

To be held on Monday, May 15, 2017 at **2:00 p.m.** Committee Members are asked to meet in the **Council Chambers** at 395 Mulock Drive, Newmarket, Ontario.

Mayor Van Bynen, Chair.

NEW BUSINESS

**1. APPLICATION FOR SITE PLAN APPROVAL
400 PARK AVENUE – WARD 5
(WEST OF MAIN STREET SOUTH)
OUR FILE NO.: D14-NP17-11
400 PARK AVENUE INC.**

Application for Site Plan Approval to permit the construction of 14 new townhouse dwelling units fronting Botsford Street and Church Street and 11 apartment dwelling units within the existing former school building.

Daniel Berholz of the Rose Corporation and Brad Rogers of Groundswell Urban Planners Inc. will be present to address the Committee.

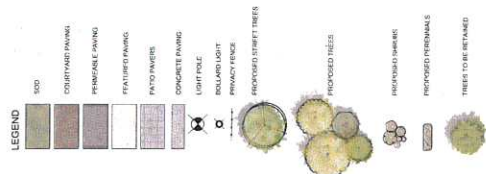
Plans attached:	Coloured Renderings
	Sheet List, Context Plan, OBC Matrix (Drawing No. A101) Rev. 1 dated April 6, 2017
	Conceptual Site Plan (Drawing No. A104) Rev. 9 dated April 6, 2017
	Landscape Concept Plan (Drawing No. LS-100) Rev. 4 dated March 31, 2017
	Planting Plan (Drawing No. LP-100) Rev. 4 dated March 31, 2017
	Landscape Details (Drawing No. LD-100) Rev. 4 dated March 31, 2017
	Landscape Details (Drawing No. LD-101) Rev. 4 dated March 31, 2017
	Landscape Details (Drawing No. LD-102) Rev. 4 dated March 31, 2017
	Elevations – East Bldg. (Drawing No. A301) Rev. 6 dated April 6, 2017
	Elevations – South Bldg. (Drawing No. A302) Rev. 6 dated April 6, 2017
	Elevations – Garage (Drawing No. A303) Rev. 6 dated April 6, 2017
	Elevations – School (Drawing No. A304) Rev. 6 dated April 6, 2017
	Elevations – School (Drawing No. A305) Rev. 6 dated April 6, 2017
	East Bldg. 1-50 Elevations (Drawing No. A306) Rev. 2 dated April 6, 2017
	West Bldg. 1-50 Elevations (Drawing No. A307) Rev. 2 dated April 6, 2017
	Survey dated June 14, 2012, prepared by Lloyd & Purcell Ltd.

Documents attached: GIS photograph overlay map
Site Plan Accessibility Checklist
Convenience Commercial Development Standards
Checklist together with a letter from The Rose
Corporation dated April 3, 2017
Notes to Committee

**Full-size drawings are available for viewing by contacting the
Councillors Office or Planning and Building Services**

GENERAL NOTES

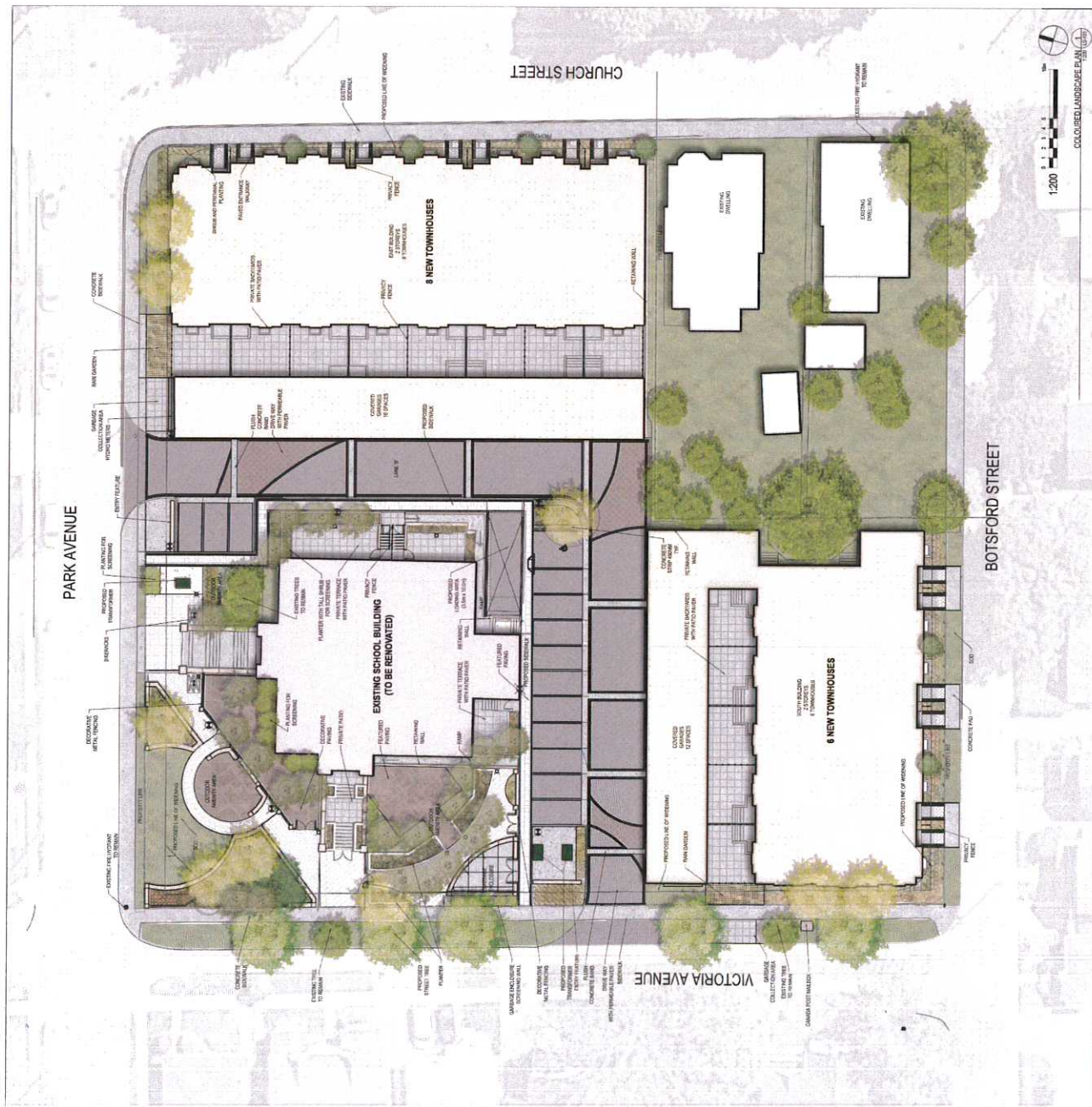
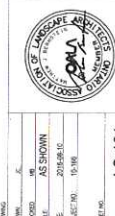
ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1000 MM ARE SHOWN AS DIMENSIONS IN MILLIMETERS. DIMENSIONS GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND STEEL BEAMS ARE SHOWN AS DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. ALL PAVING SHOWN ON THE DRAWINGS ARE SCHEMATIC. DETAILS FOR PAVERS AND PAVING PATTERN ARE TO BE DETERMINED.

[illegible]

terraplan

Chemical Biol. 3, 36-52. Parents (96) 10-11-194

400 PARK AVENUE
400 PARK AVENUE
NEWMARKET, ONTARIO



AUDAX
Engineering Inc.

Professional Engineer
No. 10001
Audax Engineering Inc.

NOTE

COLOURS

BRICK RED - DARK GRAY
COMPOSITE PANELS DARK GRAY
ASPHALT SHINGLES DARK GRAY

DEFINITION FOR ESTABLISHED OR EXISTING ELEVATION OF THE BUILDING OR STRUCTURE: THE ELEVATION OF THE BUILDING OR STRUCTURE IS THE AVERAGE ELEVATION OF THE FINISHED GRADE AT THE BASE OF THE OUTSIDE WALLS OF THE BUILDING OR STRUCTURE. THE ELEVATION OF THE BUILDING OR STRUCTURE IS DETERMINED BY TAKING THE AVERAGE OF THE FINISHED GRADE AT EVERY LOCATION OF CHANGE OF GRADE AT THE BUILDING OR STRUCTURE.

1	DESIGNED FOR SPA	2017-04-06
2	REVISIONS	DATE
DRAWING TITLE		

COLOUR ELEVATIONS - East Bldg.

