



Town of Newmarket

# Agenda

## Heritage Newmarket Advisory Committee

Tuesday, January 23, 2018 at 7:00 PM

Mulock Room, 395 Mulock Drive

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### Additions & Corrections to Agenda

### Declarations of Pecuniary Interest

### Presentations/Deputations

### Approval of Minutes

1. Heritage Newmarket Advisory Committee Meeting Minutes of December 5, 2017. Pg. 3

### Correspondence

2. Correspondence from the Town of Newmarket Planning Department – proposed Official Plan Amendment and Zoning By-law Amendment regarding 1038 & 1040 Jacarandah Dr. Pg. 6
3. Correspondence from the Committee of Adjustment – Notice of Decision regarding 172-174 Victoria St. Pg. 23
4. Correspondence from the Committee of Adjustment regarding the property located at 357 Andrew St. Pg. 37
5. Correspondence from the Committee of Adjustment – Application for Zoning By-law Amendment for 285 Harry Walker Parkway South Pg. 49

### Items

6. Operating Results for the Eleven Months ending November 30, 2017 Pg. 58
7. 353 Ontario Street Demolition Permit Request

## **Reports of Committee Members**

8. Designated Property Maintenance and Concerns:
  - a) Site Plaques
  - b) Residence Plaques
  - c) Heritage Location Plaques
9. Sub Committee Reports
  - a) Architecture, Recreation, Culture, Heritage (ARCH) Committee
  - b) Elman W. Campbell Museum Board
  - c) Lower Main Street South Heritage Conservation District Advisory Group
  - d) Newmarket Historical Society Board of Directors

## **New Business**

## **Adjournment**



Town of Newmarket  
**Minutes**

## Heritage Newmarket Advisory Committee

Tuesday, December 5, 2017 at 7:00 PM

Mulock Room, 395 Mulock Drive

The meeting of the Heritage Newmarket Advisory Committee was held on Tuesday, December 5, 2017 in the Mulock Room, 395 Mulock Drive, Newmarket.

Members Present: Councillor Hempen  
 Athol Hart, Chair  
 Billie Locke, Vice Chair  
 Malcom Watts  
 Rohit Singh

Absent: Soni Felix Raj  
 Joan Seddon

Staff Present: D. Ruggle, Senior Planner – Community Planning  
 A. Walkom, Council Committee Coordinator

The meeting was called to order at 7:00 PM with Athol Hart in the Chair.

### **Presentations/Deputations**

Tom Toth appeared before the Committee to give an update on the recent fire in the barn at the Toth Family Farm on Davis Drive. He informed the Committee of his hopes to deconstruct and remove the barn so that the materials could be reused at another location.

Moved by: Councillor Hempen  
 Seconded by: Rohit Singh

1. That the deputation by Tom Toth be received.

**Carried**

## **Additions & Corrections to Agenda**

None.

## **Declarations of Pecuniary Interest**

None.

## **Approval of Minutes**

1. **Item 5 of the Heritage Newmarket Advisory Committee Minutes of October 3, 2017 and the Heritage Newmarket Advisory Committee Minutes of November 7, 2017.**

Moved by: Billie Locke  
Seconded by: Rohit Singh

1. That Item 5 of the Heritage Newmarket Advisory Committee Minutes of October 3, 2017, be approved; and,
2. That the Heritage Newmarket Advisory Committee Minutes of November 7, 2017, be approved.

**Carried**

## **Correspondence**

2. **Correspondence from the Committee of Adjustment regarding the property located at 357 Andrew Street.**

Moved by: Malcolm Watts  
Seconded by: Councillor Hempen

1. That the Heritage Newmarket Advisory Committee has no objection to the application, if the character of the infill were to reflect the neighbourhood.

**Carried**

**3. Correspondence from the Committee of Adjustment regarding the property located at 172 Victoria Street.**

Moved by: Billie Locke  
 Seconded by: Malcolm Watts

1. That the Heritage Newmarket Advisory Committee recommend that the Committee of Adjustment defer this matter until Heritage Newmarket has had an opportunity to evaluate the existing structure and its heritage value and to allow time for the proponent to show the design intention of the proposed replacement building and how it fits into the streetscape of the heritage community.

**Carried**

**Items**

None.

**Reports of Committee Members**

**4. Designated Property Maintenance and Concerns:**

- a. Stickwood Walker Farm Follow-up

Athol Hart provided an update on his recent discussions with the Town of Newmarket's Legal Department regarding the Stickwood Walker Farm property.

- b. Site Plaques

There was no discussion on this matter.

- c. Residence Plaques

Rohit Singh provided a brief update on the program.

- d. Heritage Location Plaques

Athol Hart provided an update on the plaques to be installed in the Heritage Conservation District, as well as the upcoming walking tour of the area by the ARCH Committee.

## 5. Sub Committee Reports

### a. Architecture, Recreation, Culture, Heritage (ARCH) Committee

Athol Hart provided an update on the ARCH Committee's recent activities including a World War I memorial display at the Museum and the Walk of Remembrance.

### b. Elman W. Campbell Museum Board

Billie Locke provided an update on the recent Museum events including the Santa Claus visit and the Gift Shop sale.

### c. Lower Main Street South Heritage Conservation District Advisory Group

Athol Hart provided an update on the restoration of the building to be the future location of Bike Sports.

### d. Newmarket Historical Society Board of Directors

There was no discussion on this matter.

## New Business

## 6. Toth Farm Deputation

Moved by: Billie Locke  
Seconded by: Councillor Hempen

1. That the Heritage Newmarket Advisory Committee make a request of the Planning and Building Departments to see what options are available to allow time for the Toth family to deconstruct the barn efficiently and safely, and remove the barn to a new site.

**Carried**

## 7. Brochures

Athol Hart provided an update on the Heritage Brochures being produced by the Committee. Athol Hart will work with Planner Meghan White to customize the brochures for printing.

## 8. Update from December 4 Council Meeting

The Senior Planner provided an update on the outcome of the December 4 Council meeting. Council voted to maintain 770 Gorham Street on the Municipal Register and begin a process of Heritage designation for 171 Church St. Discussion ensued on possible next steps.

## 9. 2018 Plan for Heritage Designations

Athol Hart provided an update on three properties which the Committee could recommend for designation in 2018. These include the Ghost Canal and the remains of the Eli Gorham dam, which are both properties owned by the Town of Newmarket. The third is the headquarters building for York Region.

Moved by: Malcolm Watts

Seconded by: Billie Locke

1. That the Heritage Newmarket Advisory Committee pursue designation for the following properties owned by the Town of Newmarket:
  - a. Ghost Canal;
  - b. Remains of Eli Gorham Dam; and,
2. That the Heritage Newmarket Advisory Committee begin talks with the Region of York regarding designation for the Administrative Centre building.

**Carried**

## Adjournment

The meeting adjourned at 8:31 PM.

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Date

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A. Hart, Chair



Planning and Building Services

TOWN OF NEWMARKET  
395 Mulock Drive  
P.O. Box 328  
Newmarket, ON L3Y 4X7

www.newmarket.ca  
planning@newmarket.ca  
905.953.5321

## Notice of Complete Application

### Official Plan Amendment and Zoning By-law Amendment

PROPERTY DESCRIPTION: 1038 & 1040 Jacarandah Drive  
South side of Jacarandah Drive, west of Leslie Street

APPLICANT: 2529437 Ontario Ltd.

File Numbers: D9-NP1712 (Official Plan Amendment)  
D14-NP1712 (Zoning By-law Amendment)

The Town of Newmarket has received an application for a proposed Official Plan Amendment and Zoning By-law Amendment. The applicant is proposing to amend the Official Plan and Zoning By-law to permit four 3-storey condominium residential townhouse blocks totaling 30 units, with a height of 11.14 metres and building coverage of 1,607.4 square metres.

This application is deemed complete under the Planning Act. A map detailing the location of the subject lands is on the reverse of this page.

A statutory public meeting as required by the Planning Act will be held at a future undetermined date. Notice of the future statutory public meeting will be mailed from the Town of Newmarket no less than 20 days prior to the meeting date.

#### More information:

The public may view planning documents and background material at the Development and Infrastructure Services Planning Department between 8:30 a.m. and 4:30 p.m., Monday through Friday. Questions, written submissions or requests for notification may be directed to:

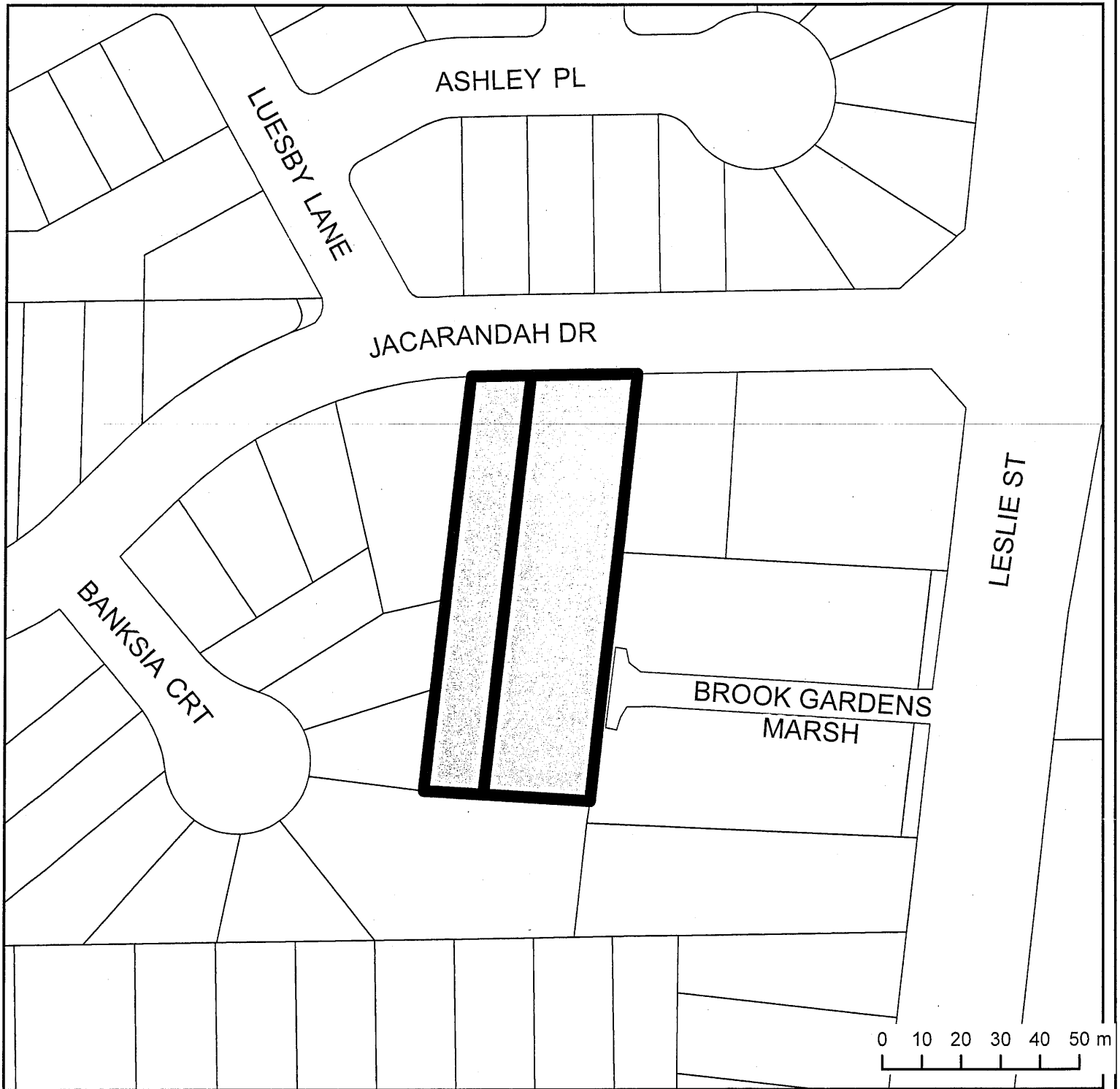
Matthew Peverini, BURPI, B.Sc., Planner  
Planning and Building Services: Planning Division  
Town of Newmarket  
395 Mulock Drive  
PO Box 328 Stn Main  
Newmarket, ON L3Y 4X7  
mpeverini@newmarket.ca

*Dated at the Town of Newmarket this 5<sup>th</sup> day of December, 2017*



# LOCATION MAP

**1038 & 1040 Jacarandah Drive  
South side of Jacarandah Drive,  
West of Leslie Street**



0 10 20 30 40 50 m



Subject Lands

**Town of Newmarket Planning Department**





# PLANNING AND BUILDING SERVICES

**Town of Newmarket**

395 Mulock Drive

P.O. Box 328, STN Main

Newmarket, ON L3Y 4X7

www.newmarket.ca

planning@newmarket.ca

T: 905.953.5321

F: 905.953.5140

TO: Region of York, Intake Team  
 Heritage Newmarket  
 Lake Simcoe Region Conservation Authority  
 Rogers Cable TV  
 York Region District School Board  
 York Catholic District School Board  
 Bell Canada  
 Bell Canada/Right-of-Way-Call Centre  
 Newmarket Hydro  
 Enbridge Consumers Gas  
 Hydro One Networks Inc.  
 Health and Social Services  
 Conseil scolaire de district catholique Centre-Sud  
 Canada Post  
 York Regional Police

DATE: December 5, 2017

SUBJECT: Application for Official Plan Zoning By-law Amendments  
 1038 & 1040 Jacarandah Drive  
 Town of Newmarket  
 2529437 Ontario Ltd.  
 File Nos.: D9-NP1712 (Official Plan Amendment), D14NP1712 (Zoning By-law Amendment)

Please find attached a copy of the above captioned Official Plan Amendment and Zoning By-law Amendment application, surveys, proposed site plan, elevation plans, hardscape plans and planting plans. The application proposes to amend the existing Residential Detached Dwelling 15m (R1-D) Zone on the subject lands to permit a 3-storey, 30-unit condominium residential townhouse development. Please direct any comments you may have on this proposal to Planning Services by January 9, 2018.

Matthew Peverini, BURPI, B.Sc.  
 Planner

Copy: Mayor Tony Van Bynen  
 R.N. Shelton, Chief Administrative Officer  
 Jane Twinney, Councillor Ward 3  
 Dave Ruggle, Senior Planner – Community Planning  
 Sherry Larjani, Netthaus Design-Build

Attachments: Application, Surveys, Site Plan, Elevations, Hardscape Plan, Planting Plan


**PLANNING & BUILDING SERVICES**

Town of Newmarket

395 Mulock Drive

P.O. Box 328, STN Main

Newmarket, ON L3Y 4X7

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planning@newmarket.ca

T: 905.953.5321

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**PLANNING APPLICATION FORM**

USE FOR ALL APPLICATIONS

**FOR OFFICE USE**

 RECEIVED BY: *M. Peveri*

 DATE RECEIVED: *Nov 8, 2017*

 APPLICATION FEE: *OPA + 2BA \$49,662.13*

 FILE NUMBER: *D9 NP 17-12 (OPA)*
*D14 NP 17-12 (2BA)*

APPLICATION IS SUBMITTED FOR: (Mark all appropriate boxes)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> OFFICIAL PLAN AMENDMENT | <input type="checkbox"/> DRAFT PLAN OF SUBDIVISION |
| <input checked="" type="checkbox"/> ZONING BYLAW AMENDMENT  | <input type="checkbox"/> DRAFT PLAN OF CONDOMINIUM |
| <input type="checkbox"/> SITE PLAN APPROVAL                 | <input type="checkbox"/> PART LOT CONTROL          |
| <input type="checkbox"/> AMENDMENT TO SITE PLAN APPROVAL    | <input type="checkbox"/> OTHER: _____              |

 REGISTERED OWNER: *2529437 Ontario Ltd.*

 ADDRESS: *7191 Yonge St, Suite 1101* CITY: *Thornhill*

 POSTAL CODE: *L3T 0C4* PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

 E-MAIL ADDRESS: *Sherry@NettHaus.com*

PLEASE LIST ADDITIONAL PROPERTY OWNERS ON AN ATTACHED SHEET

 BENEFICIAL OWNER: (If applicable) *Same as below.*

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_

POSTAL CODE: \_\_\_\_\_ PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

E-MAIL ADDRESS: \_\_\_\_\_

 AGENT: (If other than either of the above) *NettHaus Design Build.*

 ADDRESS: *30 Wertheim Crt,* CITY: *R14*

 POSTAL CODE: *L4B 1B9* PHONE: *905-695-9052* FAX: \_\_\_\_\_

 E-MAIL ADDRESS: *Sherry@NettHaus.com*

SEND INVOICES TO: (Mark appropriate boxes)

- |                                |  |   |
|--------------------------------|--|---|
| <input type="checkbox"/> OWNER | <input checked="" type="checkbox"/> BENEFICIAL OWNER | <input checked="" type="checkbox"/> AGENT |
|--------------------------------|--|---|

SEND CORRESPONDENCE TO: (Mark appropriate boxes)

- |                                |  |   |
|--------------------------------|--|---|
| <input type="checkbox"/> OWNER | <input checked="" type="checkbox"/> BENEFICIAL OWNER | <input checked="" type="checkbox"/> AGENT |
|--------------------------------|--|---|

## LOCATION AND DESCRIPTION OF PROPERTY

MUNICIPAL ADDRESS: 1038 + 1040 Jacaranda Drive

LOT: CONCESSION:

LOT: REGISTERED PLAN:

AND/OR

PART: REFERENCE PLAN (If relevant):

LOT AREA (ha):

LOT FRONTAGE (m):

LOT DEPTH (m):

## EXISTING STRUCTURES: (Give height &amp; floor area)

Two detached single family houses

## PROPOSED STRUCTURES: (Give height &amp; floor area)

30 townhomes, 3-storeys (11.14m),  
4,527.5m<sup>2</sup>

DOES THE APPLICANT HAVE AN INTEREST IN ANY ADJACENT LANDS? IF YES, PLEASE DESCRIBE:

NO

## LAND USES

PRESENT USE: single detached dwellings

PROPOSED USE: 30 unit townhomes

PRESENT OFFICIAL PLAN DESIGNATION: Stable Residential

PROPOSED OFFICIAL PLAN DESIGNATION: (If applicable) Stable Residential  
allowing townhomes

PRESENT ZONING BYLAW CLASSIFICATION: R1-D

PROPOSED ZONING BYLAW CLASSIFICATION: (If applicable)

- ☒ Pre-consultation with municipal staff on application - Date: April 26 / 2016
- ☒ Indicate whether this application conforms to the Provincial Policy Statements (2005)
- ☒ Indicate whether this application conforms (or does not conflict) with all other Provincial Plans

(Further details may be required in a Planning Justification Report)

PROPOSED TENURE TYPE: (If applicable)

☐ FREEHOLD      ☐ CONDOMINIUM      ☐ RENTAL

SERVICINGSANITARY SERVICING:

☐ MUNICIPAL      ☐ PRIVATE SEPTIC SYSTEM

☐ OTHER: \_\_\_\_\_

WATER SUPPLY:

☐ MUNICIPAL      ☐ PRIVATE WELL

☐ OTHER: \_\_\_\_\_

DATE OF ACQUISITION OF LAND

BY OWNER: July 29, 2016

AND IN THE CASE OF A BENEFICIAL OWNER, ANTICIPATED DATE OF CLOSING: \_\_\_\_\_

The personal information on this form is collected under the *Planning Act*, R.S.O. 1990, c.P.13, as amended. The information is used for the purpose of processing your application. If you have any questions about this collection of personal information, please contact the Planning Division, Town of Newmarket, at (905) 953-5321.

