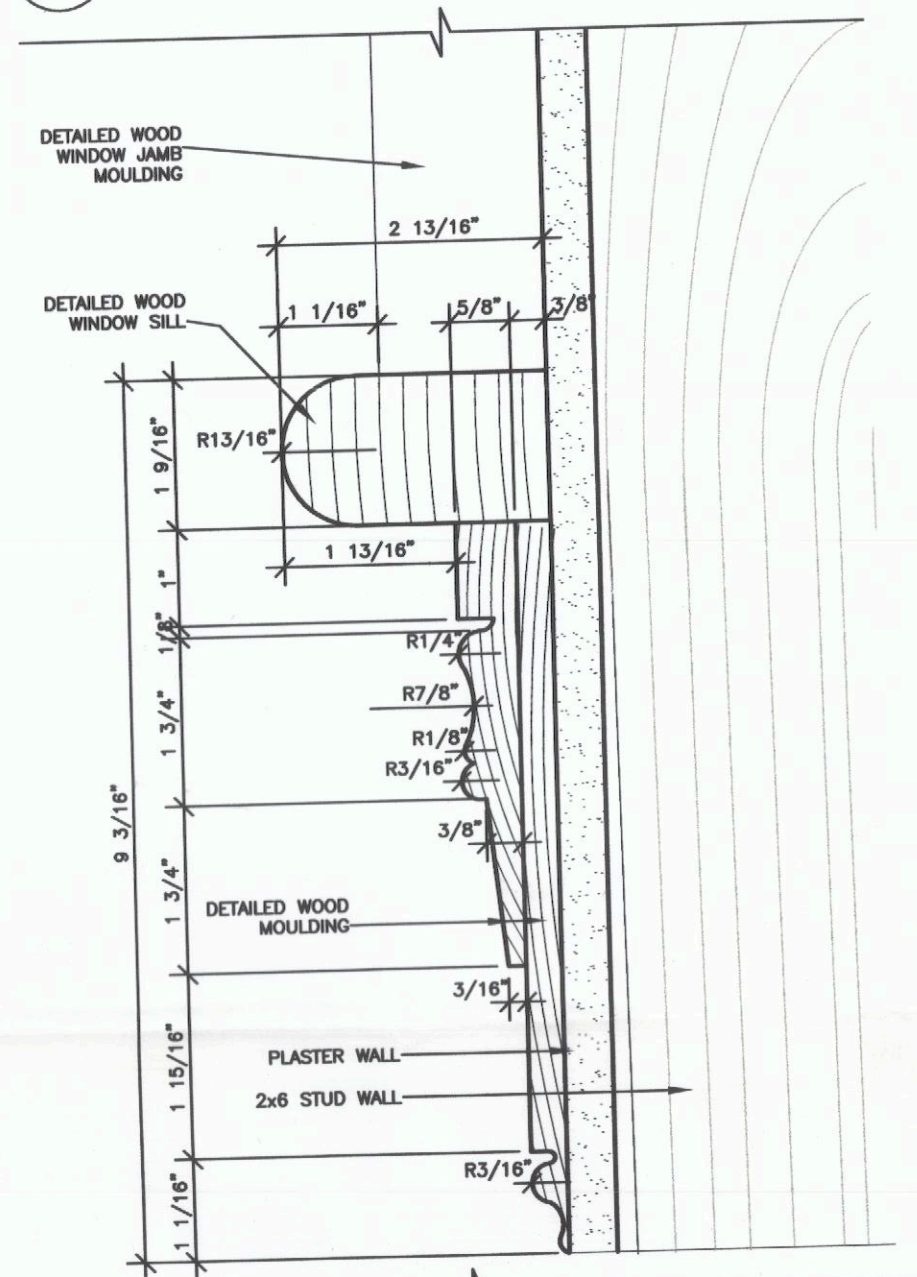
WINDOW JAMB/SILL ELEVATION
SCALE 3"=1"



WINDOW SILL AND TRIM
NOT SCALED



WINDOW JAMB SECTION
SCALE 6"=1"



WINDOW SILL SECTION
SCALE 6"=1"



CLIENT
TONY DREW

PROJECT TITLE
BUILDING DETAILS OF NINETEENTH CENTURY HOUSE
NEWMARKET ONTARIO

DRAWING TITLE
WINDOW SILL, JAMB AND BASEBOARD DETAILS

SCALE AS NOTED DATE PLOTTED OCT 2 2002
DATE 2 OCT. 2002 CAD. DRAWING PROJECT 2
DRN BY DAVE FINLEY DRAWING No **R1**



THIS HOUSE IS LOCATED IN NEW MARKET AT 1075 GORHAM STREET. IT IS ASSUME THE ORIGINAL OWNER, A CARPENTER, BUILT THE HOUSE FOR HIS FAMILY.