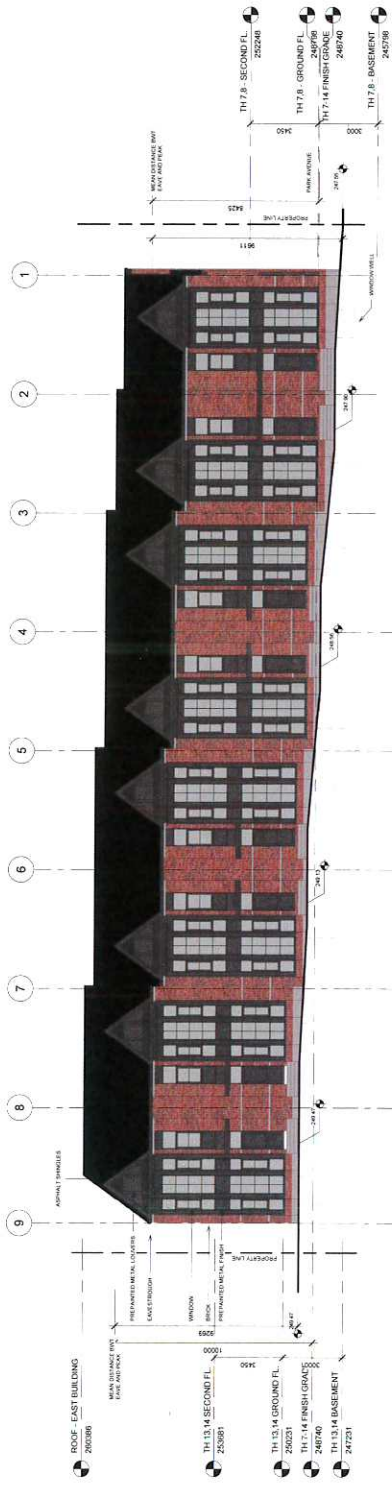
PROJECT TITLE
400 PARK AVENUE

OWNER: 400 Park Avenue Inc.
PROJECT NUMBER: 400-PARK-AVE-01
PROJECT NAME: 400 PARK AVENUE

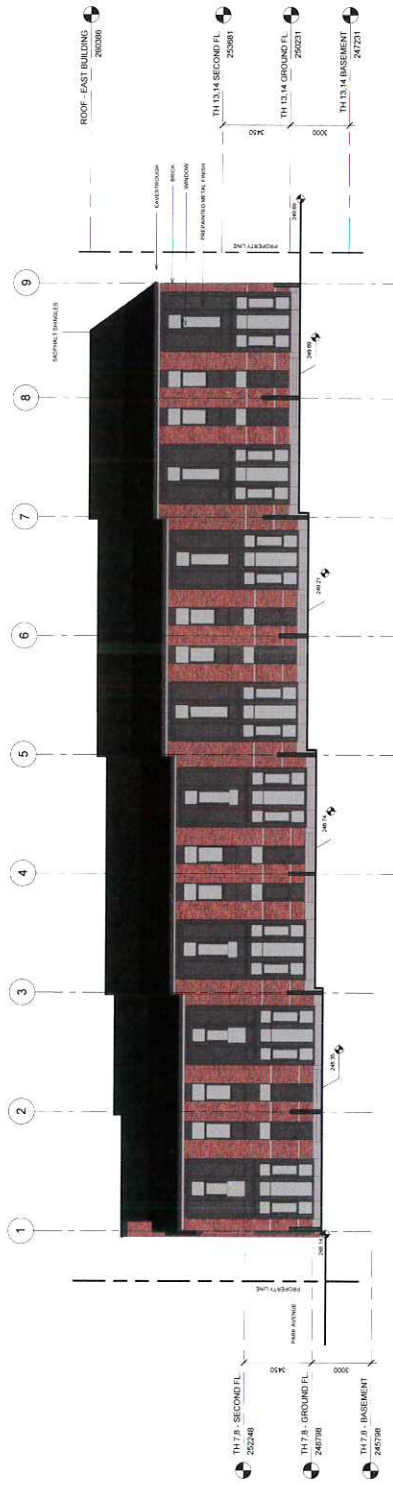
1:100

PROJECT DATE: 05-04-2017
PROJECT BY: S.C.
PROJECT NO.: 14-010

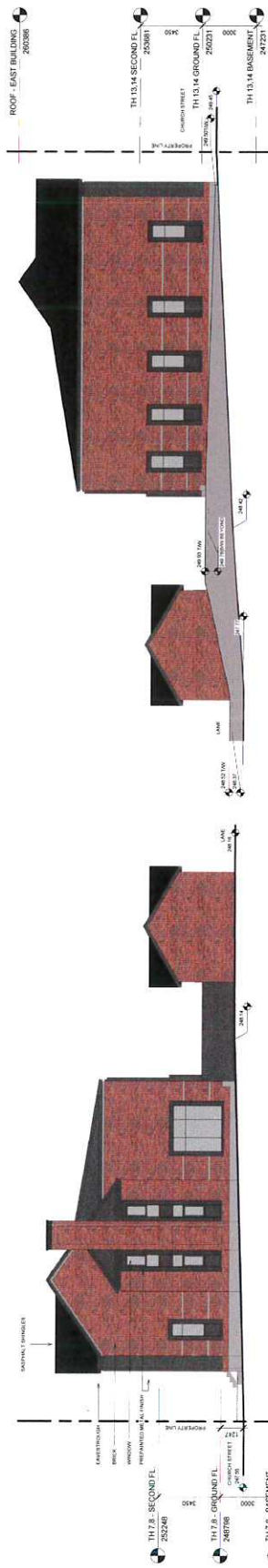
A308



1 EAST BLDG. - EAST ELEVATION Colour
1:100

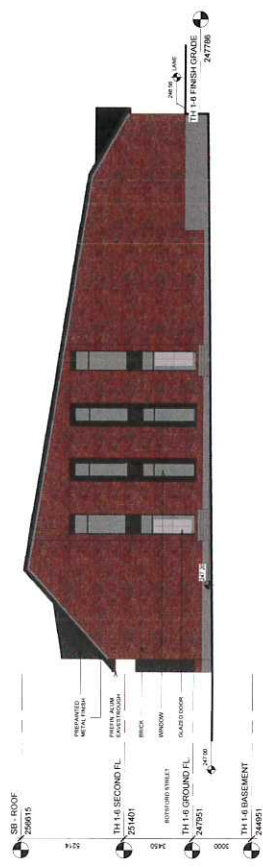
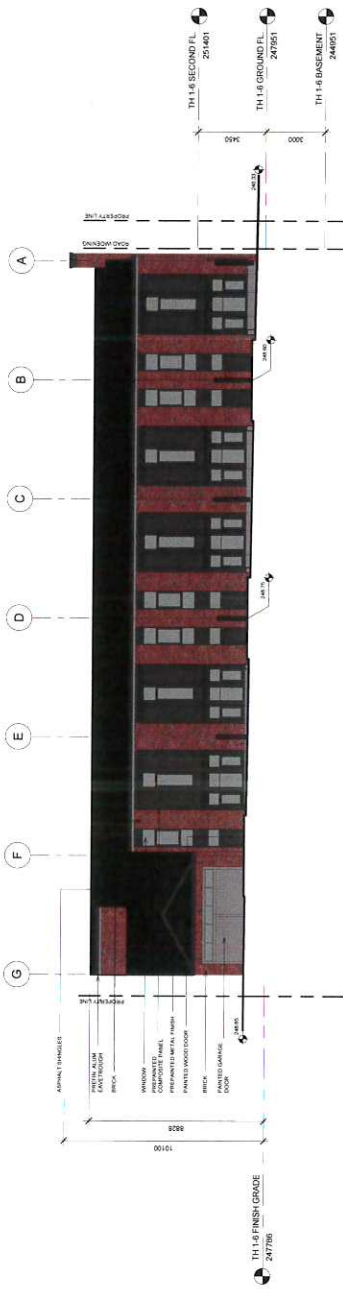
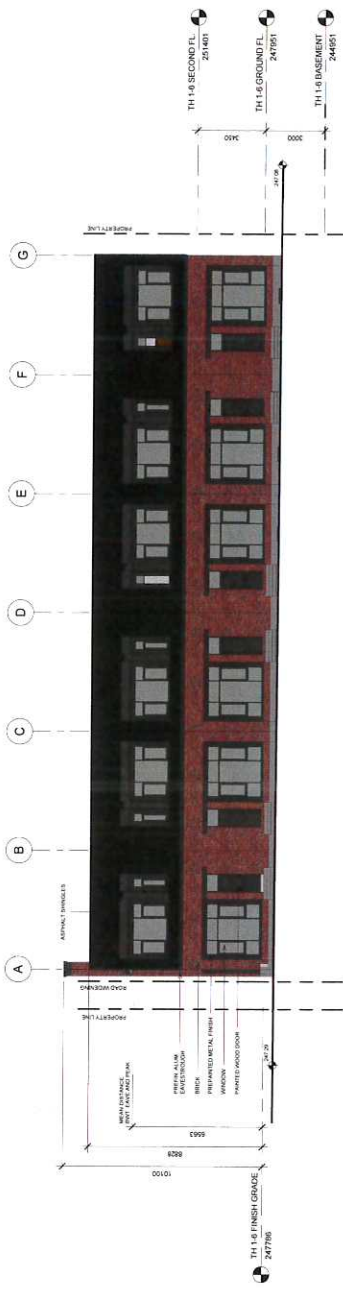


2 EAST BLDG. - WEST ELEVATION Colour
1:100



3 EAST BLDG. - NORTH ELEVATION Colour
1:100

4 EAST BLDG. - SOUTH ELEVATION Colour
1:100





NOTE:

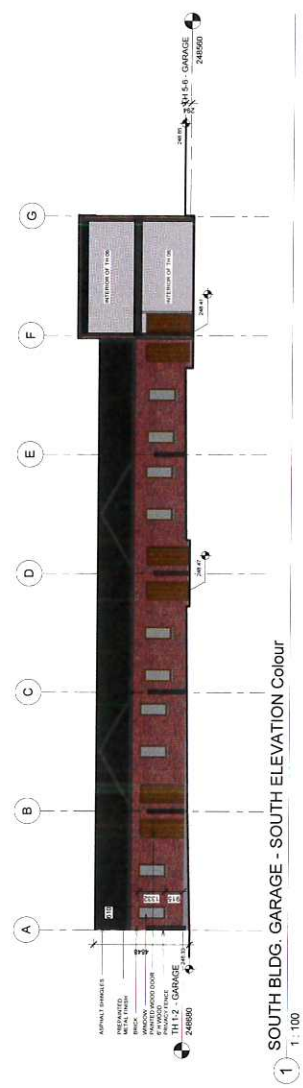
COLOURS
BRICK, RED
METAL PANELS, DARK
COMPOSITE PANELS,
ASPHALT SHINGLES, D

DEFINITION FOR ESTABLISHED GRADE IS:
THE AVERAGE ELEVATION OF THE FINISHED SURFACE OF THE BASE OF THE OUTBUILDING OR STRUCTURE ESTABLISHED BY TAKING ARITHMETIC AVERAGES OF THE FINISHED GRADE OF EVERY LOCATION OF THE BUILDING OR STRUCTURE ALONG THE OUTSIDE

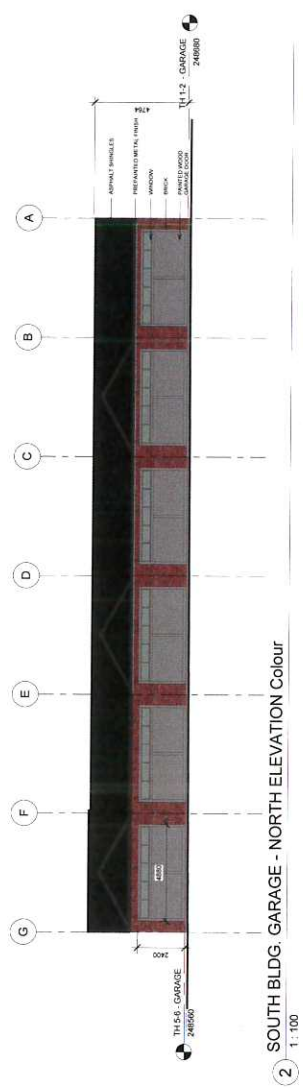
NO	ISSUED FOR SPA	REVISION / ISSUED FOR	DATE
1			2017-04-06

DRAWING TITLE:
COLOUR ELEVATIONS -
Garage

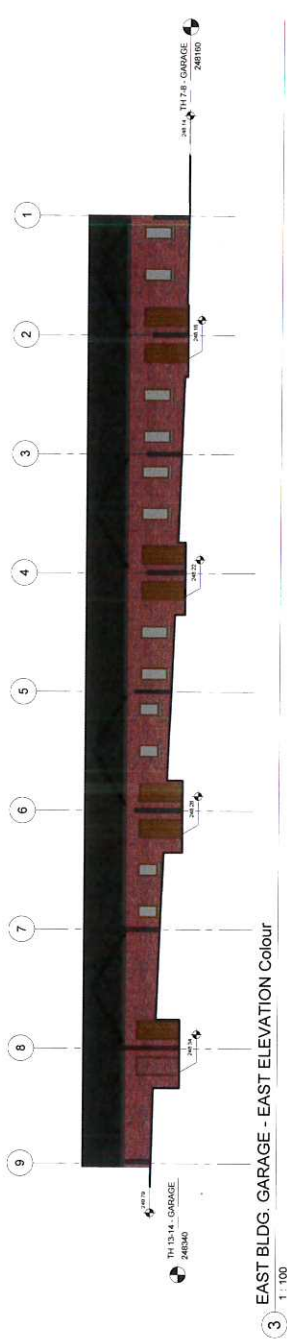
PROJECT TITLE 400 PARK AVENUE OWNER: 400 Park Avenue Inc. 150 Duncan Mill Road Unit 12 ABJ INC PROJECT NORTH:	SCALE	1 : 100
	PLOT DATE	05-09-2017
	DRAWN BY	JAWAN BY
	C.C.	16-010
	B/L NO:	
	A310	



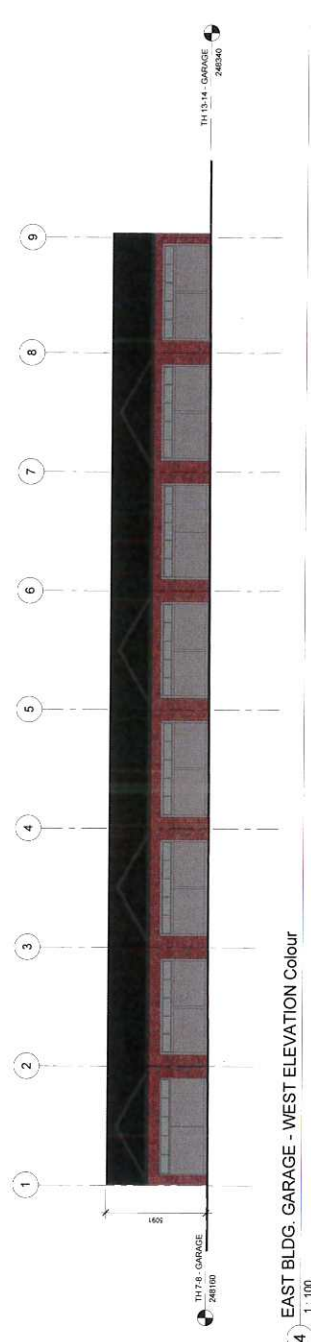
1 SOUTH BLDG. GARAGE - SOUTH ELEVATION Colour



2 SOUTH BLDG. GARAGE - NORTH ELEVATION Colour 1:100



3 EAST BLDG. GARAGE - EAST ELEVATION Colour



EAST BLDG. GARAGE - WEST ELEVATION Colour

NOTE

COLOURS
METAL PANELS DARK GRAY
COMPOSITE PANELS DARK GRAY
ASPHALT SHINGLES DARK GRAY

DEFINITION FOR ESTABLISHED OR FINISHED GRADE IS: THE AVERAGE ELEVATION OF THE FINISHED SURFACE OF THE GROUND AT THE BASE OF THE OUTSIDE WALLS OF A BUILDING. THE OUTSIDE GRADE IS ESTABLISHED OR FINISHED GRADE IS DETERMINED BY TAKING THE ARITHMETIC AVERAGE OF THE LEVELS OF THE FINISHED GROUND SURFACE AT THE BASE OF THE OUTSIDE WALLS OF A BUILDING OR STRUCTURE.