DECLARATION

I, Ali Etemadi, President of 2529437 Ontario Ltd.

of the City of Toronto

in the Province of Ontario

SOLEMNLY DECLARE THAT:

ALL THE WITHIN STATEMENTS AND THE STATEMENTS CONTAINED IN ALL OF THE EXHIBITS TRANSMITTED HERewith, ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH AND BY VIRTUE OF THE CANADA EVIDENCE ACT.

FOR PURPOSES OF THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I AUTHORIZE AND CONSENT TO THE USE BY OR DISCLOSURE TO ANY PERSON OR PUBLIC BODY OF ANY PERSONAL INFORMATION IN THIS APPLICATION THAT IS COLLECTED UNDER THE AUTHORITY OF THE PLANNING ACT FOR THE PURPOSE OF PROCESSING YOUR APPLICATION.

Declared before me at the City of Markham

in the Regional Municipality of York

this 3rd day of May A.D. 2017

[Signature]  
A Commissioner, etc.

[Signature]  
Signature of Owner, Beneficial Owner or Agent

Sean S. Larijani  
Barrister & Solicitor  
7191 Yonge Street, Suite 1112  
Thornhill, ON L3T 0C4  
Canada

CERTIFICATE

(TO BE SIGNED BY OWNER, EVEN IF AGENT HAS BEEN APPOINTED)

As of the date of this application, I am the registered owner of the lands described in the application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I authorize the submission of this application on my behalf by:

\_\_\_\_\_  
(Please Print) AND/OR NetHaus Design Build / shahrazad (sherry) Larjani  
(Please Print)  
BENEFICIAL OWNER (If applicable) WHOM I HAVE APPOINTED AS MY AGENT

With the submission of my application, I hereby undertake to not permit the cutting down of any trees or the disturbance of any vegetative cover in any way as it exists on the land which is the subject of this application without the prior written approval of the Town.

I hereby also undertake to not permit the demolition and/or destruction of any building and/or structure in any way as it exists on the land which is the subject of this application without the prior written approval of the Town.

I hereby also undertake to have any sign, which is required to be erected to provide notification of a public meeting, removed within seven days after the public meeting is held.

I hereby acknowledge that the Town or its representatives, and applicable public agencies have permission to access the property for the purposes of reviewing this application.

I hereby agree and acknowledge that the information contained in this application and any supporting information, including reports, studies, and drawings, provided with this application by me, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I hereby consent to the Town of Newmarket making this application and its supporting information available to the general public, including copying, posting on the Town's website and/or releasing a copy of the application and any of its supporting information to any third party upon their request, and as part of a standard distribution of copies of such documentation, I consent to the Town releasing copies of any of the documentation to additional person, including but not limited to members of Council and ratepayers' associations.

DATE: May 3<sup>rd</sup>, 2017 SIGNED: \_\_\_\_\_  
Signature of Owner

Ali Etemadi, President of 2529437 Ontario Ltd  
Print Name of Owner

(AFFIX CORPORATE SEAL IF APPLICABLE)

**GUIDELINES FOR PLANNING APPLICATIONS**

Planning Department  
Town Of Newmarket  
P.O. Box 328, STN MAIN  
395 Mulock Drive  
NEWMARKET, ON L3Y 4X7

Telephone No.: (905) 953-5321  
Fax No.: (905) 953-5140

Pre-consultation with Planning Department staff is required prior to submission of an application for Official Plan Amendment, Zoning Bylaw Amendment, Draft Plan of Subdivision Site Plan Approval, and Amendment to Site Plan Approval.

Applications must be received IN FULL, including the Application form, fees and drawings prior to processing by staff. Applications must be considered complete by the municipality in order to commence processing. Within 30 days of submitting the application, you will be notified by staff, as to whether or not the application is considered complete.

Draft Plan of Subdivision, Official Plan Amendment and Zoning Bylaw Amendment applications require the preparation of a staff report prior to consideration by Committee of the Whole and therefore must be received a minimum of six weeks prior to a scheduled Committee of the Whole meeting.

Drawings are required for presentation purposes where the application comes before Committee of the Whole and any required Public Meeting. Coloured Renderings and other visual aids may also be of assistance. All drawings for presentation purposes are to be on 8½" by 11" mylar or paper.

**REQUIREMENTS**

ALL PLANNING APPLICATIONS ARE TO BE FILED WITH THE PLANNING DEPARTMENT, TOWN OF NEWMARKET AND SHALL INCLUDE THE FOLLOWING:

**APPLICATION FEES**

- One completed application form;
- 30 copies of an up-to-date survey plan prepared by an Ontario Land Surveyor showing the boundaries of the property, dimensions and area of the site and all buildings, structures and their uses;
- One reduction (8½" X 11") of survey
- Copy of up-to-date parcel abstract of title indicating current owner, legal description and PIN number; and
- Copy of legal description and PIN number.

FOR SITE PLAN APPLICATIONS ONLY, WHICH DO NOT INVOLVE A PLAN OF SUBDIVISION OR CONDOMINIUM:

- Refer to Site Plan Approval Process Manual (Provided separately)

**FOR OFFICIAL PLAN AMENDMENT AND ZONING BYLAW AMENDMENT APPLICATIONS WHICH DO NOT INVOLVE A PLAN OF SUBDIVISION OR CONDOMINIUM:**

- 20 full size Site Plans of the proposed development showing the location and types of buildings, parking areas, proposed access locations and adjacent road allowances;
- 20 full size conceptual Building Elevations (all sides) including cladding for any new building construction and/or additions;
- 20 full size Landscaping Plans if landscaping not shown on Site Plan with one coloured rendering for presentation to the Committee;
- 20 reductions (8½" X 11") of each of the above drawings; and
- 5 copies of supporting material, including market studies, traffic studies, environmental impact reports where applicable.

**FOR PLANS OF SUBDIVISION AND CONDOMINIUM, WHETHER OR NOT ACCOMPANIED BY AN OFFICIAL PLAN OR ZONING BYLAW AMENDMENT APPLICATION:**

- 40 full size copies of the proposed draft plan;
- 30 prints for redline amendments;
- 5 reductions (8½" X 11") of the proposed draft plan; and
- Supporting material where applicable.

**FOR PART LOT CONTROL APPLICATIONS:**

- 4 full size copies of a deposited R-Plan detailing building foot prints and setbacks;
- Completed Letter of Undertaking (sample attached to this application);
- One reductions (8½" X 11") of the R-Plan; and
- Supporting material where applicable.

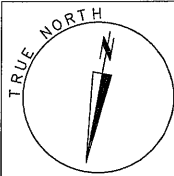
If this application is signed by an Agent or Solicitor on behalf of an Applicant, the Owner's Authorization must accompany the application.

All plans and drawings must be Folded to 8½" X 14" (21.5cm X 35.5cm) with the title block exposed.

It is now a requirement to pre-consult with the Planning Department prior to a formal submission as per Bylaw Number 2007-46. To ensure that staff are available, please arrange for an appointment by calling the department at (905) 953-5300, Ext. 2450.

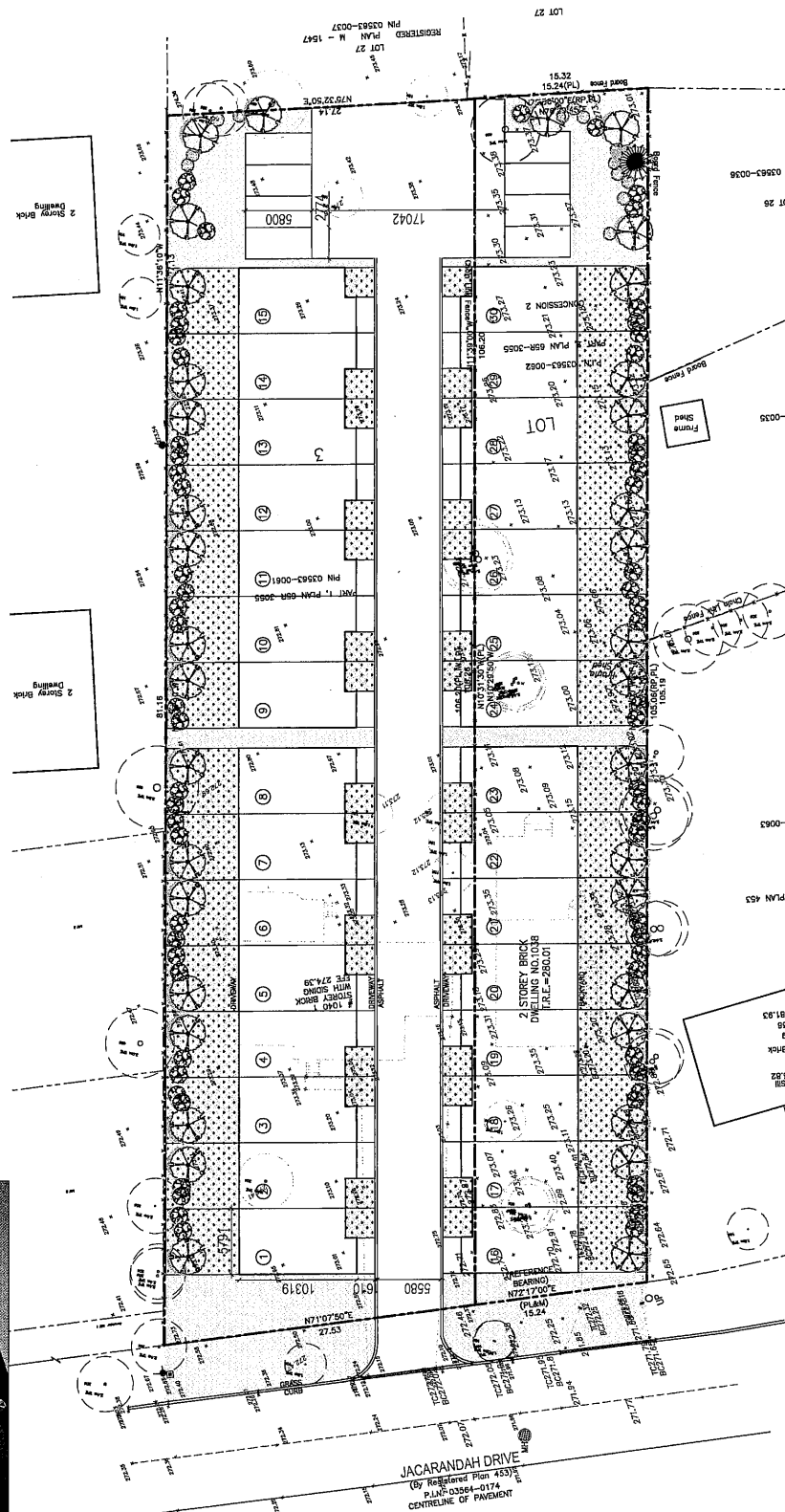
**APPLICATIONS WILL NOT BE PROCESSED UNTIL THE APPLICATION FEE AND REQUIRED MATERIAL IS RECEIVED.**





LOT	4,527.5m <sup>2</sup>
AREA	1,057.4m <sup>2</sup>
COVERING	25.4%
COMPLEX	30
STATISTICS	11.14m
UNITS	30 + 6
TOTAL PARKING	147.2m <sup>2</sup>
TOTAL STATISTICS	33.2m <sup>2</sup>
BASEMENT FLOOR AREA	57.1m <sup>2</sup>
FIRST FLOOR AREA	56.8m <sup>2</sup>
SECOND FLOOR AREA	56.8m <sup>2</sup>
GARAGE PARKING	3
BEDROOMS	3

SURVEY FOR 1040 JACARANDAH DRIVE BY IVAN B WALLACE  
MOVED TO ALIGN WITH SURVEY FOR 1038 JACARANDAH DRIVE  
BY GTA SURVEYORS.



A01 - SITE PLAN AND STATISTICS  
A02 - UNIT FLOOR PLANS  
A03 - TOWNHOUSE ELEVATIONS  
A04 - TOWNHOUSE SECTIONS

**NETT HAUS**  
DESIGN | DEVELOPMENT | BUILD

No. Description Date (mm/dd/yyyy)  
01 PRELIMINARY PROPOSAL 08/15/16

REGISTRATION INFORMATION  
Required unless design is exempt  
under Division C-3.2.4. of the  
2006 Ontario Building Code (or  
2.11.4. of the 1987 Ontario  
Building Code)

QUALIFICATION INFORMATION  
Required unless design is exempt  
under Division C-3.2.4. of the 2006 Ontario  
Building Code (or 2.11.4. of the 1987 Ontario  
Building Code)

SIGNATURE

NAME

FIRM NAME

BOIN

Checked By:

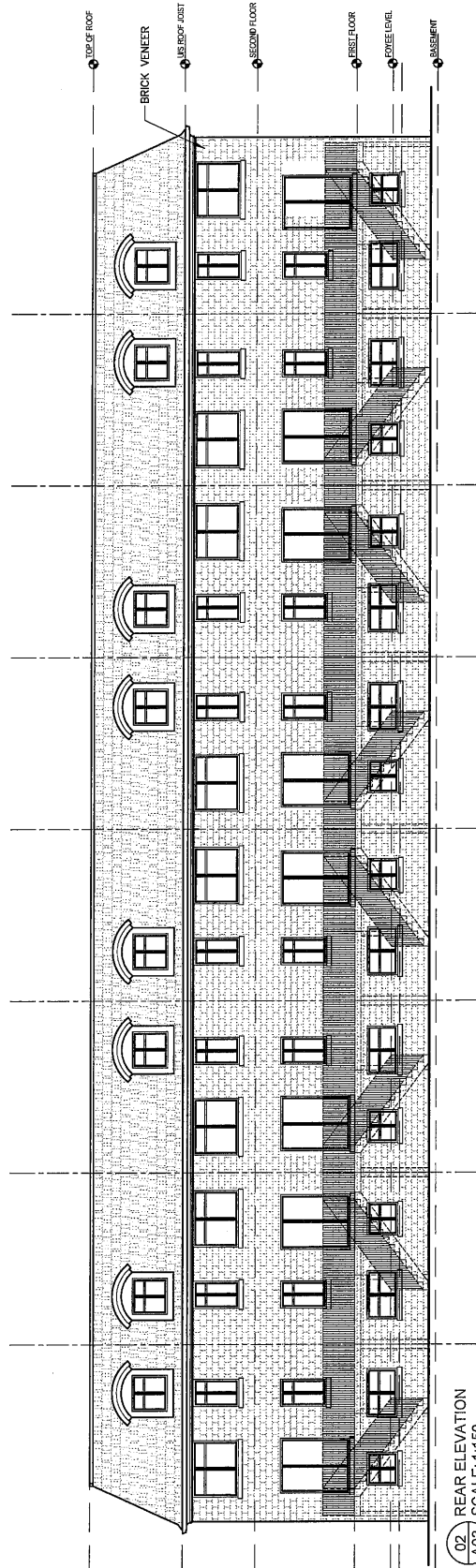
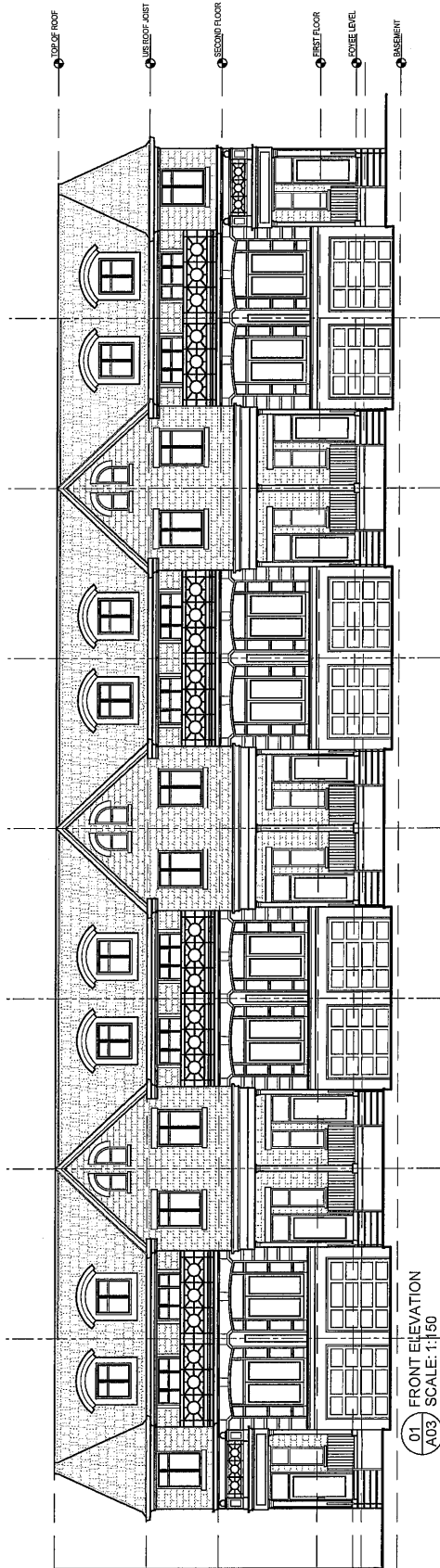
Sub By:


SITE PLAN AND  
STATISTICS  
JACARANDAH DEVELOPMENT  
NEWMARKET, ONTARIO

Construction North  
m

DWG No. A01  
Sheet 01 of 05  
Scale 1:400





 <b>NETHAUS</b> DESIGN   DEVELOPMENT   BUILD		Construction North		DWG No. <b>A03</b>
		TOWNHOUSE ELEVATIONS JACARANDAH DEVELOPMENT NEWMARKET, ONTARIO		Sheet 03 of 05 Scale 1:150
No. 01 Description PRELIMINARY PROPOSAL Date (mm/dd/yy) 08/15/16		Sub By: Checked By:		REGISTRATION INFORMATION <small>Required unless design is exempt under Division C-32.41 of the Building Code (or 2.17.14 of the Ontario Building Code)</small> XXXXXXXXXXXXXXXXXXXX XXXXXX BCN
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION: <small>Required unless design is exempt under Division C-32.41 of the Building Code (or 2.17.14 of the Ontario Building Code)</small> XXXX BCN		FIRM NAME XXXXXXXXXXXXXXXXXXXX BCN		SIGNATURE XXXXXXXXXXXXXXXXXXXX

01 BUILDING LENGTH SECTION  
A03 SCALE: 1:150

02 BUILDING DEPTH SECTION  
A03 SCALE: 1:150

**NETTHAUS**  
DESIGN | DEVELOPMENT | BUILD

<p><small>The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</small></p> <p><b>QUALIFICATION INFORMATION</b></p> <p><small>Required unless design is exempt from 2.17.4.1 of the 2009 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)</small></p> <p>NAME: XXXXXXXXXXXXXXXX SIGNATURE: XXXX EGIN</p>	<p><small>REGISTRATION INFORMATION</small></p> <p><small>Required unless design is exempt under Division C-3.2.4.1 of the 2009 Ontario Building Code (or 2.17.4.1 of the 1997 Ontario Building Code)</small></p> <p>FRM NAME: XXXXXXXXXXXXXXXX BCN: XXXXX</p>	<p>No. Description Date (mm/dd/yy)</p> <p>01 PRELIMINARY PROPOSAL 08/15/16</p> <p>Sub By: _____ Checked By: _____</p>
<p>TOWNHOUSE SECTIONS</p> <p>JACARANDAH DEVELOPMENT</p> <p>NEWMARKET, ONTARIO</p>		
<p>Construction North</p>		<p>DWG No. A04</p> <p>Sheet 04 of 05</p> <p>Scale 1:150</p>

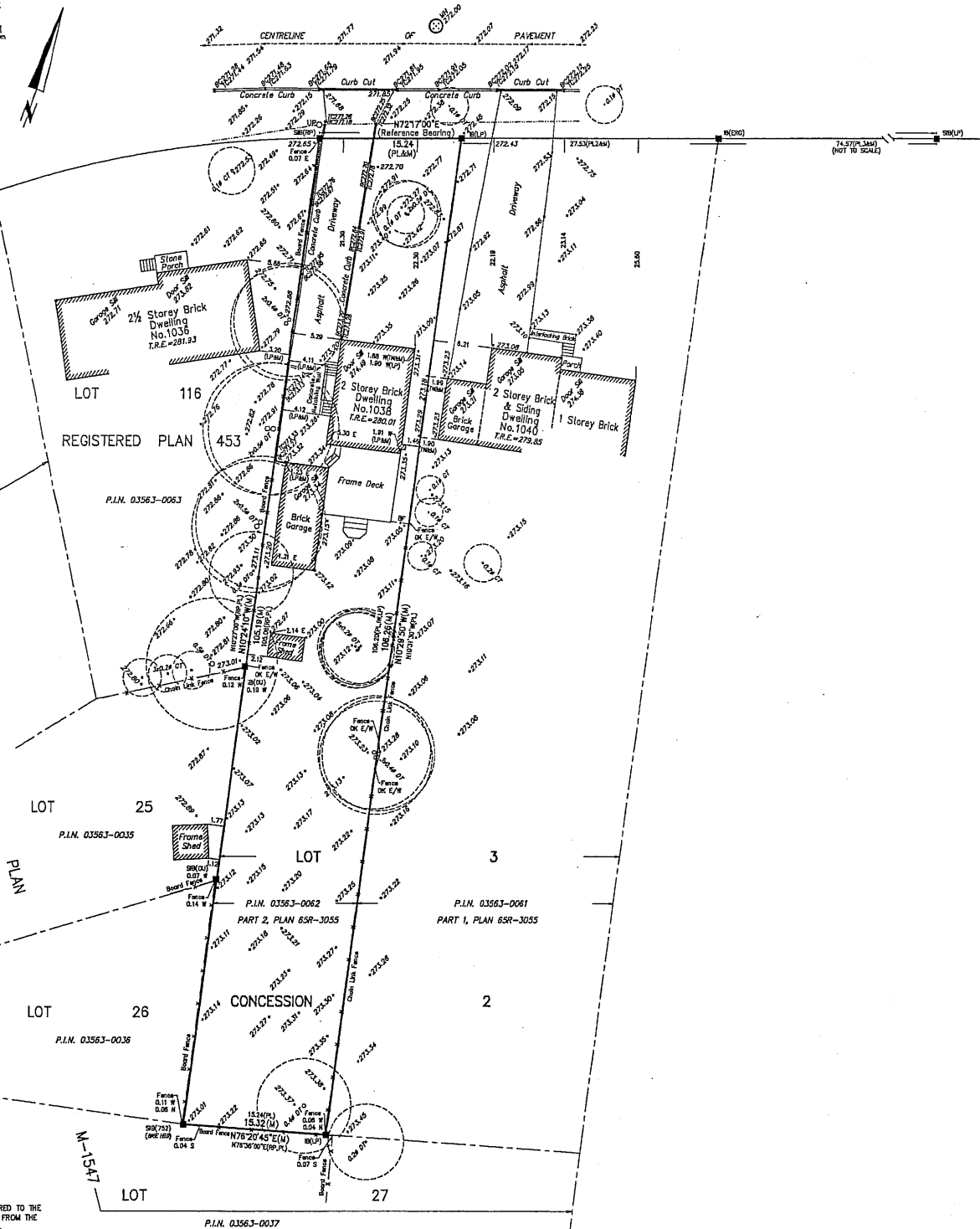
SURVEYOR'S REAL PROPERTY REPORT - PART 1  
 PLAN OF  
 Part of LOT 3  
 CONCESSION 2  
 Geographic Township of East Gwillimbury  
**TOWN of NEWMARKET**  
 Regional Municipality of York  
 SCALE 1:300  
 GTA SURVEYING INC.  
 © COPYRIGHT 2016

# JACARANDAH DRIVE

(By Registered Plan 453)

P.L.N. 03564-0174

REGISTERED



## ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE NAD83-CRS COORDINATE SYSTEM DERIVED FROM THE GLOBAL POSITIONING SYSTEM OBSERVATIONS.

## METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

## SURVEYOR'S CERTIFICATE

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28TH DAY OF MARCH, 2016.

MARCH 30, 2016  
 DATE

*[Signature]*  
 ALEX WALCZAK  
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 1974322

THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR  
 IN accordance with  
 Regulation 1028, Section 29(3).

## LEGEND

- DENOTES SURVEY MONUMENT SET
- DENOTES SURVEY MONUMENT FOUND
- RP DENOTES REGISTERED PLAN 453
- RP2 DENOTES REGISTERED M-1547
- N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- M DENOTES MEASURED
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- OJ DENOTES ORIGIN UNKNOWN
- PL DENOTES PLAN 65R-3055
- PL2 DENOTES PLAN 65R-3029
- PL3 DENOTES PLAN 65R-26278
- LP DENOTES LLOYD & PURCELL LTD., O.L.S.
- IW DENOTES PLAN BY I.B. WALLACE, O.L.S.
- ENG DENOTES DATED NOVEMBER 3, 2014
- ENG DENOTES E.R. GARDEN, O.L.S.

## LEGEND Continued

- UP DENOTES UTILITY POLE
- 752 DENOTES OVERHEAD WIRES
- P.L.N. DENOTES W.H. CARR, O.L.S.
- WH DENOTES PROPERTY IDENTIFIER NUMBER
- BC DENOTES MANHOLE
- TC DENOTES BOTTOM OF CURB
- OT DENOTES TOP OF CURB
- CT DENOTES DESHOULDER TREE
- BF DENOTES CONIFEROUS TREE
- T.A.E. DENOTES BOARD FENCE
- T.A.E. DENOTES TOP OF ROOF ELEVATION

## BEARING NOTE

BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE SOUTH LIMIT OF JACARANDAH DRIVE, HAVING A BEARING OF N7217°00'E ACCORDING TO REGISTERED PLAN 453

## PART 2 - SURVEY REPORT

- 1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
- 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY NONE
- 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**IGTA**  
 Greater Toronto Acres  
 SURVEYING Inc.

7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2  
 Tel: (416) 679-0572  
 E-MAIL: [jw@gtasurveying.ca](mailto:jw@gtasurveying.ca)

DRAWN: B.D. CHECKED: J.W. PROJECT 16096

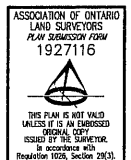
COPYRIGHT © IVAN B. WALLACE O.L.S. LTD. 2014  
 PLAN OF SURVEY SHOWING  
 TOPOGRAPHIC DETAIL OF  
 PART E1/4 LOT 3,  
 CONCESSION 2  
 GEOGRAPHIC TOWNSHIP OF EAST GUILMBURY  
 TOWN OF NEWMARKET  
 REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 250 METRES

0 1 2 3 4 5 10 20  
 IVAN B. WALLACE O.L.S. LTD.

# LEGEND

- denotes Survey Monument Found
- denotes Survey Monument Set
- SSB denotes Short Standard Iron Bar
- SB denotes Standard Iron Bar
- IB denotes Iron Bar
- PB denotes Plastic Bar
- CC denotes Cut Cross
- IP denotes Iron Pipe
- CSM denotes Cut Stone Monument
- CM denotes Concrete Monument
- CP denotes Concrete Pin
- denotes Round
- WIT denotes Witness
- M denotes Measured
- P1 denotes Plan 6SR-3055
- P2 denotes Plan 6SR-26278
- G denotes E.R. Garden, O.L.S.
- LP denotes Lloyd & Purcell, O.L.S.
- OU denotes Origins Unknown
- FFE denotes Finished Floor Elevation
- POU denotes Utility Pole
- POL denotes Light Standard
- POLLS denotes Utility/Light Standard Pole
- OH— denotes Overhead Utility Wires
- ⊙ denotes Maintenance Hole
- ⊕ denotes Catch Basin
- ⊞ denotes Terminal Box
- ⊙ denotes Coniferous Tree w/Trunk Diameter
- ⊙ denotes Deciduous Tree w/Trunk Diameter
- ⊙ denotes Spot Elevation



## BEARING NOTES

Bearings are UTM Grid, derived from observed reference points A and B, by Real Time Network observations, UTM Zone 17, NAD83(CSR5)(1997).

For bearing comparisons, the following rotations were applied:  
 P1,P2 - 1°09'10" counter-clockwise

## DISTANCE NOTES — METRIC

Distances and coordinates are in metres and can be converted to feet by dividing by 0.3048.

Distances are ground and can be converted to grid by multiplying by the combined scale factor of 0.999750.

## SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveyors Act, the Surveyors Act, the Land Titles Act and the regulations made under them.
- The survey was completed on November 3, 2014.

Date David Comery, O.L.S.

## INTEGRATION DATA

Observed reference points derived from GPS observations using a Real Time Network and are referred to UTM Zone 17 (N° west longitude) NAD83(CSR5)(1997).

Urban accuracy per Sec. 14(2), O.Reg. 216/10.

POINT ID	NORTHING	EASTING
A	4381211.64	625210.58
B	4381412.75	625245.43

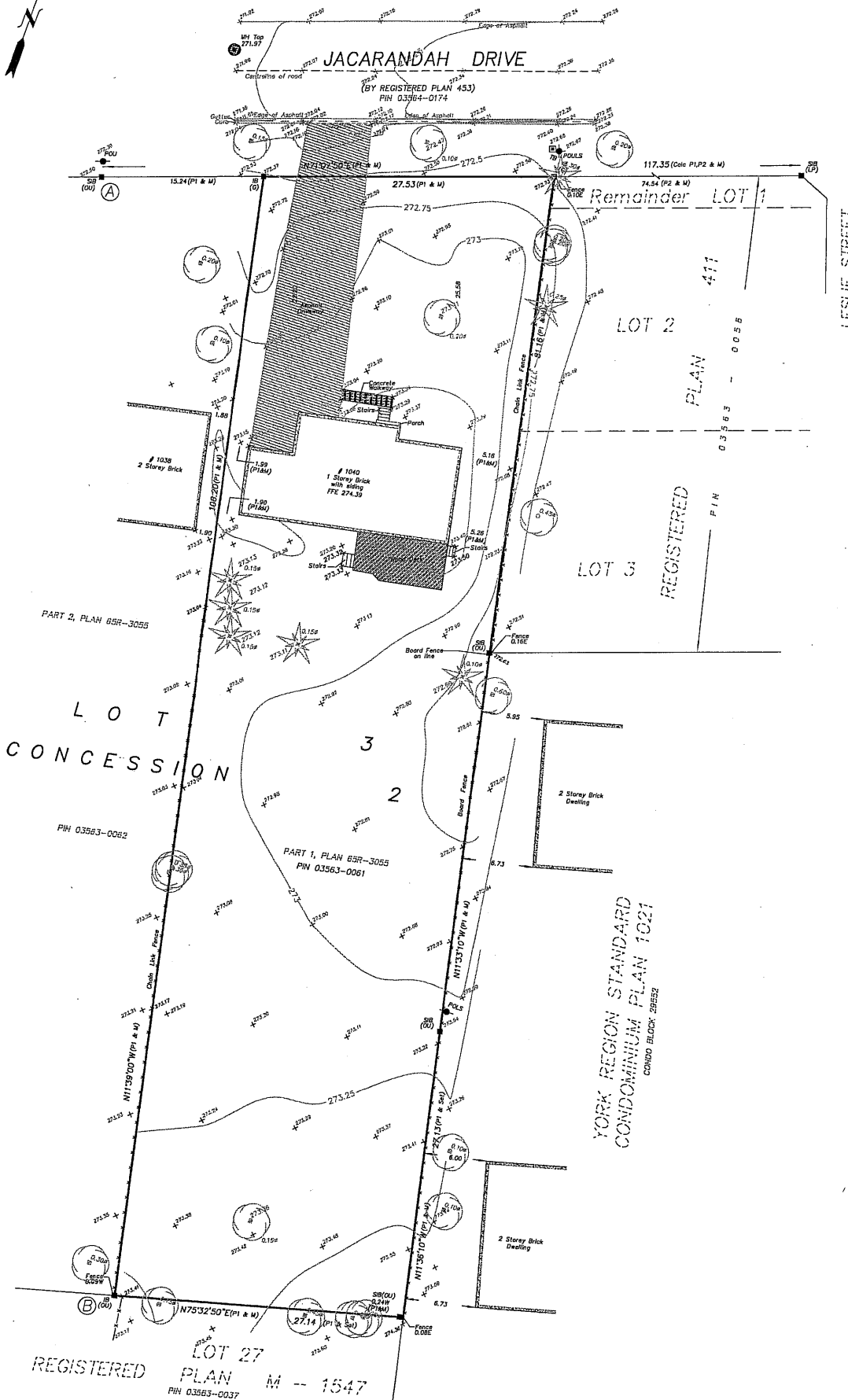
CADASTRAL COORDINATES: CANADIAN, IN DECIMALS, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