ALTHOUGH THE HOUSE HAS BEEN BUTCHERED BY RENOVATIONS AND ALTERATION THE ARCHITECTURAL STYLE OF THIS BUILDING SEEMS TO BE A CROSS BETWEEN NEO-CLASSICAL AND REGENCY.

THE SYMMETRICAL SQUARE SHAPED BUILDING AND HIP ROOF PUTS THIS BUILDING IN THE REGENCY STYLE. IT IS MISSING THE VERANDA THAT IS A TRADEMARK OF THE REGENCY STYLE. HOWEVER DURING A RENOVATION THE FRONT ENTRY WAS REMOVED AND FILLED IN WITH A 1950's BAY WINDOW. THE NEW ENTRY IS ON THE SIDE OF THE HOUSE. IT IS POSSIBLE THE VERANDA WAS REMOVE AT THIS TIME AS WELL.



THE FRONT ENTRY IS THE FIRST PLACE WHERE YOU CAN FIND DETAILS TO PLACE A BUILDING IN A PARTICULAR STYLE. SINCE THE FRONT ENTRY HAS BEEN REMOVED IT MAKES THIS HOUSE HARD TO PLACE.

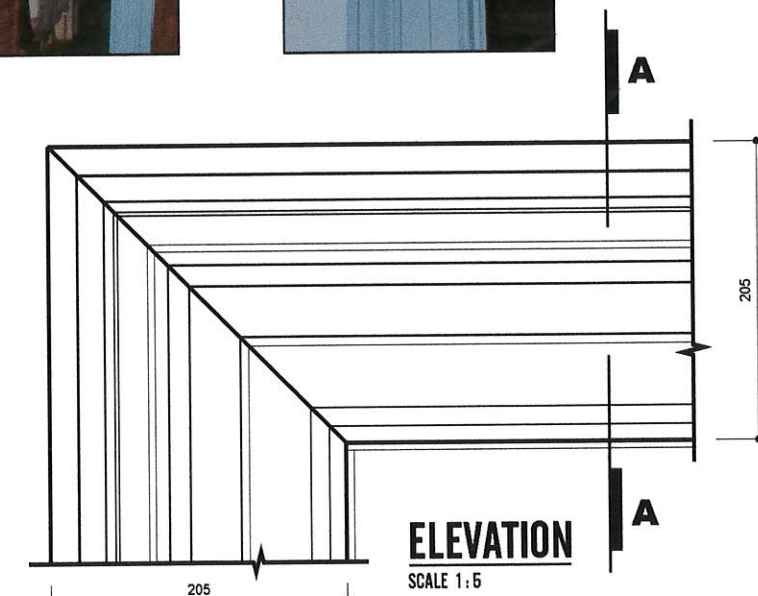
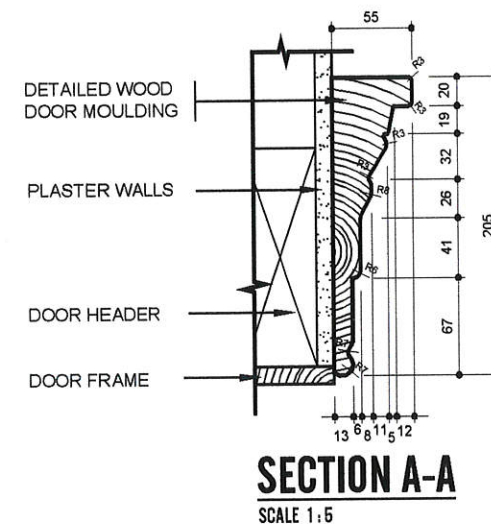
THE NEO-CLASSICAL STYLE COMES FROM THE OLD ENTRANCEWAY AND ANTIQUE DETAILED MOULDINGS AROUND DOORS AND WINDOWS ON THE INTERIOR (DETAIL A). THE OLD ENTRANCEWAY APPEARS TO HAVE A BROAD FLAT-HEADED TRANSOM OVER THE DOOR.