1	ISSUED FOR SPA	2017-04-06
NO	REVISION / ISSUED FOR	DATE

COLOUR ELEVATIONS -
School

PROJECT TITLE:

400 PARK AVENUE

OWNER, 400 Park Avenue Inc.
56 Duncan Mill Road, Unit 12, Markham, Ontario

PROJECT NORTH: SCALE: 1" = 100'

1:50
PLOT DATE:

05/04/2017
DRAWN BY:

SC _____
FILE NO.: _____
16 010

A311



2 NORTH ELEVATION Colour 1:50



1 EAST ELEVATION Colour 1:50



1	ISSUED FOR SPA	2017-9
NO	REVISION / ISSUED FOR	DATE

DRAWING TITLE:

COLOUR ELEVATIONS

DRAWING TITLE:
COLOUR ELEVATIONS
School

PROJECT TITLE:	400 PARK AVENUE
OWNER:	400 Park Avenue Inc.
PROJECT ADDRESS:	150 Graham Hill Road, Unit 12, #203 302
PROJECT NORTH:	SCALE:
	1" = 50'
	PLOT DATE:
	05/04/2017
	DRAWN BY:
	S.C.
	FILE NO.:
	16-010

A312



1 SOUTH ELEVATION Colour 1:50



2 WEST ELEVATION Colour 1:50



Sheet Number	Sheet Name	Sheet Loc	SP#
A101	SHEET LOC. CONCEPTUAL SITE PLAN, DEC. MATRIX	SP#	SP#
A102	ELEVATIONS: East Wing	SP#	SP#
A103	ELEVATIONS: South Wing	SP#	SP#
A104	ELEVATIONS: School House, North & East	SP#	SP#
A105	ELEVATIONS: School House, South & West	SP#	SP#
A106	EAST RIOT - 150' ELEVATIONS	SP#	SP#
A107	EAST RIOT - 150' ELEVATIONS	SP#	SP#
A108	COLOR ELEVATIONS: East Wing	SP#	SP#
A109	COLOR ELEVATIONS: South Wing	SP#	SP#
A110	COLOR ELEVATIONS: Garage	SP#	SP#
A111	COLOR ELEVATIONS: Staircase	SP#	SP#
A112	COLOR ELEVATIONS: School	SP#	SP#



CONTEXT PLAN

[illegible][illegible][illegible][illegible][illegible][illegible]

SHEET LIST, CONTEXT
PLAN, OBC MATRIX

400 PARK AVENUE

OVERSEER, 400 Park Avenue Inc.
156 Duncan Mill Road, Unit 12 M3B 3K2

SCALE
DIRECTIONS NORTH

EXP. DATE	05/04/2017
ORIGIN #	

S.C.

A101



PROJECT TITLE: 100 PARK AVENUE

OWNER: 100 Park Avenue Inc.
59 Decaturville Road UNIT 12 NBD 362

SCALE: AS INDICATED

PROJECT NORTH: N

PLOT DATE:

A104



2. ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1000 MM ARE SHOWN AS A WHOLE NUMBER, ALL DIMENSIONS ARE SHOWN AS DECIMALS OF A MILLIMETER AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
3. EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST.
4. ALL PAVING SHOWN ON THE DRAWINGS ARE SCHEMATIC. DETAILS FOR PAVERS AND PAVING PATTERN ARE TO BE DETERMINED.



terraplan
LANDSCAPE ARCHITECTS
VISION DELIVERED

26. *Chrysomelids* (Bd. 5, June 1971) - *Parasitic* (Dtt., May 1970) - *Adaptation* (J. 1970) - *new* (Spring 1970)

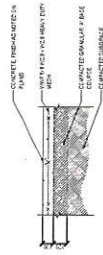
LS-100



[illegible]

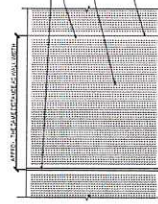
1 PEDESTRIAN CONCRETE PAVING SECTION

SCALE=1:20



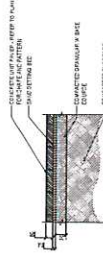
PEDESTRIAN CONCRETE PAVING SURFACE DETAIL

SCALE=NTS



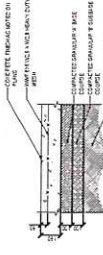
UNIT PAVER SECTION

ECMF-1



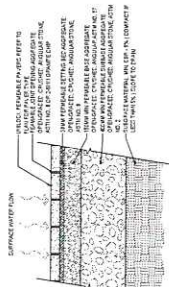
HEAVY DUTY

100



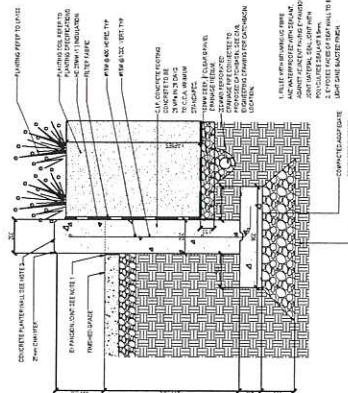
HEAVY DUTY CONCRETE PAVING SECTION

SCALE=1:20



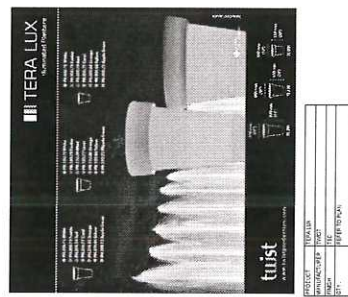
PEDESTRIAN CONCRETE PA

SCALE=NTS



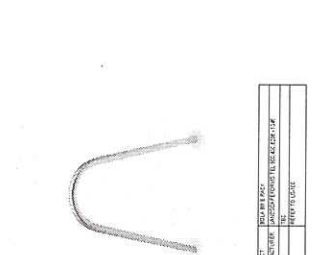
UNIT PAVER SECTION

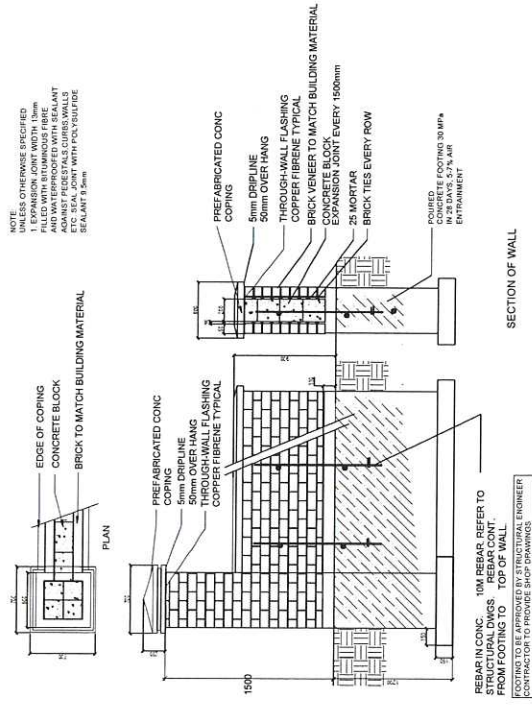
ECMF-1



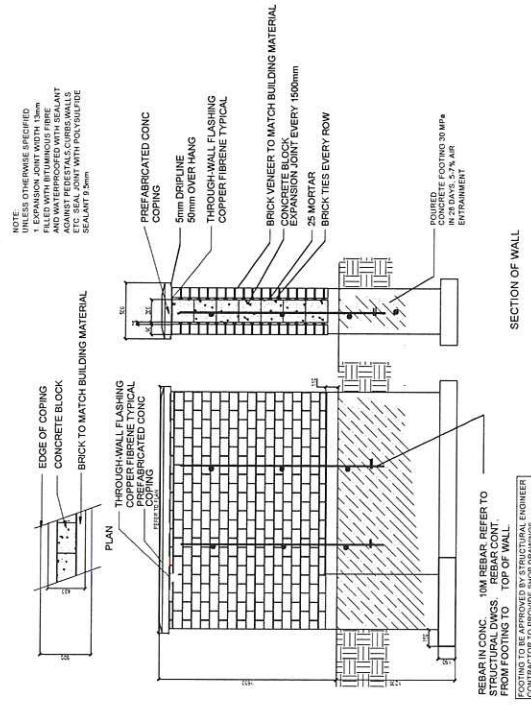
HEAVY DUTY

100

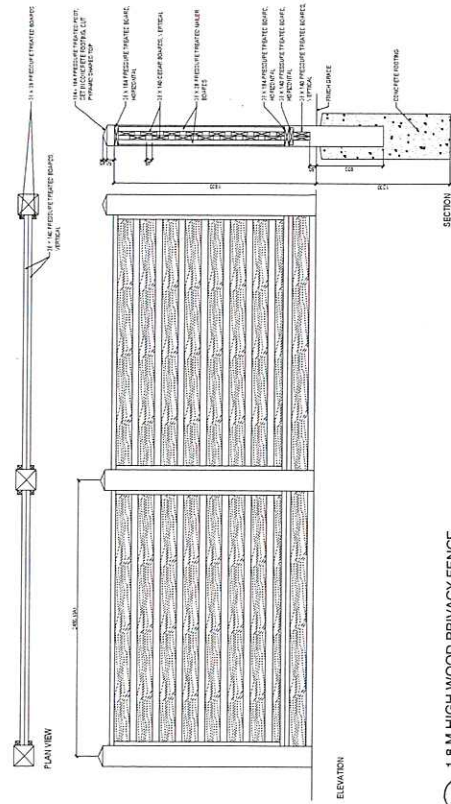




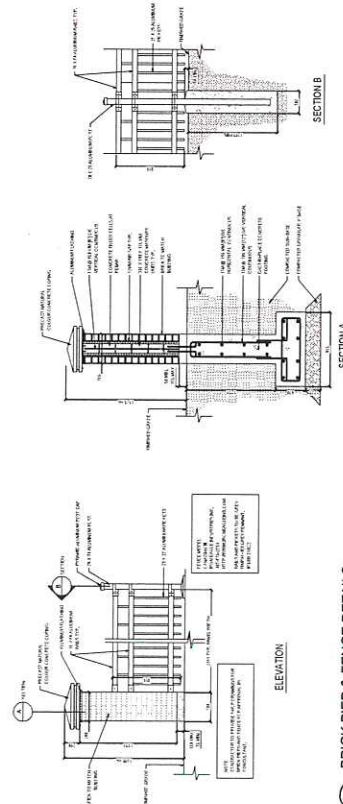
BRICK WALL AND PIER



ENTRANCE FEATURE WALL



1 1.8 M HIGH WOOD PRIVACY FENCE



3 BRICK PIER & FENCE DETAILS

[illegible]

terapias
LAPSEAR
VERSION: 02/19/2011

25. *Chlamydia* (B-4, C-4, D-4, E-4, F-4, G-4, H-4, I-4, J-4, K-4, L-4, M-4, N-4, O-4, P-4, Q-4, R-4, S-4, T-4, U-4, V-4, W-4, X-4, Y-4, Z-4)