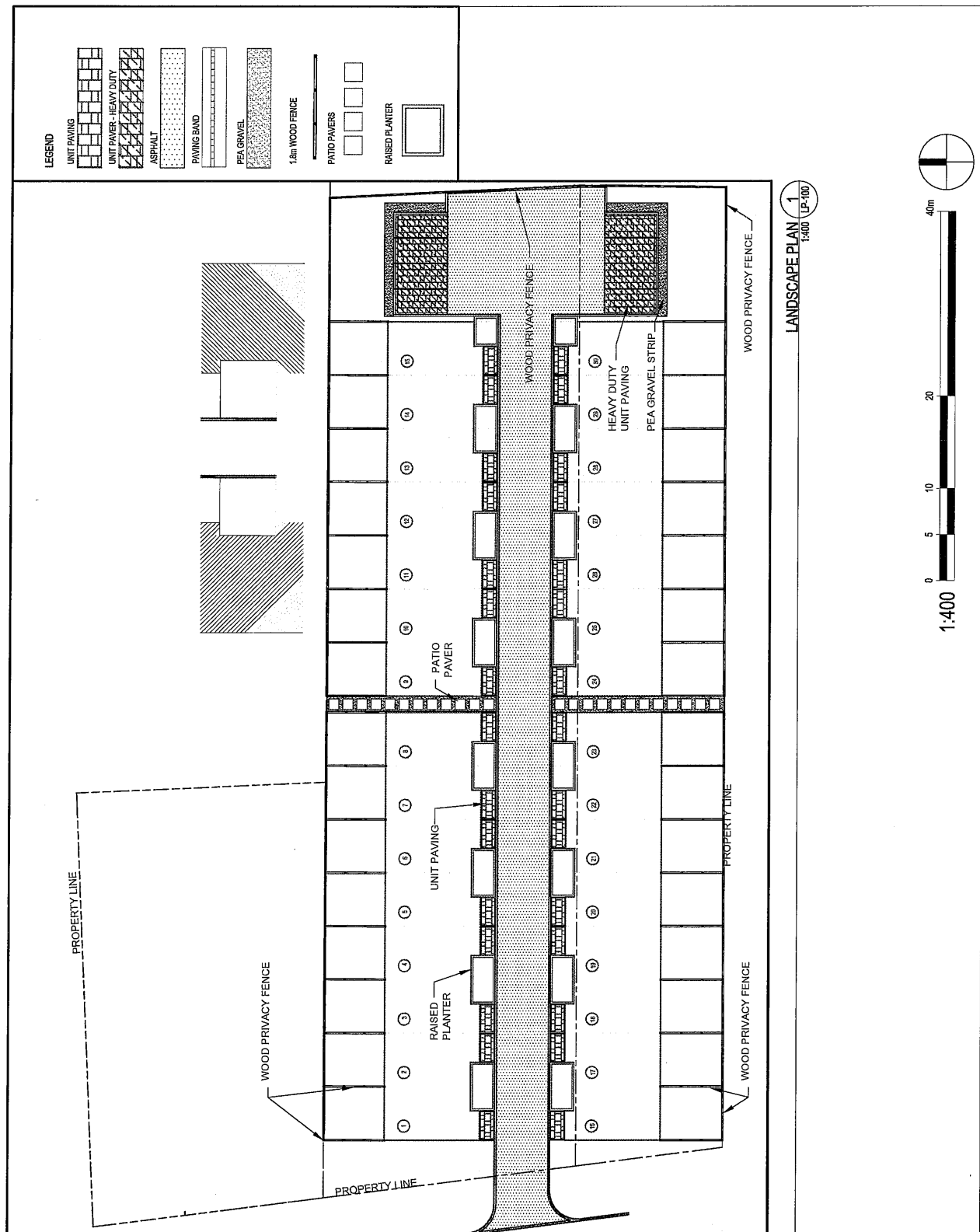


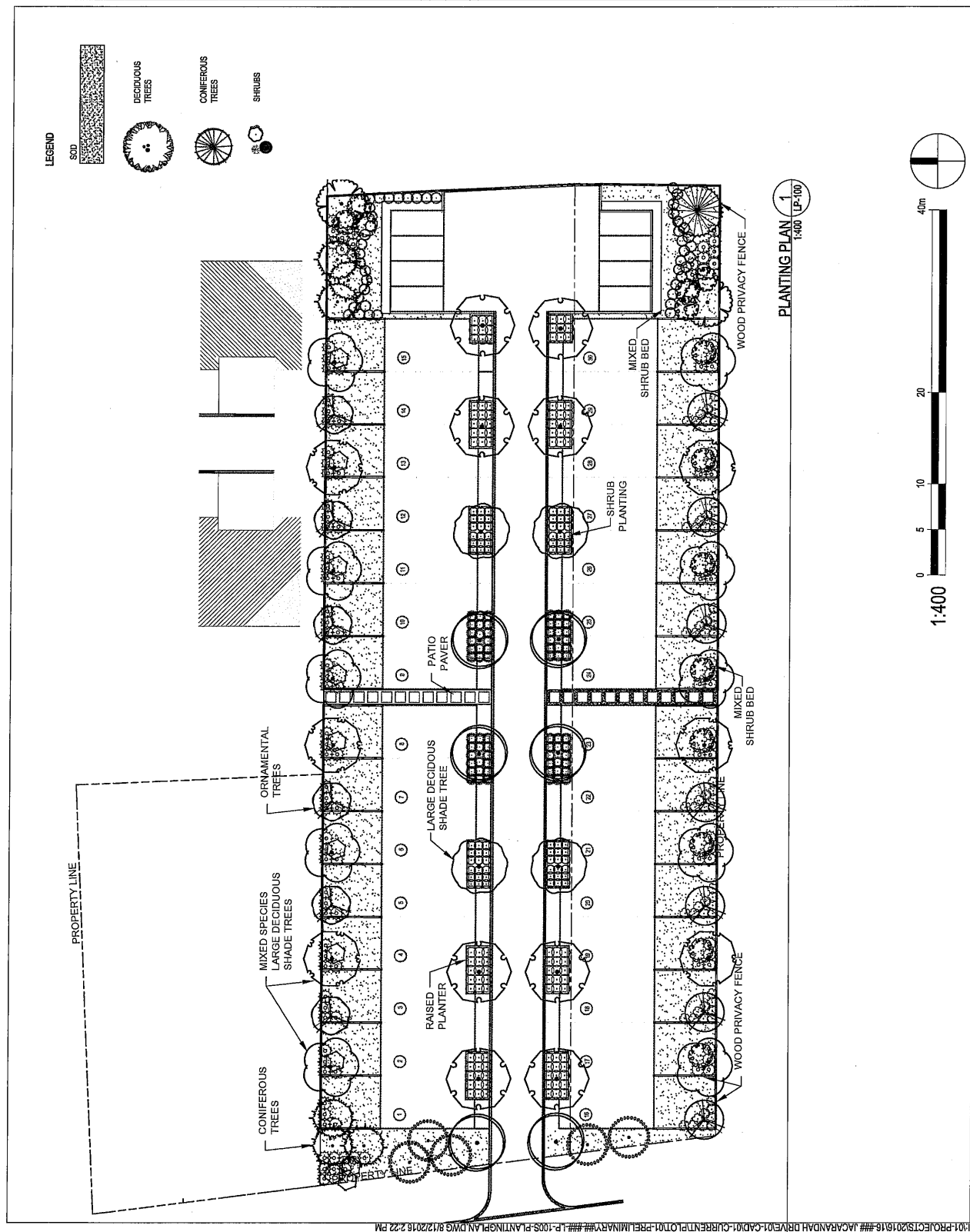
IVAN B. WALLACE  
 ONTARIO LAND SURVEYOR LTD.  
 www.ibvsurveys.com

71 Means Court, Unit 1, Bowmanville, Ontario, L1C 4N4  
 p: 905.623.2205 | f: 905.623.0812 | 1.800.667.0695  
 bowmanville@ibvsurveys.com

SW: NAME: S-10511, TOPO: [DRAWN BY: DGP/PLD DATE: DECEMBER 2, 2014]  
 PARTY CHIEF: A. J. CHECKED BY: DC. 1 copies available at www.LandSurveyors.ca











23

**COMMITTEE OF ADJUSTMENT**  
Town of Newmarket  
395 Mulock Drive  
P.O. Box 328  
Newmarket, ON L3Y 4X7

www.newmarket.ca  
mpeverini@newmarket.ca  
T: 905.953.5300 Ext. 2453  
F: 905.953.5140

**TO ALL COMMENTING AGENCIES, MINISTRIES AND TOWN DEPARTMENTS**

**File Number:** D10-B08-17

**Name of Applicant:** Teofilo, Dario

**Subject Property:** Part Lot 23 & 24A, Plan 31, Parts 3, 4, 5, Plan RS65R11839  
172-174 Victoria Street  
Town of Newmarket

Enclosed is a certified copy of the **"Notice of Decision"** by the Committee of Adjustment concerning the above noted application.

The last date for appealing the decision or any condition imposed is shown at the top on the second page of the Notice, and the procedure for lodging an appeal is attached.

If you wish to appeal, please note that the *Planning Act*, R.S.O. 1990, c. P.13, as amended, requires the NOTICE OF APPEAL to be filed with the Secretary-Treasurer not later than **twenty days** after the giving of notice. The notice of appeal must set out the reasons for the appeal and be accompanied by a certified cheque or money order in the amount of **Three Hundred Dollars (\$300.00)**, made payable to the **Minister of Finance**.

You will be entitled to receive notice of any changes to the conditions of the provisions consent if you have either made a written request to be notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

Only individuals, corporations and public bodies may appeal decisions in respect of applications for consent to the Ontario Municipal Board. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

If you have any questions concerning the above, please contact the Secretary-Treasurer at (905) 953-5300, Ext. 2453.

Yours truly,

Secretary-Treasurer.

encl.

**DATED** at the Town of Newmarket this 14<sup>th</sup> day of December, 2017.



**NOTICE OF DECISION**

**DATE OF DECISION:** December 13, 2017

**FILE NUMBER:** D10-B08-17

**APPLICANT:** TEOFILO, Dario

**SUBJECT PROPERTY:** Part Lot 23 & 24A, Plan 31, Parts 3, 4, 5, Plan RS65R11839  
172-174 Victoria Street  
Town of Newmarket

Application for Consent to convey the subject land as follows:

The applicants for the above noted property are proposing to convey the severed land indicated as "A" on the attached sketch for residential purposes and to retain the land indicated as "B" on the sketch attached to the Notice of Application for residential purposes. The existing structure is to be demolished.

The above noted application was heard by the Committee of Adjustment on December 13, 2017.

On the basis of the evidence before it, the Committee concludes that the Consent Application would conform to the purpose and intent of the Official Plan, the Zoning By-law, and applicable Regional and Provincial legislation, regulations and planning policies.

It is the Decision of the Committee that a provisional Consent be **GRANTED** subject to the following conditions:

1. That the Owner obtain relief from the provisions of the zoning by-law for reduced lot frontage and reduced lot area as set forth in Minor Variance Applications D13-A27-17 and D13-A28-17;
2. That the applicant be advised that prior to the issuance of any demolition permit or building permit compliance will be required with the provisions of the Town's Tree Preservation, Protection, Replacement and Enhancement Policy;
3. That the applicant be advised that they will be required to obtain municipal servicing for both lots independently prior to any building permit at their own cost;
4. That the Owner grant to the Town at no cost a 1.7 metre road widening across the frontage of the subject and remaining lands;
5. That the Owner be required to provide to the satisfaction of the Secretary-Treasurer of the Committee of Adjustment the following:
  - i. proof of payment of all outstanding taxes and local improvement charges owing to date against the subject, and retained parcels;
  - ii. three white prints of a deposited reference plan showing the subject land, which conforms substantially to the application as submitted;
  - iii. required transfers to effect the severance and conveyance applied for under Consent Application D10-B08-17, conveying the subject lands, and issuance by the Secretary-Treasurer of the certificate required under subsection 53(42) of the Planning Act;
  - iv. submission of an appraisal report prepared by a member of the Appraisal Institute of Canada respecting the new lot and payment of cash-in-lieu of parkland as required by the Town's Parkland Dedication By-law; and
6. That the owner be required to enter into a site plan agreement with the Town for both the subject and remaining lands addressing matters such as but not limited to parkland contributions; lot grading; storm drainage; municipal servicing; compliance with the Tree Preservation, Protection, Replacement and Enhancement Policy; easements; compatibility including building massing, height, primary façade, architectural elements and materials, landscaping, and driveways; and other matters for the development of the subject and remaining lands.

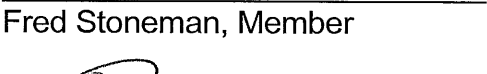
## LAST DATE FOR APPEALING THIS DECISION IS:

WEDNESDAY, JANUARY 3<sup>RD</sup>, 2018.

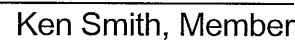
**NOTE:** A certificate pursuant to Subsection 53(42) of the *Planning Act* R.S.O. 1990, c. P.13, as amended is conclusive evidence that the consent was given and that the provisions of this Act leading to the consent have been complied with.

Majority of members concurring in this Decision:


  
Gino Vescio, Chair


  
Fred Stoneman, Member


  
Peter Mertens, Member


  
Ken Smith, Member


  
Elizabeth Lew, Member

I hereby certify this to be a true copy of the Decision of the Committee of Adjustment and this Decision was concurred in by a majority of the members who heard the application.


  
Secretary-Treasurer

Pursuant to Section 53(41) of the Planning Act, the applicant shall have a period of one (1) year from the date of the Committee of Adjustment giving Notice of the herein Decision to the Applicant to fulfill and comply with all of the (above-noted) conditions of Provisional Consent. Failing to comply with this requirement will result in the application to be deemed to be refused.

**ALL CONDITIONS MUST BE FULFILLED**

APPEAL OF DECISION - (Reference: Section 53 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended)

- (19) Any person or public body may, not later than 20 days after the giving of notice under subsection (17) is completed, appeal the decision or any condition imposed by the council or the Minister or appeal both the decision and any condition to the Municipal Board by filing with the clerk of the municipality or the Minister a notice of appeal setting out the reasons for the appeal, accompanied by the fee prescribed under the *Ontario Municipal Board Act*. 1994, c. 23, s. 32; 1996, c. 4, s. 29 (6).
- (27) Any person or public body may, not later than 20 days after the giving of notice under subsection (24) is completed, appeal any of the changed conditions imposed by the council or the Minister by filing with the clerk of the municipality or the Minister a notice of appeal setting out the reasons for the appeal, accompanied by the fee prescribed under the *Ontario Municipal Board Act*. 1994, c. 23, s. 32; 1996, c. 4, s. 29 (10).
- (28) If the clerk or the Minister, as the case may be, receives a notice of appeal under subsection (19) or (27), the clerk or the Minister shall ensure that,
- (a) a record is compiled which includes the information and material prescribed; and
  - (b) the record, the notice of appeal and the fee are forwarded to the Municipal Board within 15 days after the last day for filing a notice of appeal under subsection (19) or (27). 1994, c. 23, s. 32.
- (30) On an appeal, the Municipal Board shall hold a hearing, of which notice shall be given to such persons or public bodies and in such manner as the Board may determine. 1994, c. 23, s. 32; 1996, c. 4, s. 29 (11).
- (31) Despite the *Statutory Powers Procedure Act* and subsection (30), the Municipal Board may dismiss an appeal without holding a hearing, on its own initiative or on the motion of any party, if,
- (a) it is of the opinion that,
    - (i) the reasons set out in the notice of appeal do not disclose any apparent land use planning ground upon which the Board could give or refuse to give the provisional consent or could determine the question as to the condition appealed to it,
    - (ii) the appeal is not made in good faith or is frivolous or vexatious,
    - (iii) the appeal is made only for the purpose of delay, or
    - (iv) the appellant has persistently and without reasonable grounds commenced before the Board proceedings that constitute an abuse of process;
  - (b) the appellant did not make oral submissions at a public meeting or did not make written submissions to the council or the Minister before a provisional consent was given or refused and, in the opinion of the Board, the appellant does not provide a reasonable explanation for having failed to make a submission;
  - (c) the appellant has not provided written reasons for the appeal;
  - (d) the appellant has not paid the fee prescribed under the *Ontario Municipal Board Act*; or
  - (e) the appellant has not responded to a request by the Municipal Board for further information within the time specified by the Board. 1994, c. 23, s. 32; 1996, c. 4, s. 29 (12); 2006, c. 23, s. 23 (3, 4).
- (34) On an appeal under subsection (14) or (19), the Municipal Board may make any decision that the council or the Minister, as the case may be, could have made on the original application and on an appeal of the conditions under subsection (27), the Board shall determine the question as to the condition or conditions appealed to it. 1994, c. 23, s. 32.
- (39) If the decision of the Municipal Board under subsection (34) is that a provisional consent be given, the council or the Minister shall give the consent, but if conditions have been imposed, the consent shall not be given until the council or the Minister is satisfied that the conditions have been fulfilled. 1994, c. 23, s. 32.
- (40) If the decision of the council or the Minister on an application is that provisional consent be given and there has been no appeal under subsection (19) or (27), subject to subsection (23), the consent shall be given, but if conditions have been imposed the consent shall not be given until the council or the Minister is satisfied that the conditions have been fulfilled. 1994, c. 23, s. 32.
- (41) If conditions have been imposed and the applicant has not, within a period of one year after notice was given under subsection (17) or (24), whichever is later, fulfilled the conditions, the application for consent shall be deemed to be refused but, if there is an appeal under subsection (14), (19) or (27), the application for consent shall not be deemed to be refused for failure to fulfil the conditions until the expiry of one year from the date of the order of the Municipal Board issued in respect of the appeal or from the date of a notice issued by the Board under subsection (29) or (33). 1994, c. 23, s. 32.
- (42) When a consent has been given under this section, the clerk of the municipality or the Minister, as the case may be, shall give a certificate to the applicant stating that the consent has been given and the certificate is conclusive evidence that the consent was given and that the provisions of this Act leading to the consent have been complied with and that, despite any other provision of this Act, the council or the Minister had jurisdiction to grant the consent and after the certificate has been given no action may be maintained to question the validity of the consent. 1994, c. 23, s. 32.
- (43) A consent given under this section lapses at the expiration of two years from the date of the certificate given under subsection (42) if the transaction in respect of which the consent was given is not carried out within the two-year period, but the council or the Minister in giving the consent may provide for an earlier lapsing of the consent. 1994, c. 23, s. 32.