ANOTHER ASPECT OF NEO-CLASSICAL IS THE EXPRESSION OF STRUCTURE. CLASSIC ARCHITECTURE DETERMINED THAT A BUILDING SHOULD CONSIST SOLELY OF THE ELEMENTS THAT SUPPORT THE BUILDING. AS SEEN IN THIS BUILDING THE COLUMNS AT THE EDGES OF THE BUILDING ARE DETAILED TO EXPRESS THIS CLASSIC IDEA (DETAIL B).



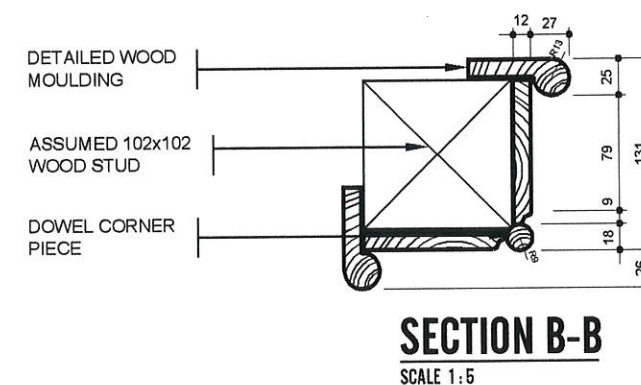
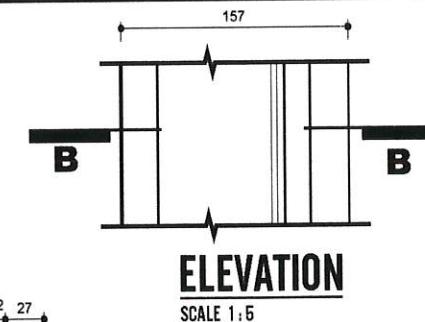
DETAIL A