CLIENT
400 PARK AVENUE
400 PARK AVENUE
NEWMARKET, ONTARIO

PROJECT
LANDSCAPE DETAILS

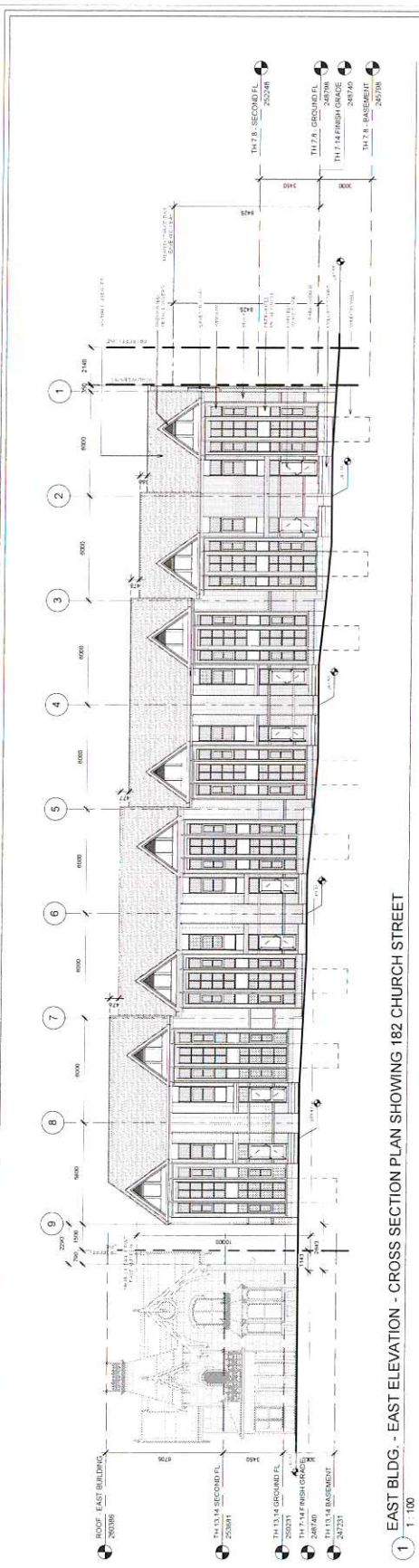


LD-102

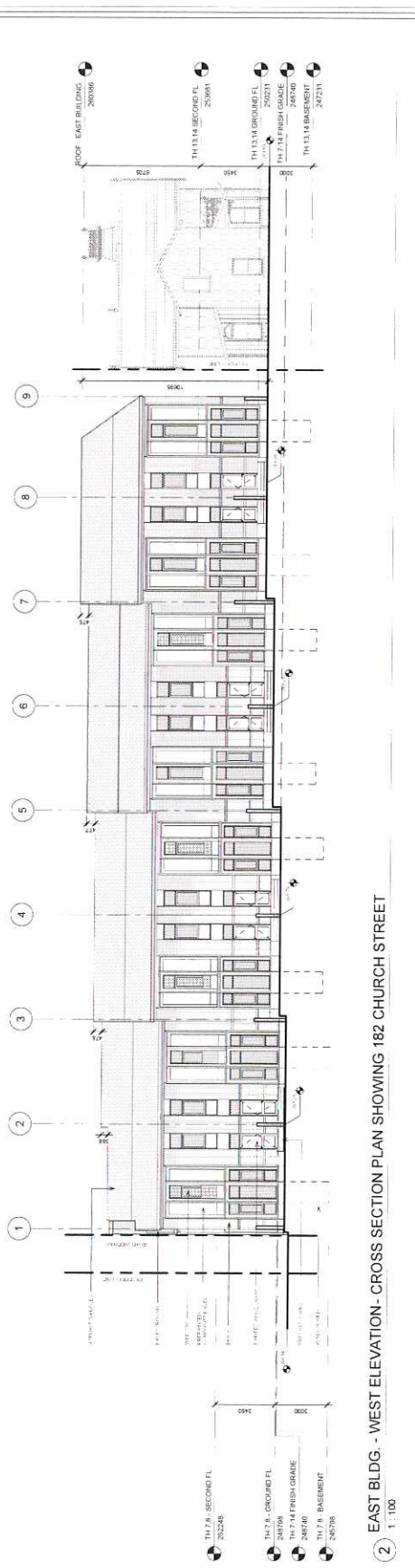
AUDAX
Architectural & Urban Design

NOTE

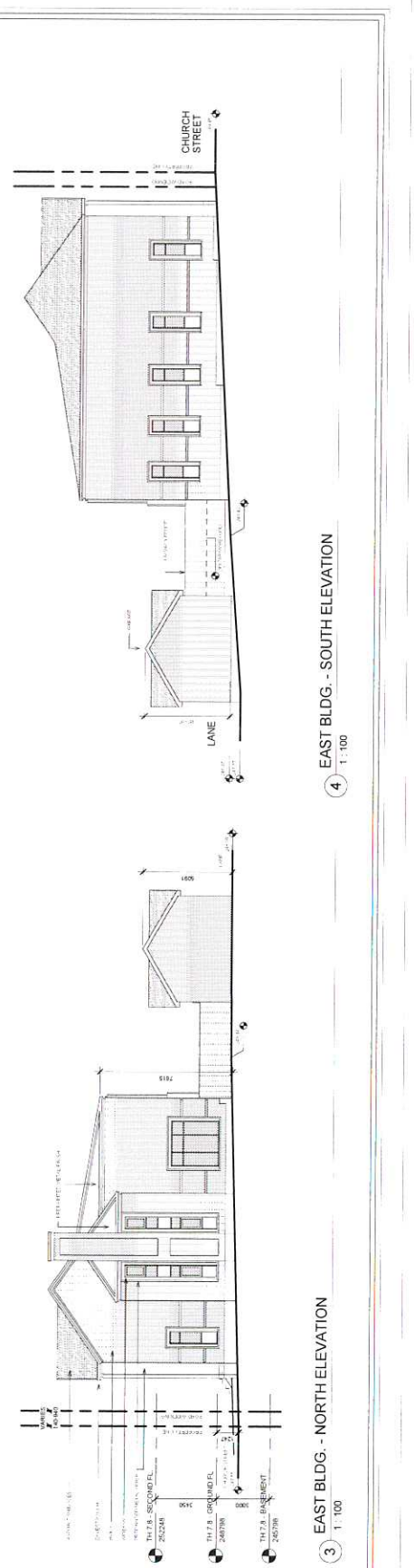
COLOURS:
METAL PANELS: DARK GRAY
WOOD PANELS: DARK GRAY
ASPHALT: BLACK
DEFINITION FOR SET: UNFINISHED OR
FINISHED GRADE IS
FINISHED SURFACE OF THE GROUND AT
BUILDING OR THE OUTSIDE WALLS OF A
BUILDING OR THE OUTSIDE WALLS OF A
ARTIFICIAL AVERAGE OF THE LEVELS
ESTABLISHED ON THE GROUND AT
EVERY LOCATION OF CHANGE OF GRADE
BUILDING OR STRUCTURE.



1 EAST BLDG. - EAST ELEVATION - CROSS SECTION PLAN SHOWING 182 CHURCH STREET
1:100



2 EAST BLDG. - WEST ELEVATION - CROSS SECTION PLAN SHOWING 182 CHURCH STREET
1:100



3 EAST BLDG. - NORTH ELEVATION
1:100

4 EAST BLDG. - SOUTH ELEVATION
1:100

1	ISSUED FOR OPA & SCA	2017-04-06
2	RE-DESIGNED FOR OPA & SCA	2017-05-26
3	ISSUED FOR REVIEW	2018-11-23
4	PRELIMINARY PRICING	2019-10-28
5	ISSUED FOR OPA & SCA	2019-08-13
6	ISSUED FOR COORDINATION	2019-06-19
7	REVISIONS FOR OPA & SCA	2019-06-19
8	DATE	

ELEVATIONS - East Bldg.

400 PARK AVENUE

OWNER: 400 Park Avenue Inc.
PROJECT: 400 Park Avenue Inc.
PROJECT NO: 400 Park Avenue Inc.

SCALE: 1:100
REVISED: 1:100
PROJECT NO: 400 Park Avenue Inc.

A301

AUDAX
ARCHITECTS INC.

1000 BROADVIEW AVE. SUITE 100
SCARBOROUGH, ONTARIO M1S 5E8
TEL: (416) 291-1111
WWW.AUDAXARCHITECTS.COM

NOTE

COLOURS:
METAL PANELS: DARK GRAY
CONCRETE: LIGHT GRAY
WOOD: WHITE
PAINT: WHITE
FINISHES: POLISHED OR
FRESH GRADES
THE BASE OF THE OUTSIDE WALLS OF A
FOUNDATION FOR POLISHED OR
FRESH GRADES OF THE CONCRETE
ESTABLISHED OR FINISHED GRADE IS
ARTIFICIALLY AVERAGE OF THE LEVELS
ALONG THE OUTSIDE WALLS OF A
FOUNDATION FOR POLISHED OR
FRESH GRADES OF THE CONCRETE
ALONG THE OUTSIDE WALLS OF A
FOUNDATION FOR FINISHED GRADE

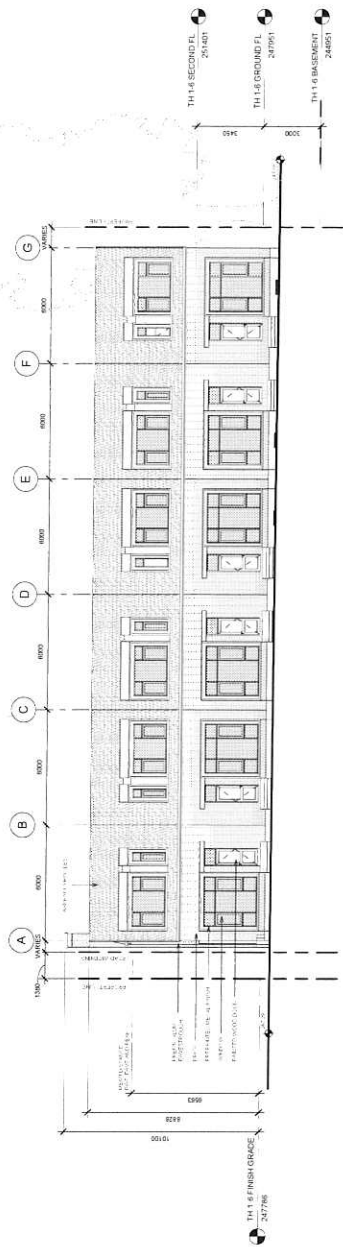
NO.	DESCRIPTION	DATE
1	ISSUED FOR COORDINATION	2016/06/30
2	ISSUED FOR OPA & OPA	2016/06/30
3	PRELIMINARY PROPOSAL	2016/06/30
4	ISSUED FOR REVIEW	2016/06/30
5	RECEIVED FOR OPA & OPA	2016/06/30
6	ISSUED FOR OPA	2016/06/30

ELEVATIONS - South
Bldg.