**\*\$300.00 for each separate appeal, by cheque, payable to the Minister of Finance.**

**COMMITTEE OF ADJUSTMENT**

Town of Newmarket  
395 Mulock Drive  
P.O. Box 328, STN Main  
Newmarket, ON L3Y 4X7

www.newmarket.ca  
mpeverini@newmarket.ca  
T: 905.953.5300 Ext. 2453  
F: 905.953.5140

**File Number:** D13-A27-17

**Applicant:** TEOFILO, Dario.

**Subject Property:** Part Lot 23 & 24A, Plan 31, Parts 3, 4 & 5, Plan RS65R11839  
172 Victoria Street  
Town of Newmarket

**IN THE MATTER OF** Subsection 1 and 2 of Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

**TAKE NOTE** that the above noted Application for Minor Variance or for Permission was heard by this Committee on December 13, 2017.

Enclosed is a certified copy of the Decision of the Committee of Adjustment.

Also enclosed for your information is a copy of Subsection 12 through 20 inclusive of Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended. Your attention is drawn to Subsection 12, 13 and 14, which provide that notice of appeal must be sent within twenty (20) days of the date of the Decision, and that if no notice of appeal has been given within that period, the Decision of the Committee of Adjustment is final and binding.

**NOTICE OF APPEAL MUST BE FILED WITH:**

Secretary-Treasurer,  
Committee of Adjustment,  
P. O. Box 328, STN Main  
395 Mulock Drive,  
Newmarket, Ontario. L3Y 4X7

**NOT LATER THAN TUESDAY, JANUARY 2<sup>ND</sup>, 2018, BEING THE LAST DATE FOR GIVING NOTICE OF APPEAL**, together with a certified cheque or money order in the amount of **Three Hundred Dollars (\$300.00)**, made payable to the **Minister of Finance**.

**NOTE:** The *Planning Act* provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for purposes of the Act, groups wishing to appeal this decision should do so in the name or names of individual group members, and not in the name of the group.

Date of sending this Notice: December 14, 2017

Secretary-Treasurer

**NOTICE OF DECISION**

**Date of Decision:** December 13, 2017

**File Number:** D13-A27-17

**Applicant:** TEOFILO, Dario

**Subject Property:** Part Lot 23 & 24A, Plan 31, Parts 3, 4 & 5, Plan RS65R11839  
172 Victoria Street  
Town of Newmarket

**IN THE MATTER OF** Subsection 1 and 2 of Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended and

**IN THE MATTER OF** an application by **TEOFILO, Dario** for the purposes set out below:

The applicant is proposing a 3-storey semi-detached dwelling on the existing lot recognized as 172-174 Victoria Street. In accordance with Consent Application D10-B08-17, the proposed semi-detached dwelling (and the lot) is proposed to be severed in half for purposes of conveyance of one half of the semi-detached dwelling. The applicant is requesting relief from Zoning By-law Number 2010-40, as amended, to permit the following on the proposed severed lot (indicated as 172 Victoria Street on the sketch attached to the Notice of Application):

1. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a lot area of 157.96 square metres, whereas the By-law requires a minimum of 715 square metres;
2. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a lot frontage of 7.62 metres, whereas the By-law requires a minimum of 21.3 metres;
3. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a front yard setback of 4.63 metres, whereas the By-law requires 7.5 metres;
4. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a rear yard setback of 5.28 metres, whereas the By-law requires 7.5 metres;
5. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a northerly side yard setback of 1.08 metres and a southerly side yard setback of 0 metres, whereas the By-law requires 1.8 metres;
6. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a lot coverage of 40.24%, whereas the By-law permits a maximum of 35%;
7. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a building height of 10.25 metres (3 storeys), whereas the By-law permits a maximum of 11.0 metres (2 storeys);
8. Relief from Section 4.2 Encroachments into Required Yards to permit a landing to encroach 2.74 metres into the required front yard, whereas the By-law permits a 1.8 metre encroachment; and

9. Relief from Section 5.3.1 Calculation of Parking Requirements for Residential Uses to permit 1 outdoor parking space for a semi-detached dwelling unit, whereas the By-law requires 2 outdoor parking spaces.

**BEFORE:**

Gino Vescio, Chair  
Elizabeth Lew, Member  
Peter Mertens, Member  
Ken Smith, Member  
Fred Stoneman, Member

The following is the Decision of the Committee of Adjustment as it relates to this application.

The subject land is designated "Stable Residential" in the Official Plan.

The subject property is zoned Residential Semi-Detached Dwelling Zone (R2-K) by Zoning By-law Number 2010-40, as amended.

- 3 -

File No. D13-A27-17

In reaching a Decision the Committee had regard to all of the matters set out in Subsection 1 and 2, Section 45, of the *Planning Act*, R.S.O. 1990, c. P.13, as amended and to the written and oral submissions and comments made at the Hearing.

On the basis of the evidence before it, the Committee concludes that the Minor Variance:

- (1) is minor in nature;**
- (2) conforms to the general intent and purpose of the Official Plan and Zoning By-law; and**
- (3) is considered desirable for the appropriate development of the lot.**

It is therefore the Decision of the Committee that the relief as requested be **GRANTED**, subject to the following conditions:

- (1) That only variances 1 and 2 as listed on the Notice of Application be approved;**
- (2) That all other variances be denied; and**
- (3) That the applicant be advised that prior to the issuance of any building permit compliance will be required with the provisions of the Town's Tree Preservation, Protection, Replacement and Enhancement Policy.**

Majority of Members concurring in this Decision:



\_\_\_\_\_  
Gino Vescio, Chair

\_\_\_\_\_  
Fred Stoneman, Member



\_\_\_\_\_  
Peter Mertens, Member

\_\_\_\_\_  
Ken Smith, Member



\_\_\_\_\_  
Elizabeth Lew, Member

I hereby certify this to be a true copy of the Decision of the Committee of Adjustment and this Decision was concurred in by a majority of the Members who heard the Application.



\_\_\_\_\_  
Secretary-Treasurer



Subsections 12 to 20, inclusive, of Section 45, of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

12. The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Municipal Board against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee prescribed by the Municipal Board under the *Ontario Municipal Board Act* as payable on an appeal from a committee of adjustment to the Board. 1994, c. 23, s. 26 (2).
13. The secretary-treasurer of a committee, upon receipt of a notice of appeal filed under subsection (12), shall forthwith forward the notice of appeal and the amount of the fee mentioned in subsection (12) to the Municipal Board by registered mail together with all papers and documents filed with the committee of adjustment relating to the matter appealed from and such other documents and papers as may be required by the Board. R.S.O. 1990, c. P.13, s. 45 (13).
14. If within such 20 days no notice of appeal is given, the decision of the committee is final and binding, and the secretary-treasurer shall notify the applicant and shall file a certified copy of the decision with the clerk of the municipality. R.S.O. 1990, c. P.13, s. 45 (14); 1994, c. 23, s. 26 (3).
15. Where all appeals to the Municipal Board are withdrawn, the decision of the committee is final and binding and the secretary of the Board shall notify the secretary-treasurer of the committee who in turn shall notify the applicant and file a certified copy of the decision with the clerk of the municipality. R.S.O. 1990, c. P.13, s. 45 (15); 1994, c. 23, s. 26 (4).
16. On an appeal to the Municipal Board, the Board shall, except as provided in subsections (15) and (17), hold a hearing of which notice shall be given to the applicant, the appellant, the secretary-treasurer of the committee and to such other persons or public bodies and in such manner as the Board may determine. R.S.O. 1990, c. P.13, s. 45 (16); 1994, c. 23, s. 26 (5).
17. Despite the *Statutory Powers Procedure Act* and subsection (16), the Municipal Board may dismiss all or part of an appeal without holding a hearing, on its own initiative or on the motion of any party, if,
  - (a) it is of the opinion that,
    - (i) the reasons set out in the notice of appeal do not disclose any apparent land use planning ground upon which the Board could allow all or part of the appeal,
    - (ii) the appeal is not made in good faith or is frivolous or vexatious,
    - (iii) the appeal is made only for the purpose of delay, or
    - (iv) the appellant has persistently and without reasonable grounds commenced before the Board proceedings that constitute an abuse of process;
  - (b) the appellant has not provided written reasons for the appeal;
  - (c) the appellant has not paid the fee prescribed under the *Ontario Municipal Board Act*; or
  - (d) the appellant has not responded to a request by the Municipal Board for further information within the time specified by the Board. 1994, c. 23, s. 26 (6); 2006, c. 23, s. 18 (4, 5).
18. The Municipal Board may dismiss the appeal and may make any decision that the committee could have made on the original application. R.S.O. 1990, c. P.13, s. 45 (18).
19. When the Municipal Board makes an order on an appeal, the secretary of the Board shall send a copy thereof to the applicant, the appellant and the secretary-treasurer of the committee. R.S.O. 1990, c. P.13, s. 45 (19).
20. The secretary-treasurer shall file a copy of the order of the Municipal Board with the clerk of the municipality. R.S.O. 1990, c. P.13, s. 45 (20).

**\$300.00 for each separate appeal, by cheque, made payable to the Minister of Finance.**

**COMMITTEE OF ADJUSTMENT**

**Town of Newmarket**  
 395 Mulock Drive  
 P.O. Box 328, STN Main  
 Newmarket, ON L3Y 4X7

www.newmarket.ca  
 mpeverini@newmarket.ca  
 T: 905.953.5300 Ext. 2453  
 F: 905.953.5140

**File Number:** D13-A28-17

**Applicant:** TEOFILO, Dario.

**Subject Property:** Part Lot 23 & 24A, Plan 31, Parts 3, 4 & 5, Plan RS65R11839  
 174 Victoria Street  
 Town of Newmarket

**IN THE MATTER OF** Subsection 1 and 2 of Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

**TAKE NOTE** that the above noted Application for Minor Variance or for Permission was heard by this Committee on December 13, 2017.

Enclosed is a certified copy of the Decision of the Committee of Adjustment.

Also enclosed for your information is a copy of Subsection 12 through 20 inclusive of Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended. Your attention is drawn to Subsection 12, 13 and 14, which provide that notice of appeal must be sent within twenty (20) days of the date of the Decision, and that if no notice of appeal has been given within that period, the Decision of the Committee of Adjustment is final and binding.

**NOTICE OF APPEAL MUST BE FILED WITH:**

Secretary-Treasurer,  
 Committee of Adjustment,  
 P. O. Box 328, STN Main  
 395 Mulock Drive,  
 Newmarket, Ontario. L3Y 4X7

**NOT LATER THAN TUESDAY, JANUARY 2<sup>ND</sup>, 2018, BEING THE LAST DATE FOR GIVING NOTICE OF APPEAL**, together with a certified cheque or money order in the amount of **Three Hundred Dollars (\$300.00)**, made payable to the **Minister of Finance**.

**NOTE:** The *Planning Act* provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for purposes of the Act, groups wishing to appeal this decision should do so in the name or names of individual group members, and not in the name of the group.

Date of sending this Notice: December 14, 2017

Secretary-Treasurer

NOTICE OF DECISION

**Date of Decision:** December 13, 2017

**File Number:** D13-A28-17

**Applicant:** TEOFILO, Dario

**Subject Property:** Part Lot 23 & 24A, Plan 31, Parts 3, 4 & 5, Plan RS65R11839  
174 Victoria Street  
Town of Newmarket

**IN THE MATTER OF** Subsection 1 and 2 of Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended and

**IN THE MATTER OF** an application by **TEOFILO, Dario** for the purposes set out below:

The applicant is proposing a 3-storey semi-detached dwelling on the existing lot recognized as 172-174 Victoria Street. In accordance with Consent Application D10-B08-17, the proposed semi-detached dwelling (and the lot) is proposed to be severed in half for purposes of conveyance of one half of the semi-detached dwelling. The applicant is requesting relief from Zoning By-law Number 2010-40, as amended, to permit the following on the proposed severed lot (indicated as 174 Victoria Street on the sketch attached to the Notice of Application):

1. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a lot area of 157.96 square metres, whereas the By-law requires a minimum of 715 square metres;
2. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a lot frontage of 7.62 metres, whereas the By-law requires a minimum of 21.3 metres;
3. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a front yard setback of 4.63 metres, whereas the By-law requires 7.5 metres;
4. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a rear yard setback of 5.28 metres, whereas the By-law requires 7.5 metres;
5. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a northerly side yard setback of 1.08 metres and a northerly side yard setback of 0 metres, whereas the By-law requires 1.8 metres;
6. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a lot coverage of 40.24%, whereas the By-law permits a maximum of 35%;
7. Relief from Section 6.2.2 Zone Standards Regulatory Set K, to permit a building height of 10.25 metres (3 storeys), whereas the By-law permits a maximum of 11.0 metres (2 storeys);
8. Relief from Section 4.2 Encroachments into Required Yards to permit a landing to encroach 2.74 metres into the required front yard, whereas the By-law permits a 1.8 metre encroachment; and

File No. D13-A28-17

In reaching a Decision the Committee had regard to all of the matters set out in Subsection 1 and 2, Section 45, of the *Planning Act*, R.S.O. 1990, c. P.13, as amended and to the written and oral submissions and comments made at the Hearing.

On the basis of the evidence before it, the Committee concludes that the Minor Variance:

- (1) is minor in nature;**
- (2) conforms to the general intent and purpose of the Official Plan and Zoning By-law; and**
- (3) is considered desirable for the appropriate development of the lot.**

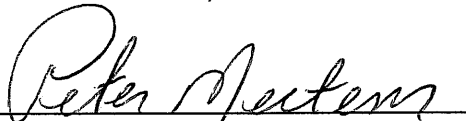
It is therefore the Decision of the Committee that the relief as requested be **GRANTED**, subject to the following conditions:

- (1) That only variances 1 and 2 as listed on the Notice of Application be approved;**
- (2) That all other variances be denied; and**
- (3) That the applicant be advised that prior to the issuance of any building permit compliance will be required with the provisions of the Town's Tree Preservation, Protection, Replacement and Enhancement Policy.**


Majority of Members concurring in this Decision:

  
Gino Vescio, Chair


Fred Stoneman, Member

  
Peter Mertens, Member

Ken Smith, Member

  
Elizabeth Lew, Member

I hereby certify this to be a true copy of the Decision of the Committee of Adjustment and this Decision was concurred in by a majority of the Members who heard the Application.

  
Secretary-Treasurer

9. Relief from Section 5.3.1 Calculation of Parking Requirements for Residential Uses to permit 1 outdoor parking space for a semi-detached dwelling unit, whereas the By-law requires 2 outdoor parking spaces.

**BEFORE:**

Gino Vescio, Chair  
Elizabeth Lew, Member  
Peter Mertens, Member  
Ken Smith, Member  
Fred Stoneman, Member

The following is the Decision of the Committee of Adjustment as it relates to this application.

The subject land is designated "Stable Residential" in the Official Plan.

The subject property is zoned Residential Semi-Detached Dwelling Zone (R2-K) by Zoning By-law Number 2010-40, as amended.