DOOR MOULDING



DETAIL B

EXTERIOR BUILDING CORNER DETAIL



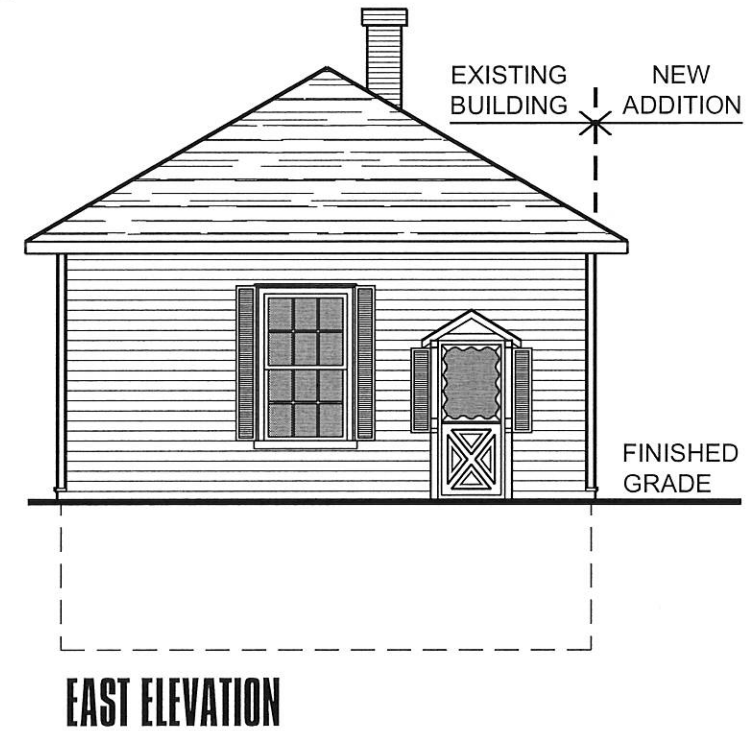
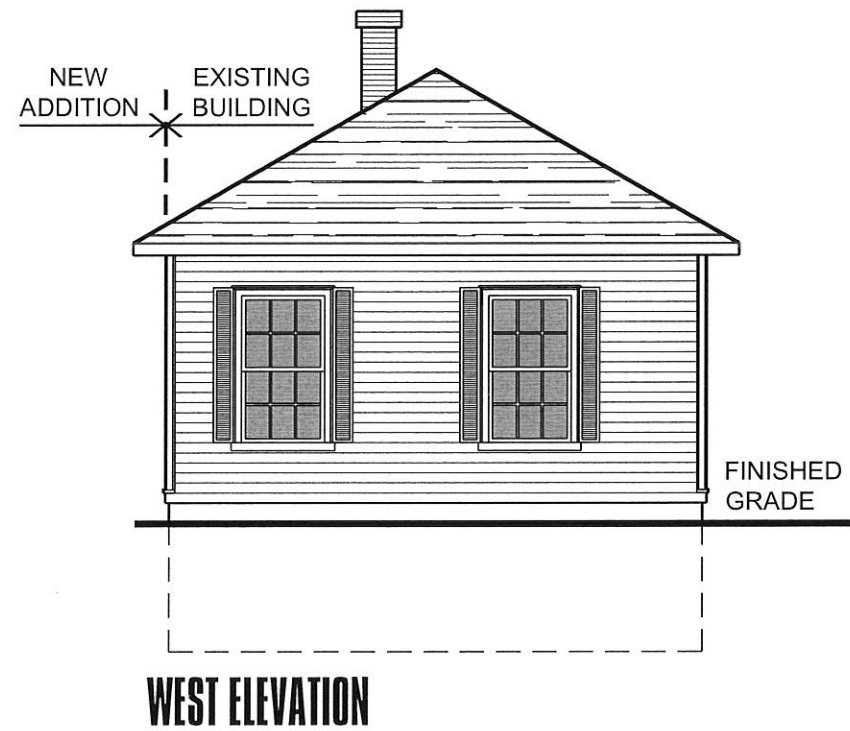
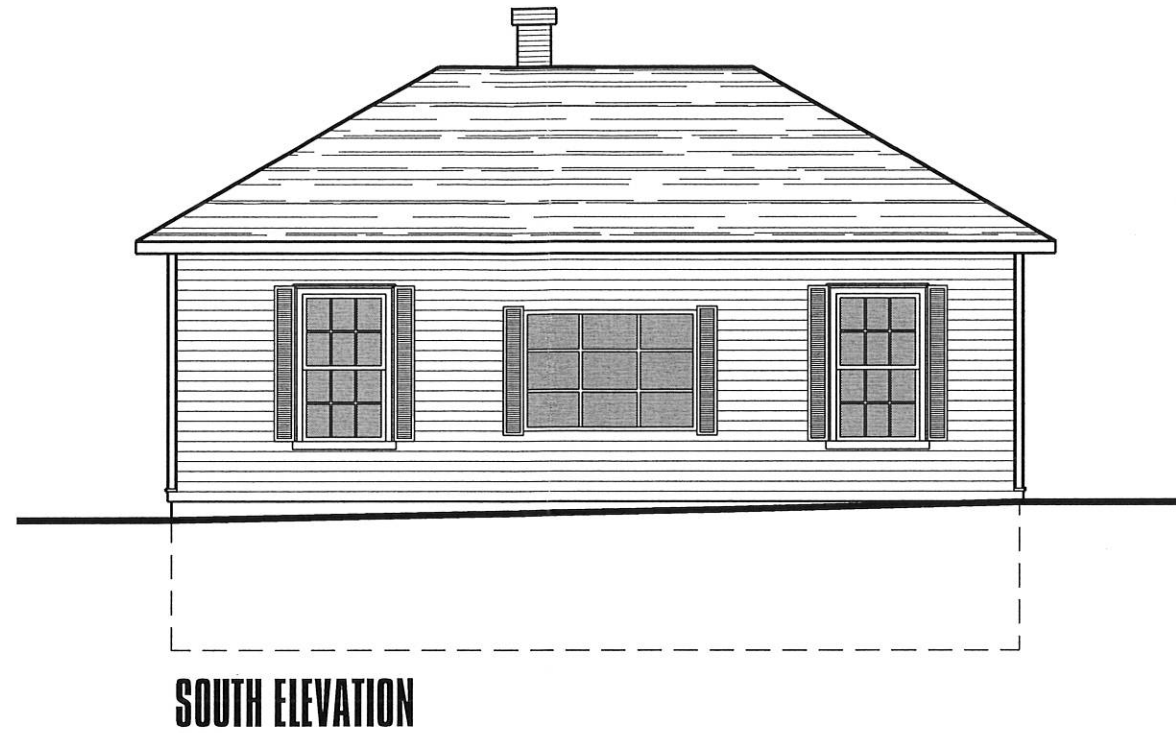
BUILDING - DREW HOUSE
OWNER - TONY DREW
LOCATION - NEW MARKET, ON

PROJECT 1:

DETAILS OF A 19TH CENTURY BUILDING

 **HUMBER COLLEGE**
School of Applied Technology

DRAWN BY: JEFF HILLEN
DATE: OCTOBER 7, 2002
COURSE: RENOVATION AND RESTORATION



ELEVATIONS AS RENOVATED

SCALE: 1/8" = 1'-0"

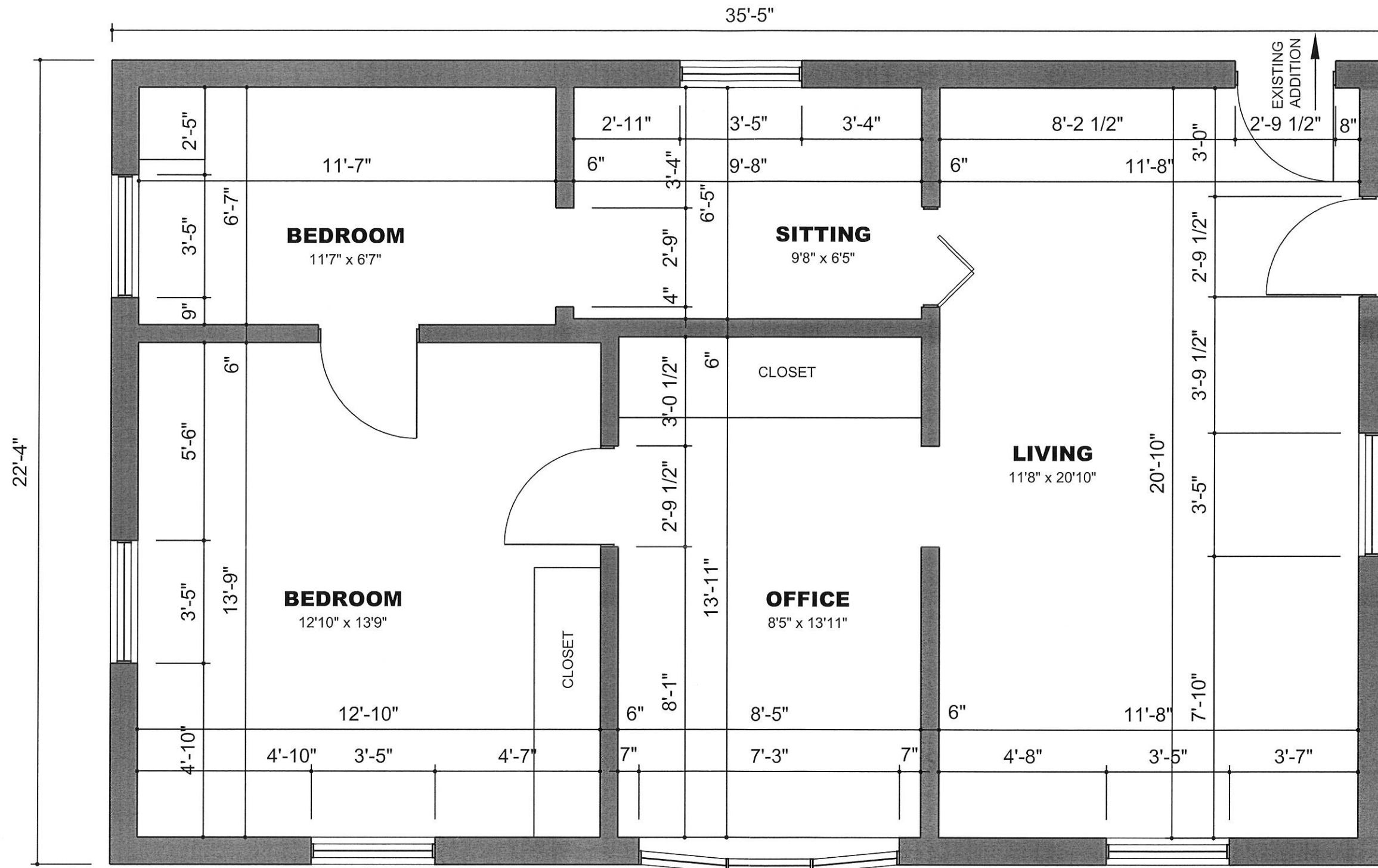
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DATE PLOTTED: NOV 28, 2002
SCALE: 1/8" = 1'-0"



FLOOR PLAN AS RENOVATED

SCALE: 5/16" = 1'-0"

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SCALE: 5/16" = 1'-0"