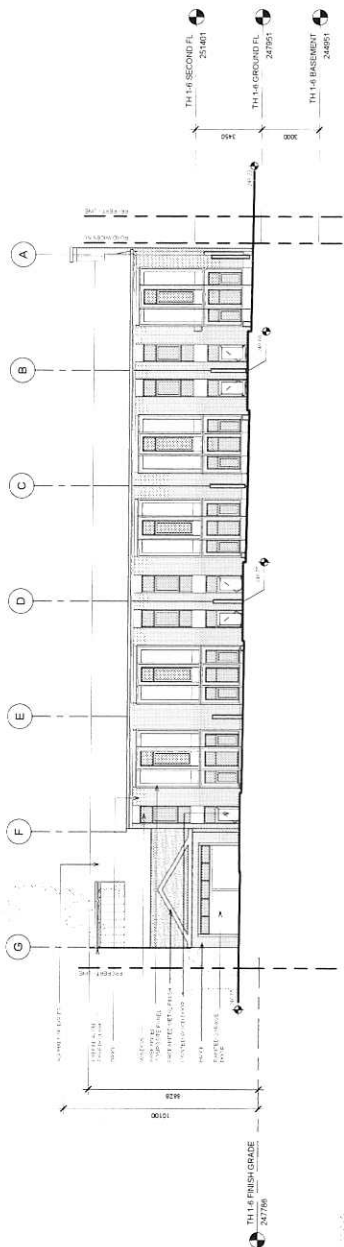
400 PARK AVENUE

PROJECT TITLE	400 PARK AVENUE
OWNER	400 PARK AVENUE
PROJECT NO.	400 PARK AVENUE
SCALE	1:100
DATE	2016/06/30
BY	SC
CHECKED BY	SC
DATE	2016/06/30

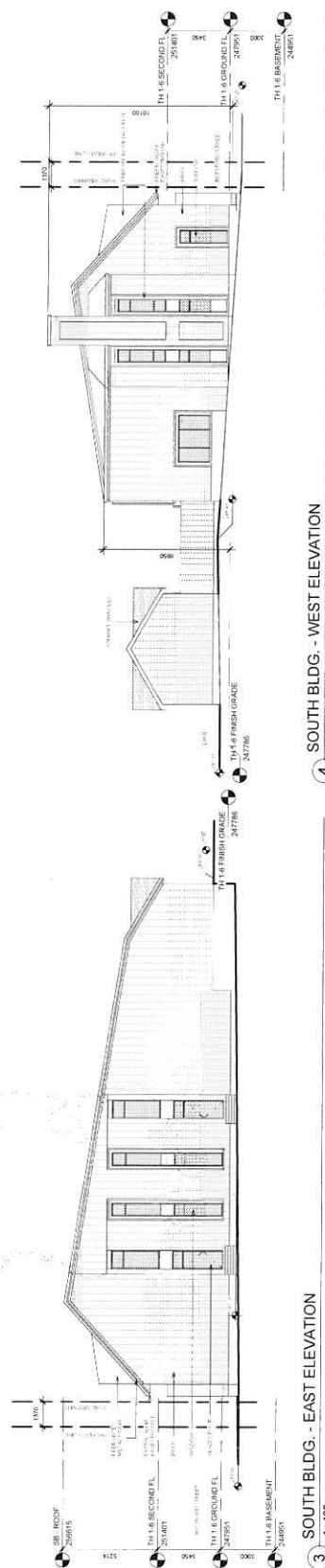
A302



1 SOUTH BLDG. - SOUTH ELEVATION
1:100



2 SOUTH BLDG. - NORTH ELEVATION
1:100



3 SOUTH BLDG. - EAST ELEVATION
1:100

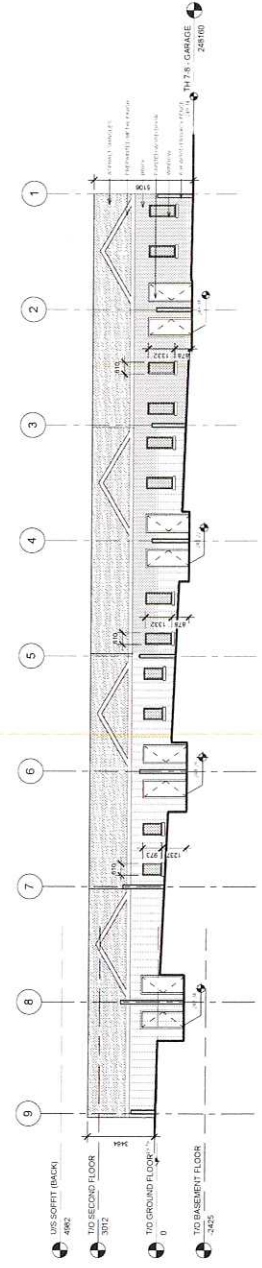
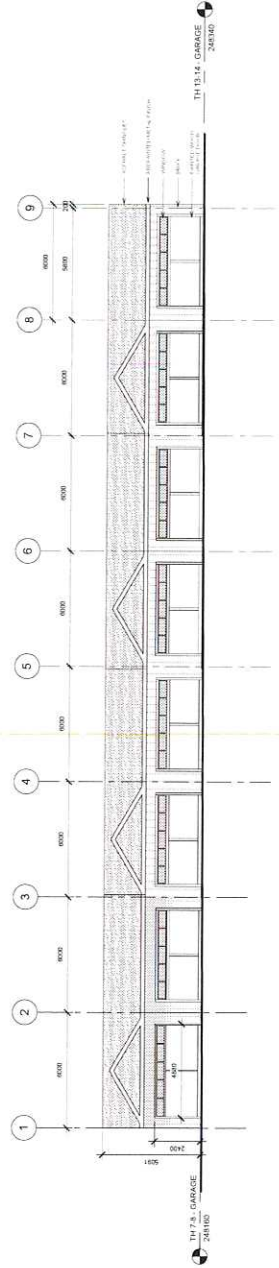
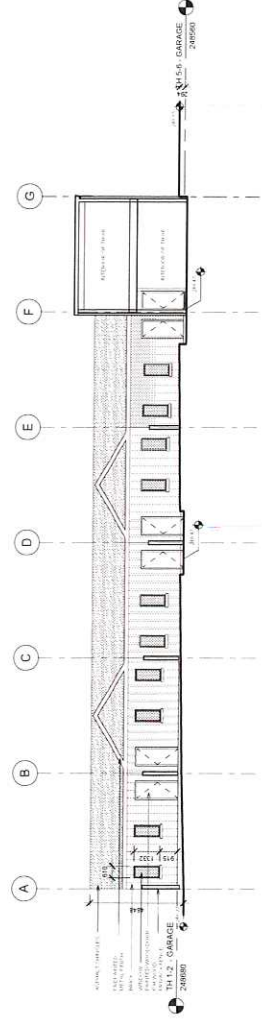
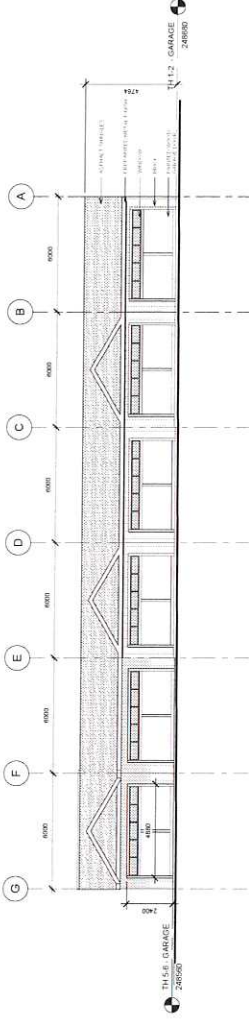
4 SOUTH BLDG. - WEST ELEVATION
1:100



6	ISSUED FOR SPA	2017-04-06
5	RE-ISSUED FOR GPA & RZA	2017-01-20
4	ISSUED FOR REVIEW	2016-11-25
3	PRELIMINARY PRICING	2016-10-28
2	ISSUED FOR GPA & RZA	2016-03-30
1	ISSUED FOR COORDINATION	2016-03-19

ELEVATIONS - Garage

PROJECT TITLE	400 PARK AVENUE	
	1500 WEST 10TH AVE, SUITE 202 1500 Downtown Mall Road, Unit 2, A100 3612	
PROJECT NUMBER	1-100	A303
	PROJECT DATE 05/04/2017 EXPIRATION PER 5-C FILE NO. 16-010	



AUDAN

Architectural & Engineering Services

1000 West 12th Street, Suite 100
New York, NY 10014
Tel: (212) 123-4567
Fax: (212) 123-4568
Email: info@audan.com

NOTE

COLOURS:
METAL PANELS: DARK GRAY
WOODWORK: MEDIUM STAIN
ASPHALT SHINGLES: DARK GRAY

DEFINITION FOR ESTABLISHED OR
FRESH GRADE IS:
FRESH GRADE IS THE
FINISHED SURFACE OF THE GROUND AT
THE TIME OF CONSTRUCTION OF A
BUILDING OR STRUCTURE. THE
DEFINITION OF FRESH GRADE IS
DETERMINED BY THE LOCATION OF
ARITHMETIC AVERAGE OF THE LEVELS
EVERY LOCATION OF CHANGE OF GRADE
AND THE LOCATION OF THE WALLS OF A
BUILDING OR STRUCTURE.

NO.	REVISION	DATE
1	ISSUED FOR RFP	2017-04-06
2	REVISED FOR OPA & RPA	2017-01-26
3	ISSUED FOR REVIEW	2016-11-23
4	PRELIMINARY PRICING	2016-10-28
5	ISSUED FOR OPA & RPA	2016-08-15
6	ISSUED FOR COMBINATION	2016-06-19
7	ISSUED FOR PRELIMINARY	2016-05-11

ELEVATIONS - School

PROJECT TITLE

400 PARK AVENUE

1000 West 12th Street, Suite 100
New York, NY 10014

PROJECT NUMBER

1-100

DATE

05/02/2017

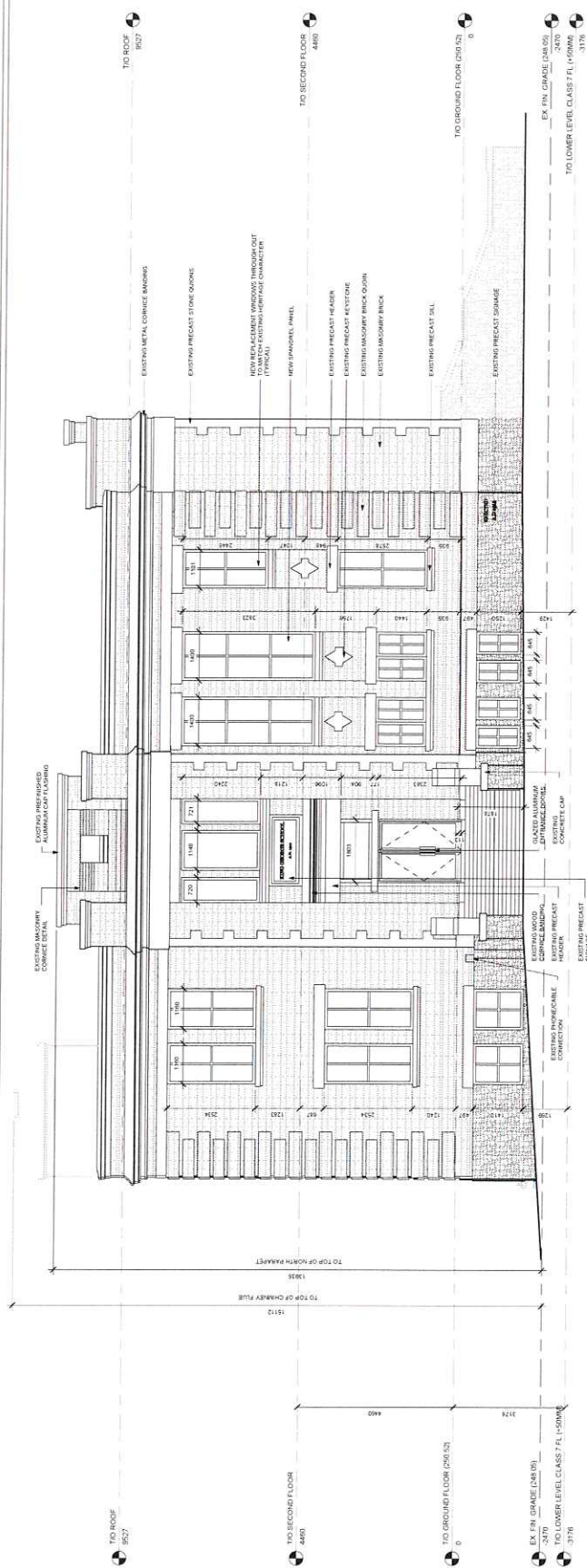
DESIGNED BY

S.C.