Subsections 12 to 20, inclusive, of Section 45, of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

12. The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Municipal Board against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee prescribed by the Municipal Board under the *Ontario Municipal Board Act* as payable on an appeal from a committee of adjustment to the Board. 1994, c. 23, s. 26 (2).
13. The secretary-treasurer of a committee, upon receipt of a notice of appeal filed under subsection (12), shall forthwith forward the notice of appeal and the amount of the fee mentioned in subsection (12) to the Municipal Board by registered mail together with all papers and documents filed with the committee of adjustment relating to the matter appealed from and such other documents and papers as may be required by the Board. R.S.O. 1990, c. P.13, s. 45 (13).
14. If within such 20 days no notice of appeal is given, the decision of the committee is final and binding, and the secretary-treasurer shall notify the applicant and shall file a certified copy of the decision with the clerk of the municipality. R.S.O. 1990, c. P.13, s. 45 (14); 1994, c. 23, s. 26 (3).
15. Where all appeals to the Municipal Board are withdrawn, the decision of the committee is final and binding and the secretary of the Board shall notify the secretary-treasurer of the committee who in turn shall notify the applicant and file a certified copy of the decision with the clerk of the municipality. R.S.O. 1990, c. P.13, s. 45 (15); 1994, c. 23, s. 26 (4).
16. On an appeal to the Municipal Board, the Board shall, except as provided in subsections (15) and (17), hold a hearing of which notice shall be given to the applicant, the appellant, the secretary-treasurer of the committee and to such other persons or public bodies and in such manner as the Board may determine. R.S.O. 1990, c. P.13, s. 45 (16); 1994, c. 23, s. 26 (5).
17. Despite the *Statutory Powers Procedure Act* and subsection (16), the Municipal Board may dismiss all or part of an appeal without holding a hearing, on its own initiative or on the motion of any party, if,
  - (a) it is of the opinion that,
    - (i) the reasons set out in the notice of appeal do not disclose any apparent land use planning ground upon which the Board could allow all or part of the appeal,
    - (ii) the appeal is not made in good faith or is frivolous or vexatious,
    - (iii) the appeal is made only for the purpose of delay, or
    - (iv) the appellant has persistently and without reasonable grounds commenced before the Board proceedings that constitute an abuse of process;
  - (b) the appellant has not provided written reasons for the appeal;
  - (c) the appellant has not paid the fee prescribed under the *Ontario Municipal Board Act*; or
  - (d) the appellant has not responded to a request by the Municipal Board for further information within the time specified by the Board. 1994, c. 23, s. 26 (6); 2006, c. 23, s. 18 (4, 5).
18. The Municipal Board may dismiss the appeal and may make any decision that the committee could have made on the original application. R.S.O. 1990, c. P.13, s. 45 (18).
19. When the Municipal Board makes an order on an appeal, the secretary of the Board shall send a copy thereof to the applicant, the appellant and the secretary-treasurer of the committee. R.S.O. 1990, c. P.13, s. 45 (19).
20. The secretary-treasurer shall file a copy of the order of the Municipal Board with the clerk of the municipality. R.S.O. 1990, c. P.13, s. 45 (20).

**\$300.00 for each separate appeal, by cheque, made payable to the Minister of Finance.**

**COMMITTEE OF ADJUSTMENT****Town of Newmarket**

395 Mulock Drive

P.O. Box 328

Newmarket, ON L3Y 4X7

[www.newmarket.ca](http://www.newmarket.ca)[mpeverini@newmarket.ca](mailto:mpeverini@newmarket.ca)

T: 905.953.5300 Ext. 2453

F: 905.953.5140

**TO:** All Department Heads, Town of Newmarket  
and Miscellaneous Agencies.

**RE:** Application for Consent - File No: D10-B07-17

Regarding the property located at:

**MAIO, Andrew & WALTON, Terri-Lynn**  
**Part Lot 10, Plan 85**  
**357 Andrew Street**  
**Town of Newmarket**  
**Ward No.: 5**

---

Pursuant to the provisions of the Planning Act, 1990, I enclose a copy of the above noted application, which has been submitted to the Newmarket Committee of Adjustment for consideration. The Committee invites your advice and comments in this matter.

The Committee would like to receive comments, if possible, a week before the Hearing of the application. However, in order to avoid undue delay to the applicant the Committee will hear the application as soon as it can be scheduled. A copy of the Notice of Hearing is also enclosed for your information.

If you have any questions in respect of this or related matters, I would be pleased to discuss them with you.

Yours truly,

Secretary-Treasurer.

Encl.

**DATED** at the Town of Newmarket this 21<sup>st</sup> day of December, 2017.



38  
**COMMITTEE OF ADJUSTMENT**

**Town of Newmarket**

395 Mulock Drive

P.O. Box 328

Newmarket, ON L3Y 4X7

www.newmarket.ca

mpeverini@newmarket.ca

T: 905.953.5300 Ext. 2453

F: 905.953.5140

**TOWN OF NEWMARKET  
COMMITTEE OF ADJUSTMENT  
NOTICE OF APPLICATION FOR CONSENT**

**FILE NUMBER: D10-B07-17**

**IN THE MATTER OF** Section 53 of The Planning Act, (R.S.O. 1990, c.I), as amended, and  
**IN THE MATTER OF** an Application by Andrew Maio & Terri-Lynn Walton, owners of that parcel of land being and situated in the Town of Newmarket, known as Part Lot 10, Plan 85 (357 Andrew Street).

The owner of the above noted property is proposing to convey the subject land indicated as "A" on the attached sketch for residential purposes and to retain the land marked as "B" on the attached sketch for residential purposes. The matter was deferred from the previous December 13<sup>th</sup>, 2017 Committee of Adjustment hearing date.

The land which is the subject of the application for consent is designated Stable Residential in the Official Plan.

**THE COMMITTEE OF ADJUSTMENT WILL CONSIDER THE APPLICATION ON  
WEDNESDAY, JANUARY 17<sup>TH</sup>, 2018, AT 9:30 A.M., IN THE COUNCIL CHAMBERS,  
IN THE MUNICIPAL OFFICES AT 395 MULOCK DRIVE, NEWMARKET, ONTARIO.**

If you wish to be notified of the decision of the Town of Newmarket Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary-Treasurer, Committee of Adjustment, Town of Newmarket, 395 Mulock Drive, Box 328, STN Main, Newmarket, Ontario L3Y 4X7.

If a person or public body that files an appeal of the decision of Town of Newmarket Committee of Adjustment in respect of the proposed consent does not make written submission to the Town of Newmarket Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Municipal Board may dismiss the appeal.

If you are aware of any person interested in or affected by this application who has not received a copy of this notice you are requested to inform that person of this application.

If you wish to be notified of the decision of the Committee of Adjustment in respect of this application, you must submit a written request to the Secretary-Treasurer, Committee of Adjustment, Town of Newmarket, 395 Mulock Drive, STN MAIN, Box 328, Newmarket, Ontario L3Y 4X7. This will also entitle you to be advised of a possible Ontario Municipal Board Hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Municipal Board by the applicant or another member of the public.

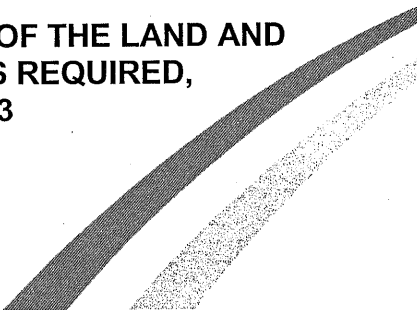
**IMPORTANT NOTICE TO OWNER:** If you do not attend or are not represented at this meeting, the Committee may proceed in your absence and make a decision, or may consider the application to have been abandoned or withdrawn, and close the file.

The application together with all comments received to date will be available for examination at the Town Office. See the Secretary-Treasurer, Planning Department, Municipal Offices, 395 Mulock Drive, Box 328, STN Main, Newmarket, Ontario L3Y 4X7 during the normal business hours, **EXCEPT ON THE DAY OF THE MEETING.** Copies, if requested, will be provided at a nominal charge.

**DATED** at the Town of Newmarket this 21<sup>st</sup> day of December, 2017.

Secretary-Treasurer,  
Committee of Adjustment.

**PLEASE REFER TO THE ATTACHED SKETCHES FOR THE LOCATION OF THE LAND AND  
GENERAL DETAILS OF THE APPLICATION. IF MORE INFORMATION IS REQUIRED,  
CONTACT THE SECRETARY-TREASURER AT (905) 953-5300, EXT. 2453  
FOR ASSISTANCE.**





**GENERAL GUIDELINES FOR PERSONS APPEARING AT CONSENT HEARING**

1. Applications will not be considered prior to the time noted on the Notice of Application.
2. The Owner/Applicant will be given an opportunity, if desired, to briefly explain to the Committee and other persons who may be attending in connection with the application, the basis of their application and to answer any questions that may arise out of the meeting.
3. Persons speaking to an application must state their full name and mailing address, for the record.

Those appearing on behalf of the Owner, an individual or individuals, a company, law or consulting firm, should so advise the Committee.

If a property owner in the area, please give the location or other satisfactory identification of the property owned.

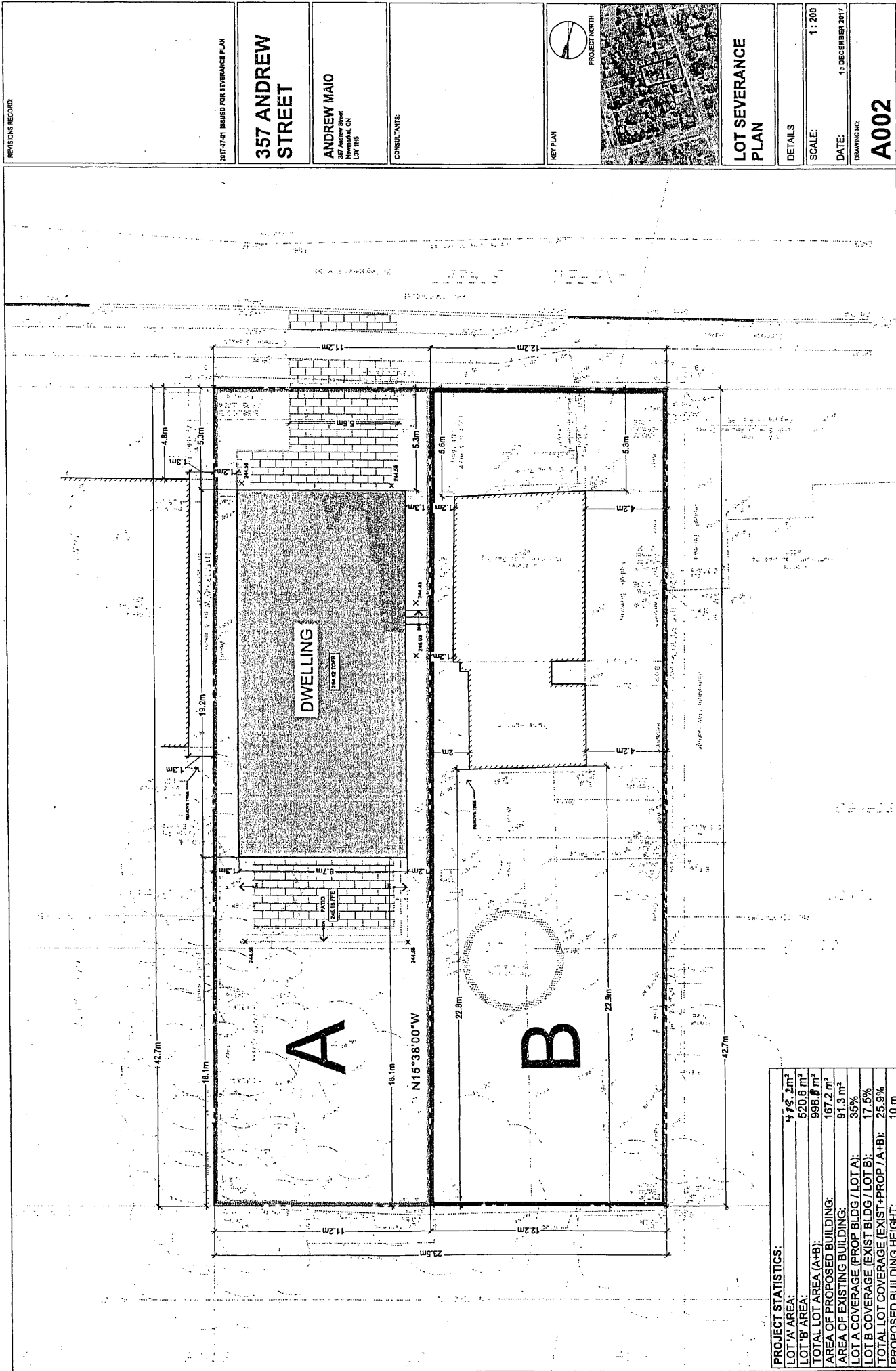
4. All persons attending the Hearing who wish to support or oppose the application will have an opportunity to speak to the Committee following the presentation by the Owner/Agent/Solicitor.

Ratepayer's groups wishing to appear should appoint a spokesperson to act on their behalf. The Committee of Adjustment may require a submission of satisfactory documentation indicating that the person appearing on behalf of a ratepayer's group is so authorized.

5. **ALL REMARKS ARE TO BE DIRECTED TO THE CHAIR.**
6. A summary of statements by each person speaking on an application is made for the records. The Committee may require that such statements be made under oath, or be subsequently confirmed under oath as set out in The Evidence Act, R.S.O. 1980, c.145.
7. **Decisions of the Committee are in writing. Notice of Decision will be mailed out not later than fifteen (15) days from the date of the decision.**

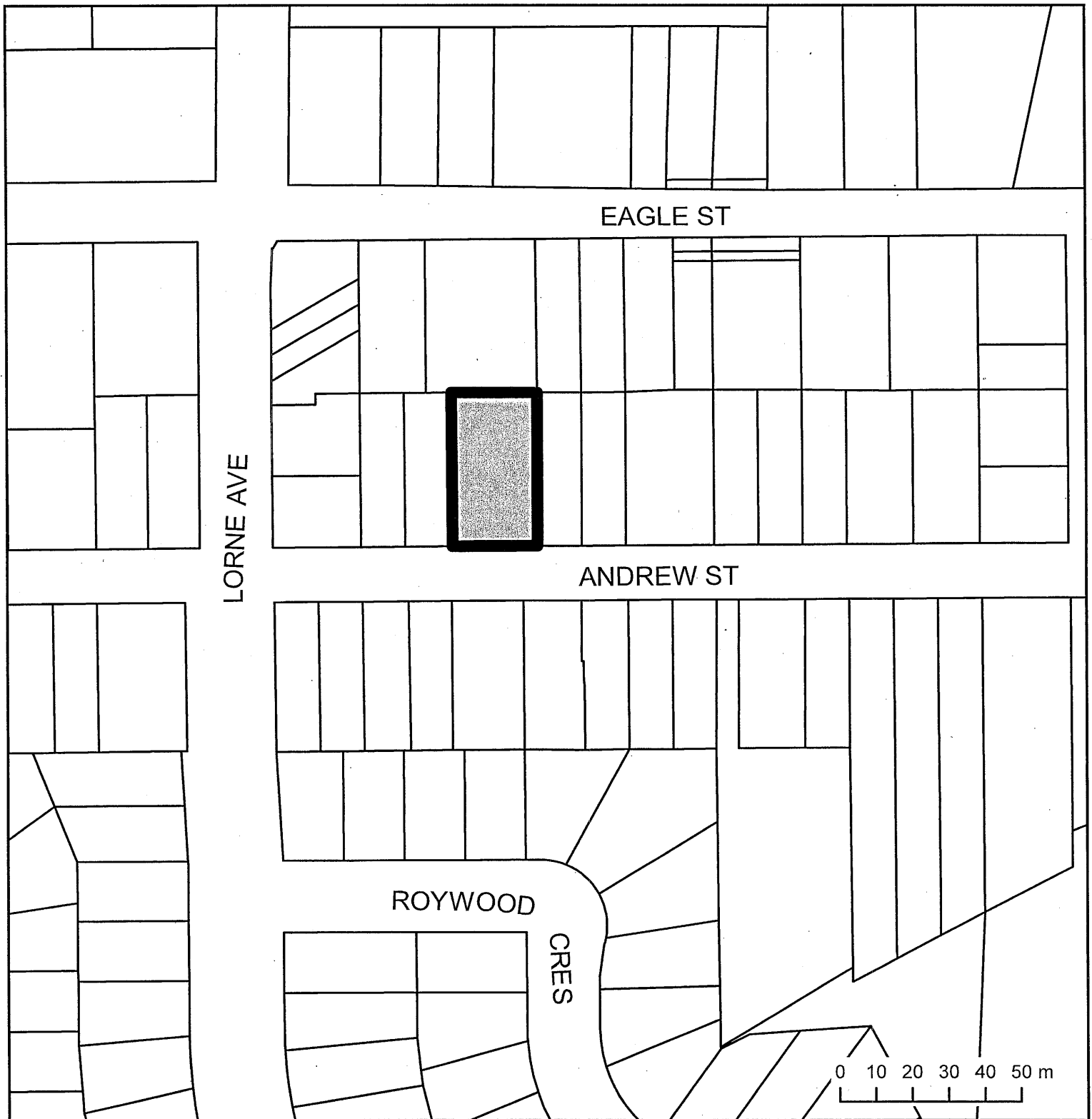
**PLEASE NOTE:**

Copies of the Decision will be mailed out to the Owner/Agent/Solicitor and to each person who appeared in person or was represented by Counsel at the Hearing and who has filed with the Secretary-Treasurer a written request for Notice of the Decision.



## LOCATION MAP

### 357 Andrew Street



Subject Lands



TOWN OF NEWMARKET PLANNING DEPARTMENT



# Committee of Adjustment Application for Consent

Town of Newmarket  
395 Mulock Drive  
P.O. Box 328, Station Main  
Newmarket, ON L3Y 4X7

COMMITTEE OF  
OCT 18 2017  
ADJUSTMENT



T: 905-953-5300 Ext. 2453  
F: 905-953-5140

The undersigned hereby applies to the Committee of Adjustment for Town of Newmarket under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended.

FILE NUMBER (for office use only)	D10 - B07 - 17
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1.0 Applicant Information		<input checked="" type="checkbox"/> Primary Contact for Application	
Property Owner(s): Andrew Maio & Terri-Lynn Walton			
Address:	City:	Postal Code:	Province:
357 Andrew Street	Newmarket	L3Y 1H5	ON
Phone:	Alt. Phone:		
647 460 4908	647 460 4907		
Email:	Fax:		
maio.andrew@gmail.com			

2.0 Agent Information		<input checked="" type="checkbox"/> Primary Contact for Application	
Name of Authorized Agent: Andrew Maio			
Address:	City:	Postal Code:	Province:
357 Andrew Street	Newmarket	L3Y 1H5	ON
Phone:	Alt. Phone:		
647 460 4907			
Email:	Fax:		
maio.andrew@gmail.com			

3.0 Legal Description of the Subject Lands	
Concession/Registered Plan No.: PART OF LOT 10	Lot Number(s):
Reference Plan No.: PLAN 85	Part Number(s):
Municipal Address: 357 Andrew Street, Newmarket ON L3Y 1H5	
Roll Number: 1948020100 84 700 0000	
Are there any easements or restrictive covenants affecting the subject lands? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If "yes", please describe: _____	

4.0 Type and Purpose of Application (please check)			
<input checked="" type="checkbox"/> Creation of new lot	<input type="checkbox"/> Easement	<input type="checkbox"/> Addition to a lot	<input type="checkbox"/> Right-of-Way
<input type="checkbox"/> Lease	<input type="checkbox"/> Mortgage	<input type="checkbox"/> Correction of title	

If a lot addition, please identify the lands to which the parcel will be added:

Name of person(s), if known, to whom land or interest in land is to be transferred, leased or mortgaged:

### 5.0 Property Description

SEVERED:	Lot Frontage: <u>11.2</u> m	Lot Depth: <u>42.7</u> m	Lot Area: <u>478.2</u> <del>479.7</del> m <sup>2</sup>
RETAINED:	Lot Frontage: <u>12.2</u> m	Lot Depth: <u>42.7</u> m	Lot Area: <u>520.6</u> <del>522.3</del> m <sup>2</sup>
EASEMENT:	Lot Frontage: <u>N/A</u> m	Lot Depth: <u>N/A</u> m	Lot Area: <u>N/A</u> m <sup>2</sup>

### 6.0 Use of Property

SEVERED:	Existing: <u>BACK &amp; SIDE YARD</u>	Proposed: <u>2 - STOREY SINGLE DETACHED DWELLING</u>
RETAINED:	Existing: <u>2 - STOREY SINGLE DETACHED DWELLING</u>	Proposed: <u>2 - STOREY SINGLE DETACHED DWELLING</u>
EASEMENT USE OF:		

### 7.0 Buildings or Structures

SEVERED:	Existing: <u>Woodshed.</u>	Proposed: <u>2 - STOREY SINGLE DETACHED DWELLING</u> <u>Woodshed to be removed.</u>
RETAINED:	Existing: <u>2 - Storey SINGLE DETACHED DWELLING</u>	Proposed: <u>2 - storey Single Detached Dwelling</u>

### 8.0 Access

SEVERED:	<input checked="" type="checkbox"/> Municipal	<input type="checkbox"/> Regional	<input type="checkbox"/> Provincial
	<input checked="" type="checkbox"/> Private Road	<input type="checkbox"/> Right-of-Way	<input type="checkbox"/> Other _____
RETAINED:	<input checked="" type="checkbox"/> Municipal	<input type="checkbox"/> Regional	<input type="checkbox"/> Provincial
	<input type="checkbox"/> Private Road	<input type="checkbox"/> Right-of-Way	<input type="checkbox"/> Other _____

If access to the subject land is by "Private Road", "Right-of-Way" or "Other", please indicate who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or year-round:

9.0 Water Supply		
SEVERED:	<input checked="" type="checkbox"/> Municipal Services	<input type="checkbox"/> Well
RETAINED:	<input checked="" type="checkbox"/> Municipal Services	<input type="checkbox"/> Well

10.0 Sewer		
SEVERED:	<input checked="" type="checkbox"/> Municipal Services	<input type="checkbox"/> Septic Tank
RETAINED:	<input checked="" type="checkbox"/> Municipal Services	<input type="checkbox"/> Septic Tank

11.0 Land Use and Application Information			
What is the existing Official Plan Designation(s) of the Subject Land? <u>STABLE RESIDENTIAL</u>			
What is the existing Zoning Designation(s) of the Subject Land? <u>R1-D-119</u>			
Are any of the following uses or features on the Subject Land or within 500 metres of the Subject Land? Please check the appropriate boxes if any apply:	Use or Feature	On the Subject Land	Within 500 metres of the Subject Land
	Flood Plain	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Any industrial or commercial use. Please specify: _____	<input checked="" type="checkbox"/>	The Arts Music Store, etc....
	An active railway line	N / <input checked="" type="checkbox"/> A	<input type="checkbox"/>
	Electric transformer stations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	High voltage electric transmission lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	An agriculture operation, including livestock facility or stockyard	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Has the subject land ever been subject of an application for approval of a plan of subdivision or consent under the Planning Act? If Yes, please provide the application file number and decision made on this application.			
<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes _____			
Has any land been severed from the parcel originally acquired by the owner of the subject land? If Yes, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.			
<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes _____			
If this application is a re-submission of a previous consent application, describe how it has been altered from the original:			
_____			
_____			

Is the land currently subject to a proposed Official Plan or Official Plan amendment that has been submitted for approval? If Yes, and if known, specify the appropriate file number and status of the application.

☒ No

☐ Yes

Is the subject land the subject of an application for a zoning by-law amendment, Minister's zoning order amendment, minor variance or approval of a plan of subdivision? If Yes, and if known, specify the appropriate file number and status of application.

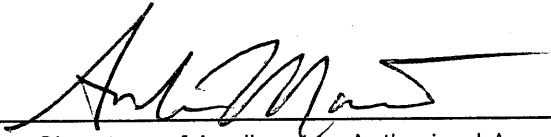
☒ No

☐ Yes

Is the subject land is within an area of land designated under any provincial plan or plans. If Yes, please indicate whether the application conforms to or does not conflict with the applicable provincial plan or plans.

☒ No

☐ Yes

  
Signature of Applicant or Authorized Agent

DATED at the Town of New of Newmarket this  
18 day of October 2017.

# AFFIDAVIT OR SWORN DECLARATION

I, Andrew Maio of the Town of Newmarket  
(Print Name of Owner or Authorized Agent) (e.g. Town of Newmarket)  
 in the Regional Municipality of York  
(e.g. Regional Municipality of York)

Solemnly declare that all above statements and the statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as it made under oath and by virtue of the CANADA EVIDENCE ACT.

For the purposes of the FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the PLANNING ACT for the purposes of processing this application and correspondence purposes. Questions about this collection should be directed to the Committee of Adjustment Secretary-Treasurer, Town of Newmarket, 395 Mulock Drive, Newmarket, Ontario L3Y 4X7, telephone 905-953-5300 ext. 2453.

**NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner, etc. A Commissioner is available in the Committee of Adjustment office, if needed.**

DECLARED before me

at the Town

of NEWMARKET

in the REGION

of YORK

this 18

day of OCTOBER, 2017

M. Brymer  
 A Commissioner, etc.

[Signature]  
 Signature of applicant or authorized agent

☐ I have authority to bind the Corporation

Michele Brymer, a Commissioner, etc.,  
 Regional Municipality of York, for  
 the Corporation of the Town of Newmarket.  
 Expires August 12, 2018.



## PERMISSION TO ENTER

Date: Oct 18, 2017.

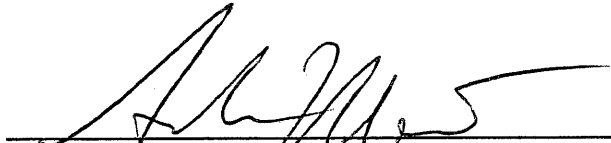
Secretary-Treasurer  
Committee of Adjustment  
Town of Newmarket  
395 Mulock Drive  
Newmarket ON L3Y 4X7

Dear Secretary-Treasurer:

RE: Application to Committee of Adjustment

Location of Property: 357 Andrew Street Newmarket ON L3Y 1H5  
(Municipal address)

I hereby authorize the Committee of Adjustment members and Town of Newmarket staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.

  
\_\_\_\_\_  
Signature of owner or authorized agent

Andrew Maio  
\_\_\_\_\_  
Please print name

# APPOINTMENT AND AUTHORIZATION

I / We, Andrew Maio & Terri-Lynn Walton.  
(Name of Owner(s))

the undersigned, being the registered property owner(s) of \_\_\_\_\_

PART OF LOT 10 PLAN 85, hereby authorize  
(Legal description or municipal address)

Andrew Maio as my/our agent for the  
(Authorized agent's name)

purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 18 day of October 2017.

Terri-Lynn Walton  
(Signature of the owner or signing officer)

☐ I have authority to bind the Corporation

Terri-Lynn Walton  
(Please print the full name and position of the person signing)

\_\_\_\_\_  
(Name of the Corporation, if applicable)

[Signature]  
(Signature of the owner or signing officer)

☐ I have authority to bind the Corporation

Andrew Maio  
(Please print the full name and position of the person signing)

\_\_\_\_\_  
(Name of the Corporation, if applicable)



TOWN OF NEWMARKET  
395 Mulock Drive  
P.O. Box 328  
Newmarket, ON L3Y 4X7

www.newmarket.ca  
info@newmarket.ca  
905.895.5193

December 22, 2017

To: Region of York, Intake Team  
Rogers Cable TV  
Region District School Board  
Conseil Scolaire Viamonde  
Bell Canada  
Hydro One Networks Inc.  
Canada Post  
Southlake Regional Health Centre  
Enbridge Gas Distribution – Asset  
Management  
Ministry of Municipal Affairs and Housing

~~Heritage Newmarket~~  
Lake Simcoe Region Conservation Authority  
York Catholic District School Board  
Enbridge Gas Distribution – Long Range Planning  
York Regional Police  
Ontario Power Generation  
Newmarket Tay Power  
GO Transit / Metrolinx  
Conseil scolaire de district catholique Centre-Sud  
York

Re: **Application for Zoning By-Law Amendment**  
**285 Harry Walker Parkway South**  
**Diron Developments Limited**  
**Files: D14-NP1725 (ZBA), D11-NP1725 (SPA)**

We have received a Zoning By-law Amendment application for the above noted property. The application proposes to amend the Zoning By-law to permit the development of a stand-alone overflow parking lot with 151 parking spaces for the exclusive use of the York Region District School Board Office located at 300 Harry Walker Parkway South.

A Site Plan Approval application has also been received. These applications are being processed concurrently. Site Plan level documents are being provided under separate cover.

Enclosed are the application form, the submission cover letter, survey, site plan and landscape drawings. A full range of supporting technical documents and reports have been submitted and can be viewed at the following link <https://tonfileshare.newmarket.ca/share.cgi?ssid=0JZiqxc>.

Please direct any comments you may have on this proposal to the undersigned by **January 25, 2018**.

Sincerely,

Matthew Peverini, BURPI, B.Sc.  
Planner

cc: Mayor Tony Van Bynen  
Bob Shelton, Chief Administrative Officer  
Dave Kerwin, Councillor Ward 2

Attachments: Application form, submission cover letter, survey, site plan and landscape drawings (additional technical material provided to the Region of York, Intake Team and the Lake Simcoe Region Conservation Authority)


**PLANNING & BUILDING SERVICES**

Town of Newmarket  
395 Mulock Drive  
P.O. Box 328, STN Main  
Newmarket, ON L3Y 4X7

www.newmarket.ca  
planning@newmarket.ca  
T: 905.953.5321  
F: 905.953.5140

<b>PLANNING APPLICATION FORM</b>  USE FOR ALL APPLICATIONS	<b>FOR OFFICE USE</b>
	RECEIVED BY: <u>M. Peverini</u>
	DATE RECEIVED: <u>Dec 1, 2017</u>
	APPLICATION FEE: <u>\$37,034.09</u>
	FILE NUMBER: <u>ZBA: D14 NP1725</u> <u>SPA: D11 NP1725</u>

APPLICATION IS SUBMITTED FOR: (Mark all appropriate boxes)

- |  |  |
|--|--|
| <input type="checkbox"/> OFFICIAL PLAN AMENDMENT           | <input type="checkbox"/> DRAFT PLAN OF SUBDIVISION |
| <input checked="" type="checkbox"/> ZONING BYLAW AMENDMENT | <input type="checkbox"/> DRAFT PLAN OF CONDOMINIUM |
| <input checked="" type="checkbox"/> SITE PLAN APPROVAL     | <input type="checkbox"/> PART LOT CONTROL          |
| <input type="checkbox"/> AMENDMENT TO SITE PLAN APPROVAL   | <input type="checkbox"/> OTHER: _____              |

**REGISTERED OWNER:** Diron Developments Limited c/o Diego Toneguzzo

ADDRESS: 221 Hanlan Road, Unit 9 CITY: Woodbridge

POSTAL CODE: L4L 3R7 PHONE: 905-851-2244 FAX: 905-851-4623

E-MAIL ADDRESS: dtguzzo@msn.com

PLEASE LIST ADDITIONAL PROPERTY OWNERS ON AN ATTACHED SHEET

**BENEFICIAL OWNER:** (If applicable)

N/A

ADDRESS: CITY:

POSTAL CODE: PHONE: FAX:

E-MAIL ADDRESS:

**AGENT:** (If other than either of the above) Weston Consulting c/o Sandra Patano

ADDRESS: 201 Millway Avenue Suite 19 CITY: Vaughan

POSTAL CODE: L4K 5K8 PHONE: 905-738-8080 ext. 245 FAX: 905-738-6637

E-MAIL ADDRESS: spatano@westonconsulting.com

**SEND INVOICES TO:** (Mark appropriate boxes)

- |   |   |                                |
|---|---|--------------------------------|
| <input checked="" type="checkbox"/> OWNER | <input type="checkbox"/> BENEFICIAL OWNER | <input type="checkbox"/> AGENT |
|---|---|--------------------------------|

**SEND CORRESPONDENCE TO:** (Mark appropriate boxes)

- |                                |   |   |
|--------------------------------|---|---|
| <input type="checkbox"/> OWNER | <input type="checkbox"/> BENEFICIAL OWNER | <input checked="" type="checkbox"/> AGENT |
|--------------------------------|---|---|

**LOCATION AND DESCRIPTION OF PROPERTY**

MUNICIPAL ADDRESS: 285 Harry Walker Parkway South

LOT:

CONCESSION:

LOT: 13

REGISTERED PLAN: 65M-2558

AND/OR

PART:

REFERENCE PLAN (If relevant):

LOT AREA (ha): 0.6934 ha LOT FRONTAGE (m): 53.75m LOT DEPTH (m): 114.7 m

EXISTING STRUCTURES: (Give height &amp; floor area) No existing structures.

PROPOSED STRUCTURES: (Give height &amp; floor area)

No structures proposed - parking lot of (6934 m2).

DOES THE APPLICANT HAVE AN INTEREST IN ANY ADJACENT LANDS? IF YES, PLEASE DESCRIBE:

Proposed lot is for the exclusive use of YRDSB Offices located at 300 Harry Walker Parkway S, Newmarket.

**LAND USES**

PRESENT USE: Vacant

PROPOSED USE: Overflow parking lot for exclusive use by nearby York Region District School Board Offices located adjacent to the site at 300 Harry Walker Parkway S.

PRESENT OFFICIAL PLAN DESIGNATION: Business Park - Mixed Employment

PROPOSED OFFICIAL PLAN DESIGNATION: (If applicable) N/A

PRESENT ZONING BYLAW CLASSIFICATION: EG12 - General Employment

PROPOSED ZONING BYLAW CLASSIFICATION: (If applicable) EG-XX General Employment



Pre-consultation with municipal staff on application - Date: February 14, 2017

Indicate whether this application conforms to the Provincial Policy Statements (2005)

Indicate whether this application conforms (or does not conflict) with all other Provincial Plans

(Further details may be required in a Planning Justification Report)

**PROPOSED TENURE TYPE:** (If applicable)

FREEHOLD



CONDOMINIUM



RENTAL

**SERVICING****SANITARY SERVICING:**

MUNICIPAL



PRIVATE SEPTIC SYSTEM



OTHER: \_\_\_\_\_

**WATER SUPPLY:**

MUNICIPAL



PRIVATE WELL



OTHER: \_\_\_\_\_

**DATE OF ACQUISITION OF LAND**

BY OWNER: August 15, 2000

AND IN THE CASE OF A BENEFICIAL OWNER, ANTICIPATED DATE OF CLOSING:

The personal information on this form is collected under the *Planning Act*, R.S.O. 1990, c.P.13, as amended. The information is used for the purpose of processing your application. If you have any questions about this collection of personal information, please contact the Planning Division, Town of Newmarket, at (905) 953-5321.

**DECLARATION**

I Weston Consulting c/o Sandra Patano

of the City of Vaughan

in the Region of York

**SOLEMNLY DECLARE THAT:**

ALL THE WITHIN STATEMENTS AND THE STATEMENTS CONTAINED IN ALL OF THE EXHIBITS TRANSMITTED HERewith, ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH AND BY VIRTUE OF THE CANADA EVIDENCE ACT.

FOR PURPOSES OF THE *MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT*, I AUTHORIZE AND CONSENT TO THE USE BY OR DISCLOSURE TO ANY PERSON OR PUBLIC BODY OF ANY PERSONAL INFORMATION IN THIS APPLICATION THAT IS COLLECTED UNDER THE AUTHORITY OF THE *PLANNING ACT* FOR THE PURPOSE OF PROCESSING YOUR APPLICATION.

Declared before me at the City of Vaughan  
in the Regional Municipality of York  
this 27<sup>th</sup> day of November A.D. 2017

JULIA ERICA PIERDON, a  
Commissioner, etc., Province  
of Ontario, for  
Weston Consulting Group Inc.  
Expires January 7, 2018

A Commissioner, etc.