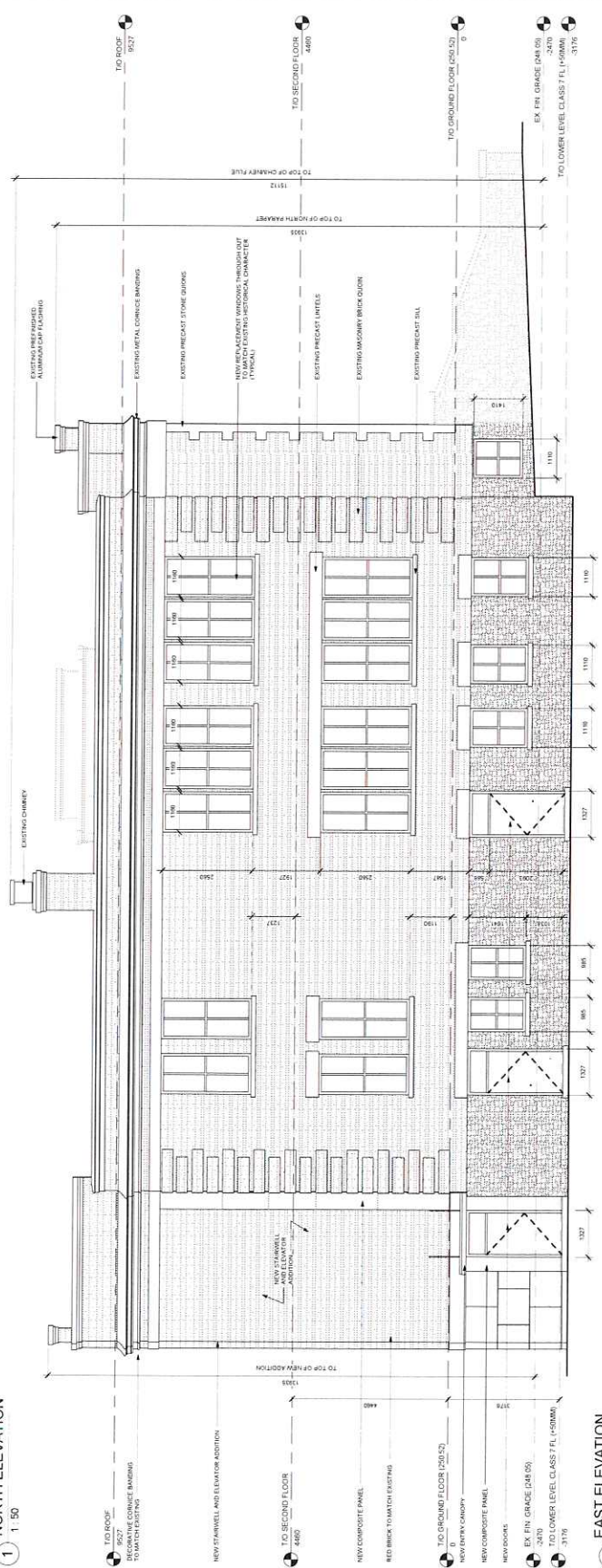
CHECKED BY

16/010

A304



1 NORTH ELEVATION
1/50



2 EAST ELEVATION
1/50



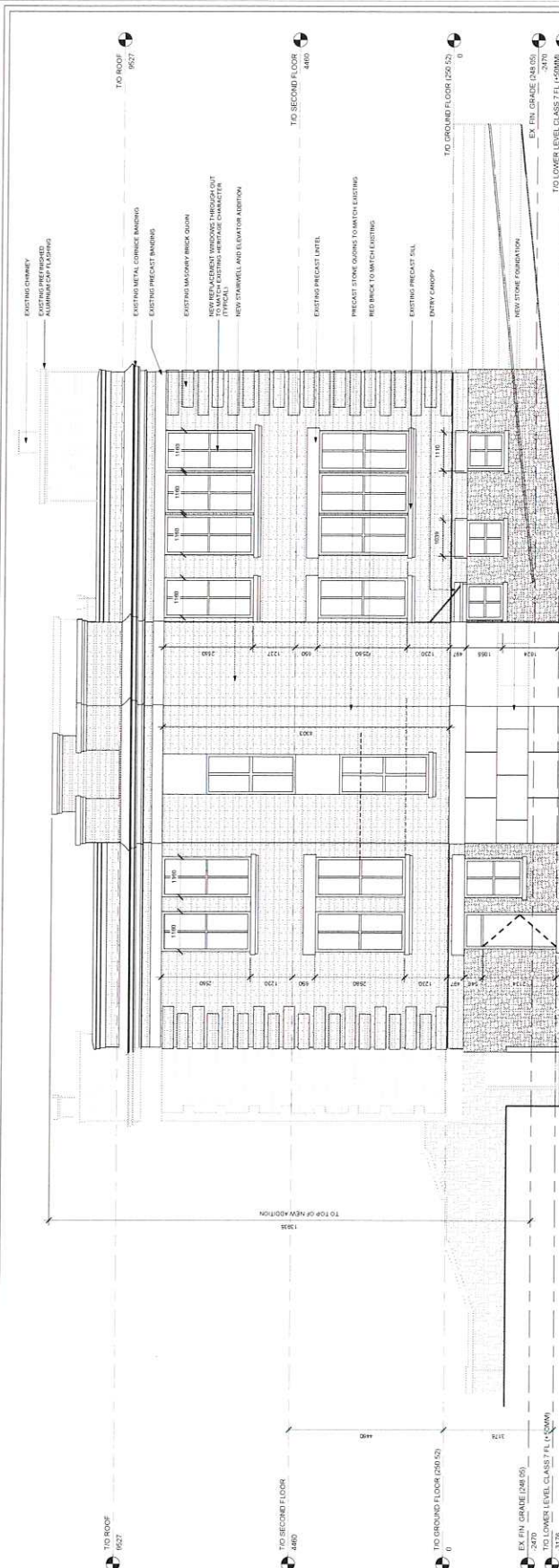
NO.	REVISION / ISSUED FOR	DATE
6	ISSUED FOR DPA	2017-04-06
5	RE-ISSUED FOR OPA & RZA	2017-01-20
4	ISSUED FOR REVIEW	2016-11-23
3	PRELIMINARY DRCING	2016-10-28
2	ISSUED FOR OPA & RZA	2016-08-13
1	ISSUED FOR COORDINATION	2016-06-19

ELEVATIONS - School

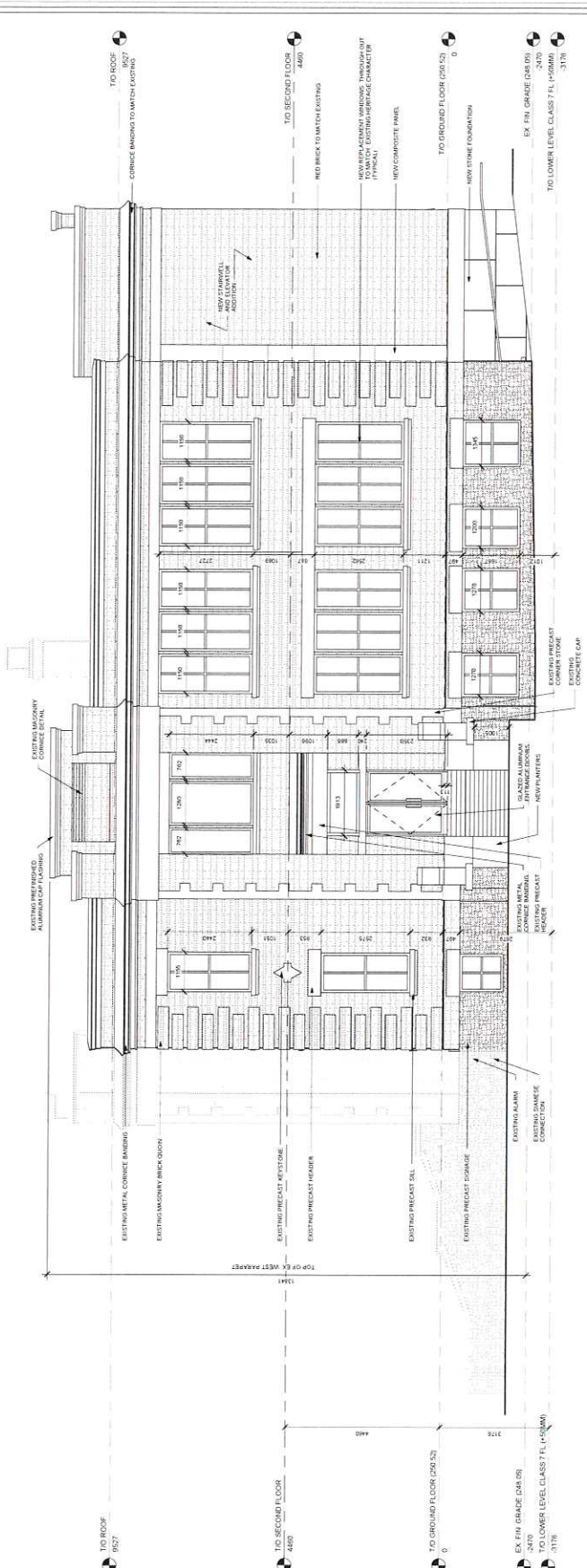
PROJECT TITLE
400 PARK AVENUE
OWNER: 400 Park Avenue Inc.
300 Duane Street, Suite 1200, New York, NY 10013

PROJECT NUMBER:	SCALE
	1:50
	PLOT DATE
	05/04/2017
	DRAWN BY
	S.C.
	SHEET NO.
	16-010

A305



1 SOUTH ELEVATION



2 WEST ELEVATION

NOTE

COLORS
BLACK RED
BROWN DARK GRAY
COMPOSITE PANELS DARK GRAY
ASPHALT SHINGLES DARK GRAY

DEFINITION FOR ESTABLISHED OR FINISHED GRADE IS
THE AVERAGE ELEVATION OF THE GRADE SURFACE OF THE BUILDING AT THE BASE OF THE OUTSIDE WALLS OF A BUILDING OR STRUCTURE. THE GRADE IS DETERMINED BY AVERAGING THE ARITHMETIC AVERAGE OF THE LEVELS OF THE FINISHED GROUND SURFACE AT THE OUTSIDE WALLS OF THE GRADE ALONG THE OUTSIDE WALLS OF A BUILDING OR STRUCTURE.