Signature of Owner, Beneficial Owner or Agent

CERTIFICATE

(TO BE SIGNED BY OWNER, EVEN IF AGENT HAS BEEN APPOINTED)

As of the date of this application, I am the registered owner of the lands described in the application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I authorize the submission of this application on my behalf by:

Diron Developments Limited c/o  
Diego Toneguzzo AND/OR Weston Consulting c/o Sandra Patano  
 (Please Print) (Please Print)  
 BENEFICIAL OWNER (If applicable) WHOM I HAVE APPOINTED AS MY AGENT

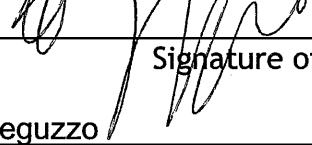
With the submission of my application, I hereby undertake to not permit the cutting down of any trees or the disturbance of any vegetative cover in any way as it exists on the land which is the subject of this application without the prior written approval of the Town.

I hereby also undertake to not permit the demolition and/or destruction of any building and/or structure in any way as it exists on the land which is the subject of this application without the prior written approval of the Town.

I hereby also undertake to have any sign, which is required to be erected to provide notification of a public meeting, removed within seven days after the public meeting is held.

I hereby acknowledge that the Town or its representatives, and applicable public agencies have permission to access the property for the purposes of reviewing this application.

I hereby agree and acknowledge that the information contained in this application and any supporting information, including reports, studies, and drawings, provided with this application by me, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I hereby consent to the Town of Newmarket making this application and its supporting information available to the general public, including copying, posting on the Town's website and/or releasing a copy of the application and any of its supporting information to any third party upon their request, and as part of a standard distribution of copies of such documentation, I consent to the Town releasing copies of any of the documentation to additional person, including but not limited to members of Council and ratepayers' associations.

DATE: \_\_\_\_\_ SIGNED:  \_\_\_\_\_  
 Signature of Owner  
Diego Toneguzzo  
 Print Name of Owner

(AFFIX CORPORATE SEAL IF APPLICABLE)

To Whom It May Concern:

January 1, 2011



**SKETCH SHOWING TAGGED TREES  
PART OF LOT 13  
PLAN 65M-2558  
TOWN OF NEWMARKET  
REGIONAL MUNICIPALITY OF YORK**

SCALE 1:300  
RADY-PENTEX & EDWARD SURVEYING LTD., O.L.S.  
METRIC MEASURES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- BNL DENOTES BELL BOX
  - CB DENOTES CATCH BASIN
  - UP DENOTES UTILITY POLE
  - MH DENOTES MANHOLE
  - SR DENOTES STREET RIGHT-OF-WAY
  - BTM DENOTES TOP OF CURB
  - MTD DENOTES MINISTRY OF TRANSPORTATION ONTARIO
  - TD DENOTES DECIDUOUS TREE
  - TX DENOTES TREE TAGGED IN

**BEARING NOTE**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH LIMIT OF  
PART 9 AS SHOWN ON PLAN 65R-20749, HAVING A BEARING OF N89°00'00"E.

**BOUNDARY NOTE**

BOUNDARIES ARE NOT CERTIFIED BY THIS PLAN AND ARE SUBJECT TO CLARIFICATION  
UPON THE INCORPORATION OF ADDITIONAL DOCUMENTARY AND FIELD SURVEY EVIDENCE.  
THIS IS NOT A PLAN OF SURVEY TO BE USED FOR MORTGAGE OR  
TRANSACTION PURPOSES. NO SURVEY HAS BEEN TAKEN FROM PLAN  
65R-20749 AND HAS NOT BEEN CONFIRMED.

**UNDERGROUND SERVICES**

UNDERGROUND SERVICES HAVE NOT BEEN SHOWN ON THIS SKETCH.  
THE PRESENCE OF UNDERGROUND SERVICES IS ADVISED PRIOR TO EXCAVATION  
AND CONSTRUCTION.

**SEASONAL NOTE**

SOME TOPOGRAPHIC FEATURES MAY HAVE BEEN COVERED BY SNOW AND  
CONSEQUENTLY MAY NOT BE ILLUSTRATED ON THIS DRAWING.

**BENCHMARK NOTE**

ELEVATIONS ARE GROUNDING AND ARE REFERRED TO THE MINISTRY OF ONTARIO  
ELEVATIONS. THE BENCHMARK IS A 2-STOREY RED BRICK HOUSE ON EAST SIDE OF SUTTON ROAD, 2.0m WEST OF  
JCT OF WOODBINE AVENUE (REGIONAL ROAD No. 8) AND DAVIS DRIVE AT NEWMARKET,  
0.7km SOUTH ALONG SUTTON ROAD, 286.6m NORTH OF GORHAM STREET AND 196.6m  
EAST OF CENTRELINE OF SUTTON ROAD. TABLE IS SET HORIZONTALLY IN EAST FACE  
OF CURB, 1.0m NORTH OF SOUTHEAST CORNER, 2.0m BELOW BRICKWORK  
AND 55mm ABOVE GROUND LEVEL.

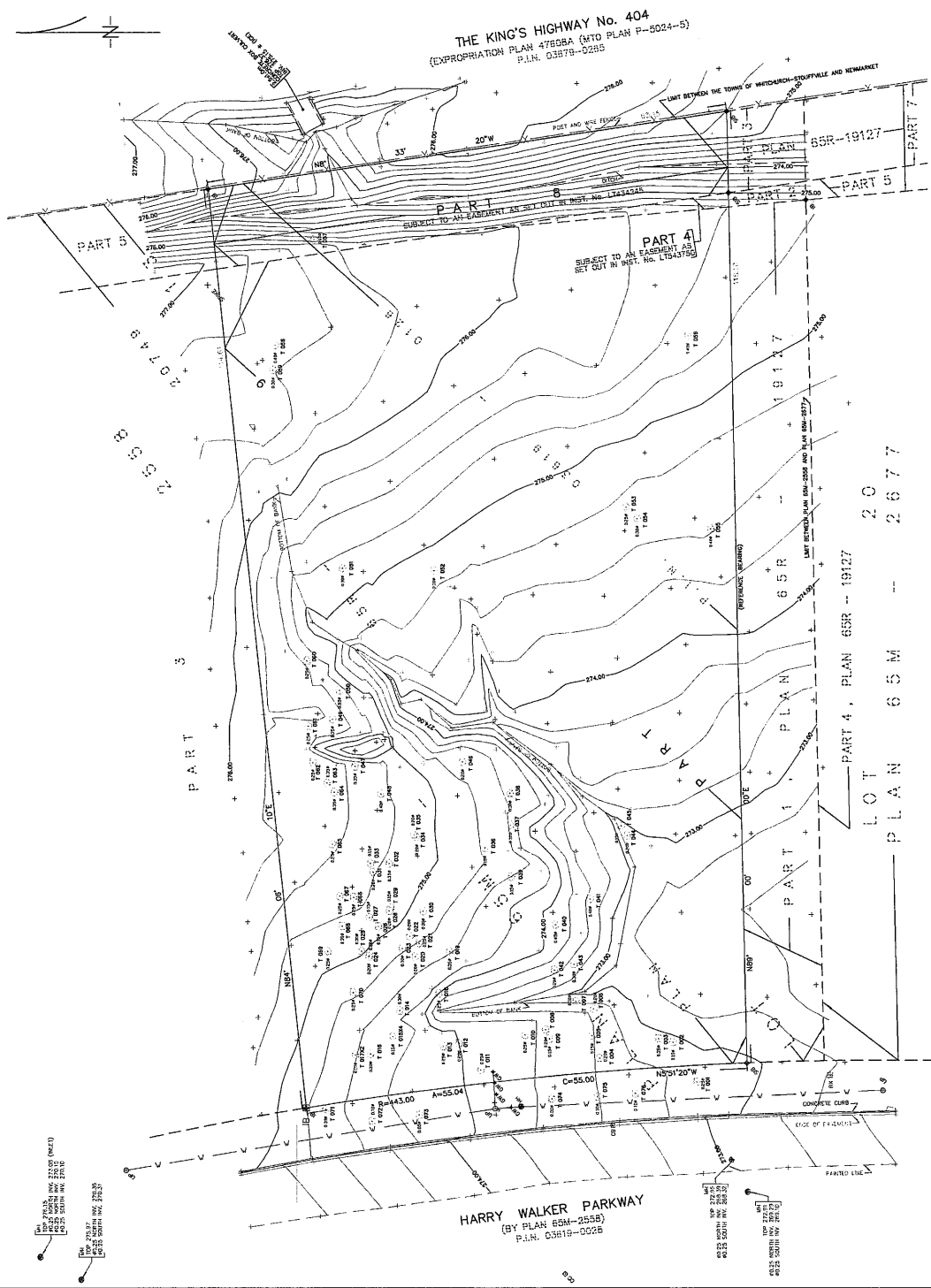
**SURVEYOR'S CERTIFICATE**

THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN WERE COMPLETED ON  
THE 3rd DAY OF AUGUST, 2017.

DATE \_\_\_\_\_, 2017

**PHILIP S. SWIFT**  
ONTARIO LAND SURVEYOR  
**EDWARD SURVEYING LTD.**  
643 CHURCH ROAD, SUITE 7  
WOODBRIDGE, ONTARIO L4L 6A3  
Tel: (416) 633-5000 Fax: (416) 633-5001  
Toll-free: 1-800-387-2222  
Website: www.r-pe.ca  
DRAWN: S.L.  
CHECKED:  
CAD FILE No. 05-059162-tree JOB No. 05-059

Aug 10, 2017 - 142629



THE KING'S HIGHWAY No. 404  
(EXPROPRIATION PLAN 47828A (HTO PLAN P-5024-5)  
P.L.N. 03879-0285

HARRY WALKER PARKWAY  
(BY PLAN 65M-2558)  
P.L.N. 03819-0226

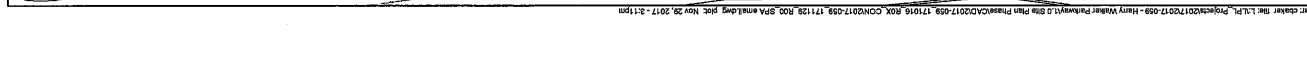
PART 4, PLAN 65R-19127  
LOT 20  
PLAN 65M-2558



PLANT LIST									
DECIDUOUS TREE									
	BOTANICAL NAME	Count	Key	COMMON NAME	CALIPER	HEIGHT	ROOT	BREATH	NOTE
1	Alder	5	AS	Red Maple	-	60m	-	-	-
2	Aspen	6	AE	Black Birch	-	50m	-	-	-
3	Bald Eagle	6	BE	Red Cedar	-	50m	-	-	-
4	Black Birch	6	BB	Black Birch	-	50m	-	-	-
5	Box Elder	4	BE	Box Elder	-	50m	-	-	-
6	Box Elder	4	BE	Box Elder	-	50m	-	-	-
7	Box Elder	4	BE	Box Elder	-	50m	-	-	-
8	Box Elder	4	BE	Box Elder	-	50m	-	-	-
9	Box Elder	4	BE	Box Elder	-	50m	-	-	-
10	Box Elder	4	BE	Box Elder	-	50m	-	-	-
11	Box Elder	4	BE	Box Elder	-	50m	-	-	-
12	Box Elder	4	BE	Box Elder	-	50m	-	-	-
13	Box Elder	4	BE	Box Elder	-	50m	-	-	-
14	Box Elder	4	BE	Box Elder	-	50m	-	-	-
15	Box Elder	4	BE	Box Elder	-	50m	-	-	-
16	Box Elder	4	BE	Box Elder	-	50m	-	-	-
17	Box Elder	4	BE	Box Elder	-	50m	-	-	-
18	Box Elder	4	BE	Box Elder	-	50m	-	-	-
19	Box Elder	4	BE	Box Elder	-	50m	-	-	-
20	Box Elder	4	BE	Box Elder	-	50m	-	-	-
21	Box Elder	4	BE	Box Elder	-	50m	-	-	-
22	Box Elder	4	BE	Box Elder	-	50m	-	-	-
23	Box Elder	4	BE	Box Elder	-	50m	-	-	-
24	Box Elder	4	BE	Box Elder	-	50m	-	-	-
25	Box Elder	4	BE	Box Elder	-	50m	-	-	-
26	Box Elder	4	BE	Box Elder	-	50m	-	-	-
27	Box Elder	4	BE	Box Elder	-	50m	-	-	-
28	Box Elder	4	BE	Box Elder	-	50m	-	-	-
29	Box Elder	4	BE	Box Elder	-	50m	-	-	-
30	Box Elder	4	BE	Box Elder	-	50m	-	-	-
31	Box Elder	4	BE	Box Elder	-	50m	-	-	-
32	Box Elder	4	BE	Box Elder	-	50m	-	-	-
33	Box Elder	4	BE	Box Elder	-	50m	-	-	-
34	Box Elder	4	BE	Box Elder	-	50m	-	-	-
35	Box Elder	4	BE	Box Elder	-	50m	-	-	-
36	Box Elder	4	BE	Box Elder	-	50m	-	-	-
37	Box Elder	4	BE	Box Elder	-	50m	-	-	-
38	Box Elder	4	BE	Box Elder	-	50m	-	-	-
39	Box Elder	4	BE	Box Elder	-	50m	-	-	-
40	Box Elder	4	BE	Box Elder	-	50m	-	-	-
41	Box Elder	4	BE	Box Elder	-	50m	-	-	-
42	Box Elder	4	BE	Box Elder	-	50m	-	-	-
43	Box Elder	4	BE	Box Elder	-	50m	-	-	-
44	Box Elder	4	BE	Box Elder	-	50m	-	-	-
45	Box Elder	4	BE	Box Elder	-	50m	-	-	-
46	Box Elder	4	BE	Box Elder	-	50m	-	-	-
47	Box Elder	4	BE	Box Elder	-	50m	-	-	-
48	Box Elder	4	BE	Box Elder	-	50m	-	-	-
49	Box Elder	4	BE	Box Elder	-	50m	-	-	-
50	Box Elder	4	BE	Box Elder	-	50m	-	-	-
51	Box Elder	4	BE	Box Elder	-	50m	-	-	-

CONIFEROUS TREE									
	BOTANICAL NAME	Count	Key	COMMON NAME	CALIPER	HEIGHT	ROOT	BREATH	NOTE
1	Aspen	6	AE	Black Birch	-	50m	-	-	-
2	Box Elder	4	BE	Box Elder	-	50m	-	-	-
3	Red Spruce	3	RS	White Pine	-	250cm	-	-	-

DECIDUOUS SHRUB									
	BOTANICAL NAME	Count	Key	COMMON NAME	CALIPER	HEIGHT	ROOT	BREATH	NOTE
1	Box Elder	4	BE	Box Elder	-	50m	-	-	-
2	Box Elder	4	BE	Box Elder	-	50m	-	-	-
3	Box Elder	4	BE	Box Elder	-	50m	-	-	-
4	Box Elder	4	BE	Box Elder	-	50m	-	-	-
5	Box Elder	4	BE	Box Elder	-	50m	-	-	-
6	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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11	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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13	Box Elder	4	BE	Box Elder	-	50m	-	-	-
14	Box Elder	4	BE	Box Elder	-	50m	-	-	-
15	Box Elder	4	BE	Box Elder	-	50m	-	-	-
16	Box Elder	4	BE	Box Elder	-	50m	-	-	-
17	Box Elder	4	BE	Box Elder	-	50m	-	-	-
18	Box Elder	4	BE	Box Elder	-	50m	-	-	-
19	Box Elder	4	BE	Box Elder	-	50m	-	-	-
20	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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23	Box Elder	4	BE	Box Elder	-	50m	-	-	-
24	Box Elder	4	BE	Box Elder	-	50m	-	-	-
25	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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27	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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30	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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32	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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34	Box Elder	4	BE	Box Elder	-	50m	-	-	-
35	Box Elder	4	BE	Box Elder	-	50m	-	-	-
36	Box Elder	4	BE	Box Elder	-	50m	-	-	-
37	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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40	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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44	Box Elder	4	BE	Box Elder	-	50m	-	-	-
45	Box Elder	4	BE	Box Elder	-	50m	-	-	-
46	Box Elder	4	BE	Box Elder	-	50m	-	-	-
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48	Box Elder	4	BE	Box Elder	-	50m	-	-	-
49	Box Elder	4	BE	Box Elder	-	50m	-	-	-
50	Box Elder	4	BE	Box Elder	-	50m	-	-	-
51	Box Elder	4	BE	Box Elder	-	50m	-	-	-



R55090002  
CLKLIC

**Corp. of the Town of Newmarket  
Operating Results  
Clerks & Licencing  
For the Eleven Months Ending November 30, 2017**

	Year To Date			Annual	
	Actual	Budget	Difference	Budget	Remaining Budget
58311 Heritage Newmarket - L.A.C.A.C					
REV Revenues					
EXP Expenses					5
4216 Stationery & Office Supplies		422.00	422.00	460.00	460.00
4269 Misc.		390.00	390.00	425.00	425.00
4418 Advertising		279.00	279.00	304.00	304.00
4471 Mileage/Parking/Tolls		28.00	28.00	30.00	30.00
4472 Memberships & Subscriptions	75.00		(75.00)		(75.00)
4478 Conferences & Seminar Fees	1,706.89	46.00	(1,660.89)	50.00	(1,656.89)
4784 Plaques	40.00	1,073.00	1,033.00	1,170.00	1,130.00
EXP Expenses	1,821.89	2,238.00	416.11	2,439.00	617.11
58311 Heritage Newmarket - L.A.C.A.C	1,821.89	2,238.00	416.11	2,439.00	617.11