2	ISSUED FOR EPA	2017/04/06
1	ISSUED FOR REVIEW	2016/11/23
1	BRIDGEMAN HOLDINGS LTD	2016/06/06

DRAWING TITLE
EAST BLDG. 1-50
ELEVATIONS

sample 1 title:

400 PARK AVENUE

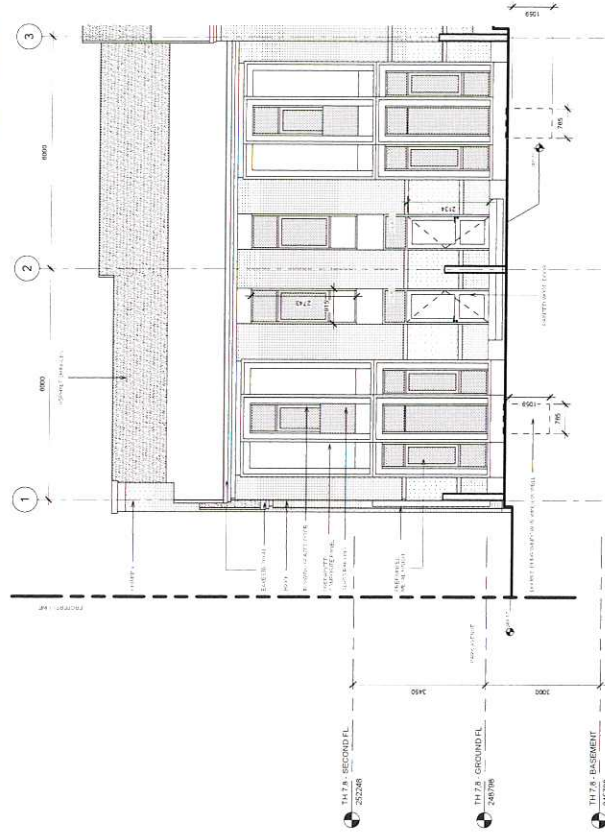
OVERSEER 400 Park Avenue Inc.
156 Duncan Mill Road Unit 12 M3B 3K2

PROJECT NUMBER	SCALE
	1:50
	PLOT DATE

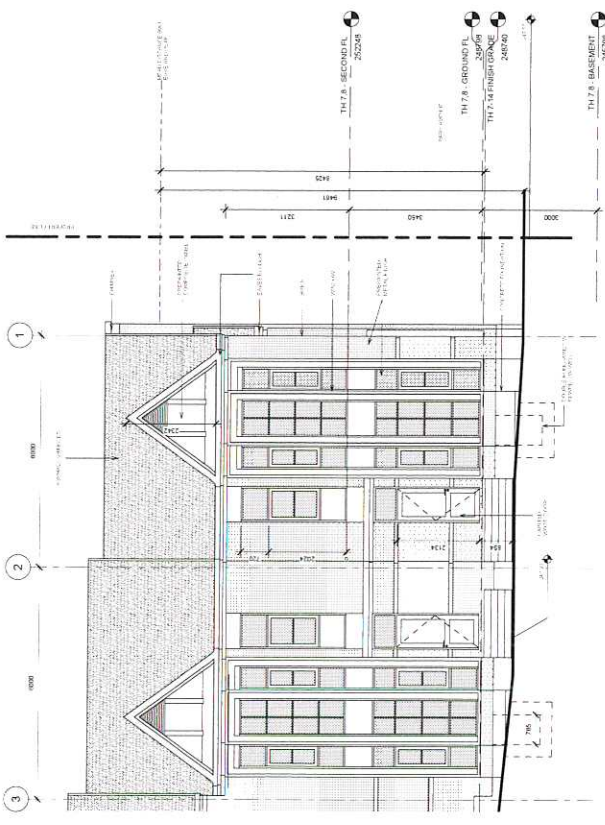
05/04/2017	641 14417000
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50	FILE NO.	16-010
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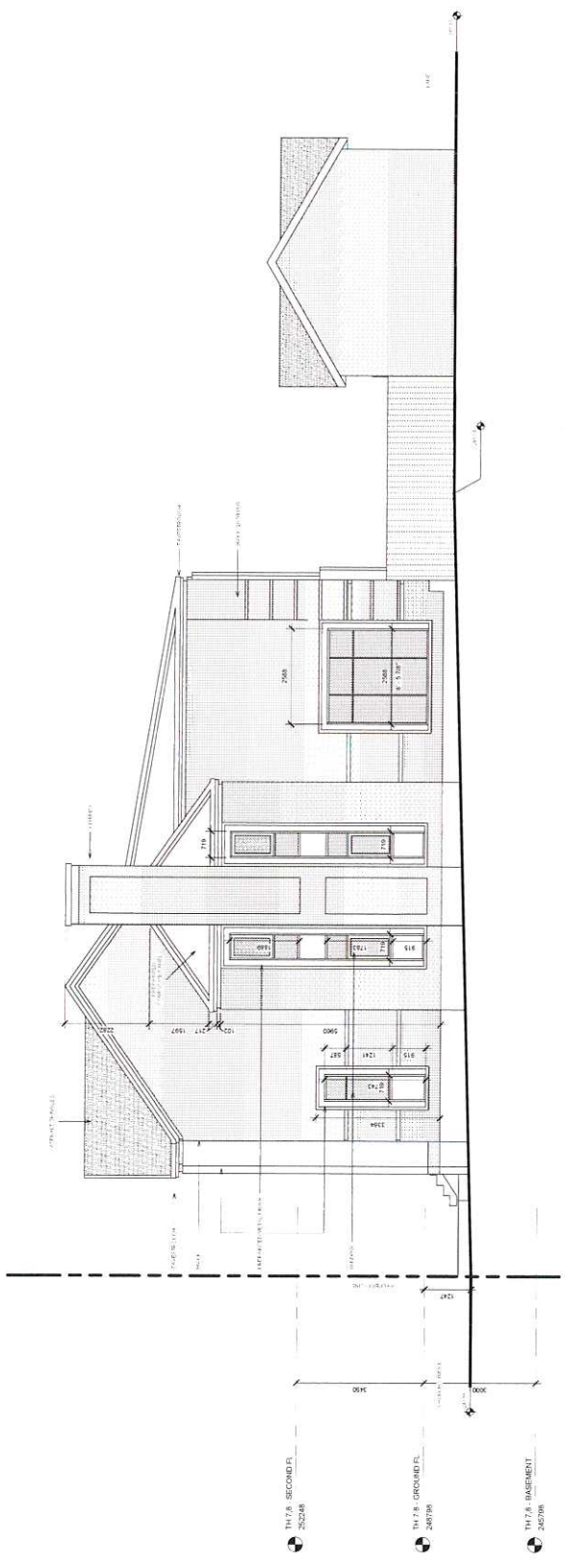
A306



2 EAST BLDG. - WEST ELEVATION DETAIL
1 : 50



1 EAST BLDG. - EAST ELEVATION DETAIL
1:50



3 EAST BLDG. - NORTH ELEVATION DETAIL
1:50

AUDAX
ARCHITECTURAL DESIGN & CONSTRUCTION

NOTE

COLORS:
METAL PANELS: DARK GRAY
WOOD PANELS: DARK GRAY
ASPHALT SHINGLES: DARK GRAY

DEFINITION FOR ESTABLISHED OR FINISHED GRADE IS THE FINISHED SURFACE OF THE GROUND AT THE BUILDING OR STRUCTURE. THE GRADE IS DETERMINED BY TAKING THE ARITHMETIC AVERAGE OF THE LEVELS AT EVERY LOCATION OF CHANGE OF GRADE BUILDING OR STRUCTURE.

NO.	REVISION	DATE
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2	ISSUED FOR PERMITS	05/04/2024
3	ISSUED FOR PERMITS	05/04/2024
4	ISSUED FOR PERMITS	05/04/2024
5	ISSUED FOR PERMITS	05/04/2024
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99	ISSUED FOR PERMITS	05/04/2024
100	ISSUED FOR PERMITS	05/04/2024

WEST BLDG. 1-50 ELEVATIONS

PROJECT TITLE
400 PARK AVENUE

SCALE
1" = 50'

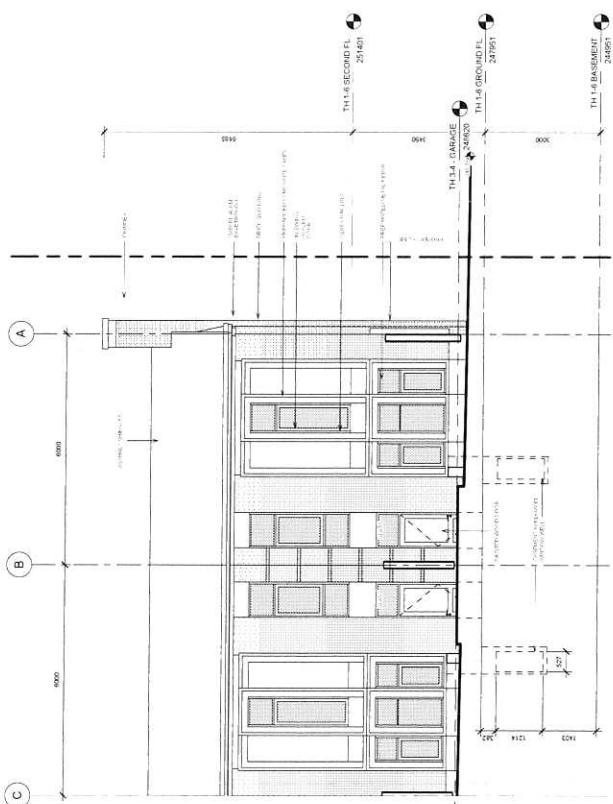
DATE
05/04/2024

DESIGNED BY
DAVID A. SMITH

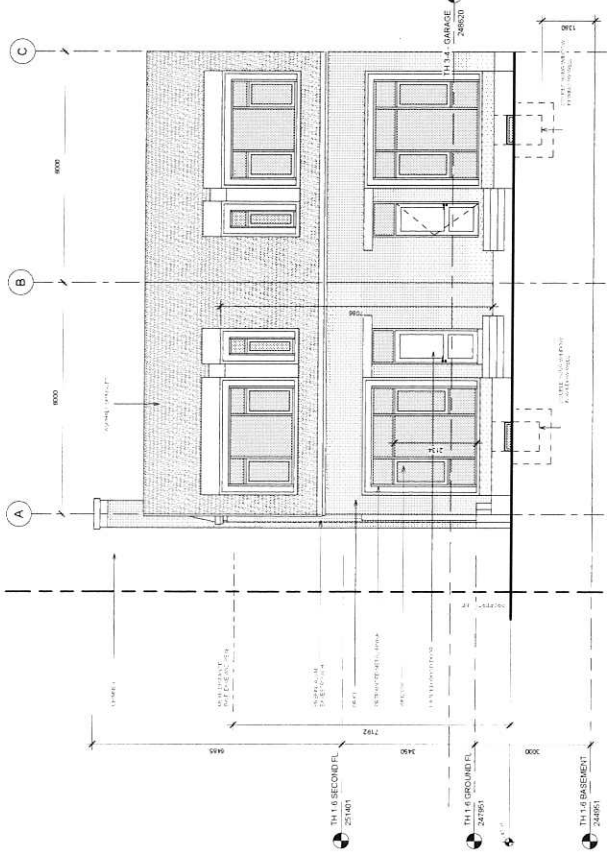
CHECKED BY
DAVID A. SMITH

DATE
05/04/2024

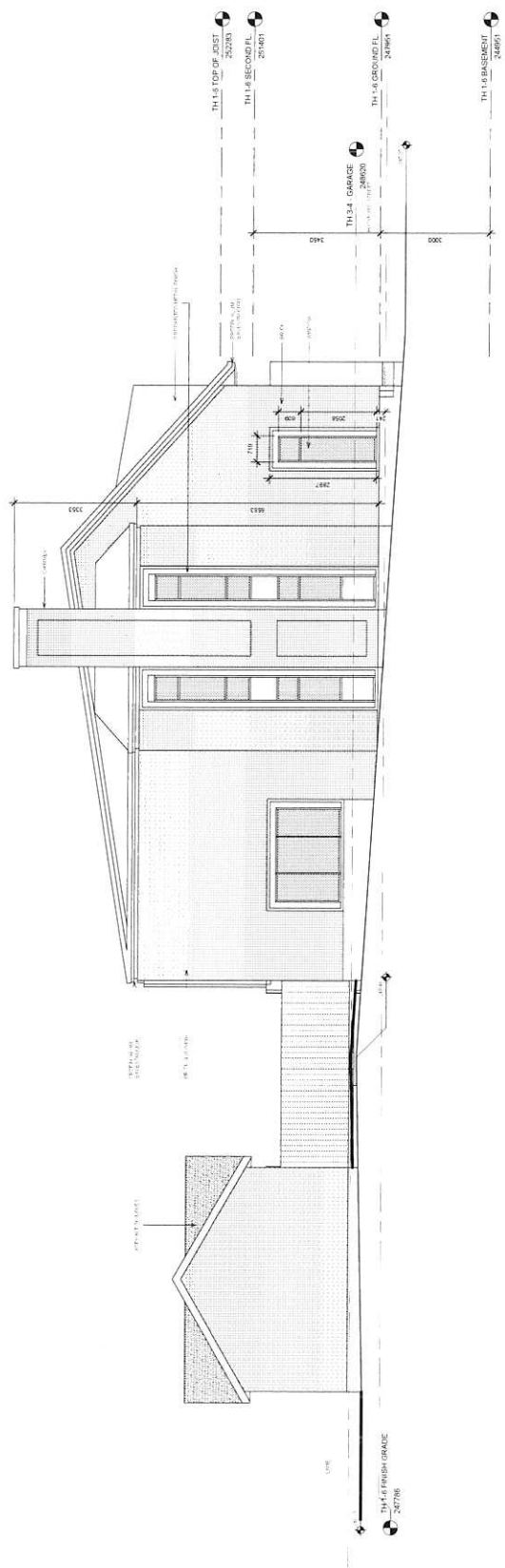
PROJECT NUMBER
A307



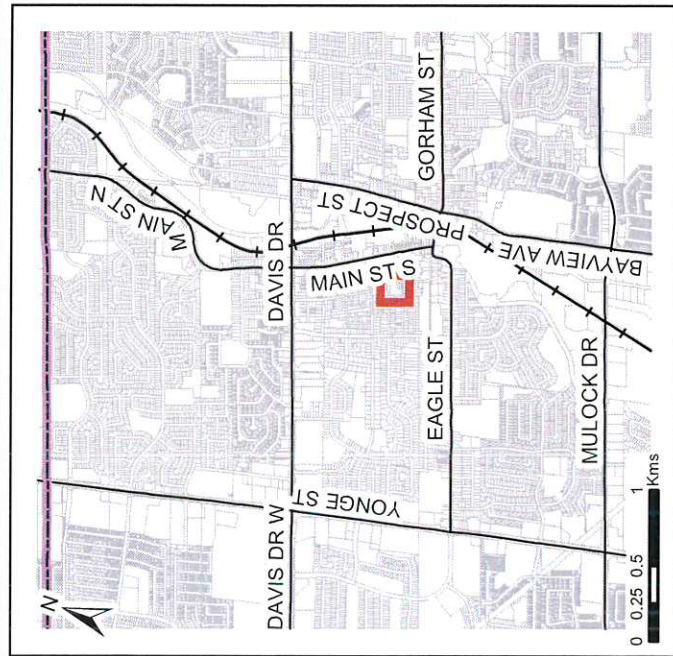
2 SOUTH BLDG. - NORTH ELEVATION DETAIL
1" = 50'



1 SOUTH BLDG. - SOUTH ELEVATION DETAIL
1" = 50'



3 SOUTH BLDG. - WEST ELEVATION DETAIL
1" = 50'






Location Map

400 Park Avenue Inc.

400 Park Avenue



Designed & produced by Information Technology - GIS
Printed: 10/05/2017

- Legend**
-  Subject Lands
 -  Land Parcel
 -  Municipal Boundary



SOURCES: 2016 Colour Ortho Imagery - First Base Solutions Inc., 2016 Orthophotography; Land Parcel Boundaries - © Teranet Inc. and its suppliers. All rights reserved. NOT A PLAN OF SURVEY. 2017; Roads, Railway, Water Features - Geomatics Division © 2017 The Regional Municipality of York. All other data - Town of Newmarket, 2017. DISCLAIMER: This mapping is based on the POLARIS parcel fabric product compiled using Land Registry System records and recent surveys and control points where available. This mapping is a representation of the earth's surface and provides estimates of area and distance. The information depicted on this map has been compiled from various sources. While every effort has been made to accurately depict the information, data/mapping errors may exist. This map has been produced for illustrative purposes only. It is not a substitute for a legal survey.

Site Plan Accessibility Checklist		Yes	No								
➤ Minimum number of required barrier-free parking spaces as per Zoning Bylaw?		X									
➤ Minimum size of barrier-free parking stall as per Zoning Bylaw?		X									
➤ Location of required signage – maximum distance from stall as per Sign Bylaw?		X									
➤ Location of parking space within reasonable proximity of barrier-free building entrance?*		X									
➤ Parking space allows immediate access to barrier-free walkway?											
➤ Opportunity for primary location with drop-off or with no vehicle lane crossing?		X									
➤ Parking space designated with a vertical sign and pavement markings with the International Symbol of Access and detail of signage illustrated on site plan as per Sign Bylaw?		X									
➤ Provision for dedicated pedestrian walkways to promote safe access to facilities?		X									
➤ Provision for dedicated pedestrian walkways to promote safe access to facilities?		X									
Access to parking areas (OBC 3.8.2.2)											
➤ Barrier-free path of travel from entrance to parking		X									
Barrier-free walkway requirements (OBC 3.8.3.2):											
➤ Exterior walkway is slip resistant, continuous and even surfaced?		X									
➤ Exterior walkway designed to drain easily?		X									
➤ Minimum width of 1100 mm and a gradient not exceeding 1:20?		X									
➤ Gradient exceeding 1:20 to be of barrier free path designed as a ramp?		X									
➤ <i>Guideline:</i> Provision of change of surface materials or painted lines in locations where a barrier-free access traverses a driveway, fire route or parking aisle?		X									
Curb Ramp Requirements (OBC 3.8.3.2(3) & (4)):											
➤ Provision of curb ramps where difference in elevation between levels in the access route is not more than 200 mm? [†]		X									
Barrier-Free Ramp Requirements (OBC 3.8.3.4):											
➤ Maximum ramp slope is 1:12?		X									
➤ Minimum ramp width between handrails is 900 mm?		X									
➤ Minimum level area at top and bottom of ramp is 1,670 mm x 1,670 mm?		X									
➤ Provision of level landing areas with a minimum dimension of 1,670 mm x width of ramp at intervals of not more than 9 m along its length?		X									
➤ Handrails not less than 865mm and not more than 965 mm high?		X									
➤ Extension of handrails horizontally not less than 300 mm beyond top and bottom of ramp?		X									
Barrier-Free Entrance Requirements (OBC 3.8.1.2 and 3.8.3.3):											
➤ Is principal entrance to building barrier-free compliant?		X									
<i>Minimum number of barrier-free entrances are not less than specified in the table below and shall lead from the outdoors at sidewalk level or a ramp</i>		X									
<table border="1"> <thead> <tr> <th>Number of Pedestrian Entrances</th> <th>Minimum Number of Barrier-Free Entrances Required</th> </tr> </thead> <tbody> <tr> <td>1 to 3</td> <td>1</td> </tr> <tr> <td>4 to 5</td> <td>2</td> </tr> <tr> <td>6 and above</td> <td>Not less than 50 %</td> </tr> </tbody> </table>		Number of Pedestrian Entrances	Minimum Number of Barrier-Free Entrances Required	1 to 3	1	4 to 5	2	6 and above	Not less than 50 %	X	
Number of Pedestrian Entrances	Minimum Number of Barrier-Free Entrances Required										
1 to 3	1										
4 to 5	2										
6 and above	Not less than 50 %										
➤ Threshold at accessible entrance does not exceed 13 mm?		X									
➤ Is the width of the door opening a minimum of 860 mm?		X									
➤ If required, does main accessible entrance have a power door operator?		X									
Accessibility Signage Requirements (OBC 3.8.3.1)											
➤ Signs incorporating the International Symbol of Access required to be permanently mounted to identify barrier-free building entrances and ramps?		X									

* Criteria: consider visibility from building, orientation

† Curb cuts/ramps should not cross into traffic lanes or other parked vehicles and be signed to prevent obstruction

Convenience Commercial Development Standards Checklist (includes Hospital Transition Area)		Yes	No
Green Initiatives:			
<input checked="" type="checkbox"/>	Provide bicycle storage racks	X	
<input checked="" type="checkbox"/>	Provide anti-idling signage	X	
<input checked="" type="checkbox"/>	Parking supply does not exceed minimum required by zoning bylaw	X	
<input checked="" type="checkbox"/>	Provide each tree with appropriate volume of high quality soil	X	
<input checked="" type="checkbox"/>	Provide energy efficient exterior lighting	X	
<input checked="" type="checkbox"/>	Rainwater collected, treated (if necessary) and used for irrigation	X	
<input checked="" type="checkbox"/>	Provide storage facilities for recyclable materials and organic wastes	X	
<input type="checkbox"/>	Building to be oriented and designed to take advantage of passive solar heating and shading for cooling		X
<input type="checkbox"/>	Provide dedicated parking spaces for high occupancy vehicles		X
<input type="checkbox"/>	Provide landscaped areas and trees within parking lot to provide shade and break-up expanse of paved areas – consider stands of trees		X
<input type="checkbox"/>	Provide plant materials that are suitable for site conditions and that are drought resistant (where applicable)	X	
<input type="checkbox"/>	Provide alternative power sources, i.e. wind and/or solar power		X
<input type="checkbox"/>	Provide green roof with 100% coverage		X
<input type="checkbox"/>	Provide green roof with 50% minimum coverage and balance of roof space covered with light coloured roofing materials		X
<input type="checkbox"/>	Innovative methods of reducing stormwater flows	X	
<input type="checkbox"/>	Provide alternative paving materials	X	
Character:			
<input checked="" type="checkbox"/>	Buildings to be designed to complement the residential architecture in neighbourhood, including projections such as bay features, cornices, canopies, patios, porches, and porticos are encouraged	X	
<input checked="" type="checkbox"/>	Provide pitched roof designs to integrate commercial buildings into residential community	X	
<input checked="" type="checkbox"/>	Buildings should be constructed of high quality materials such as clay brick, stone or comparable material	X	
<input checked="" type="checkbox"/>	Glazed areas should be maximized along street frontages to encourage safe and comfortable pedestrian use	X	
<input checked="" type="checkbox"/>	Provide safe and convenient pedestrian connections between parking and buildings	X	
<input checked="" type="checkbox"/>	Building signage must complement overall design of building architecture and surrounding buildings	X	
<input checked="" type="checkbox"/>	Rooftop mechanical equipment and loading areas must be screened visually and acoustically on all sides	X	
<input type="checkbox"/>	Explore opportunities for public art		X
<input type="checkbox"/>	Provide façade treatments that break down massing and articulates depth, verticality and street edge	X	
<input type="checkbox"/>	Align buildings close to street/sidewalk to help define street edge and enhance access to public realm	X	
<input type="checkbox"/>	Avoid conflicts between pedestrian and vehicular routes, e.g. when possible, avoid locating parking along major drive aisles, street access driveways or in front of building entrances and service areas.		X
<input type="checkbox"/>	Lighting for individual buildings should be integrated into architecture		X
<input type="checkbox"/>	Provide connection to Town's trail system		X
Boulevard Enhancements:			
<input checked="" type="checkbox"/>	All trees that are 30cm or more DBH retained		X
<input checked="" type="checkbox"/>	New trees planted on boulevard conform with Town's planting guidelines	X	
<input type="checkbox"/>	Provide plant materials that are suitable for site conditions and that are drought resistant (where applicable)	X	
<input type="checkbox"/>	Provide benches, garbage and/or recycling receptacles, public art, planters and/or bicycle racks ¹		X
<input type="checkbox"/>	Provide alternatives to grass		X
<input type="checkbox"/>	Provide alternative paving materials ¹		X

☒ **Mandatory**

¹ subject to Public Works Services and/or Engineering Services acceptance

☐ **Optional – select one from each category**

April 3rd, 2017

Development Standards Checklist Conformity Memo – Convenience Commercial

Green Initiatives (Mandatory)

- Provide bicycle storage racks
 - 3 bicycle parking spaces are required by zoning bylaw.
 - 3 bike racks will be provided
- Provide anti-idling signage
 - Anti-idling signage will be provided as required by relevant by-laws.
- Parking supply does not exceed minimum required by zoning by law
 - The total of 39 parking provided does not exceed the minimum required by zoning by law
 - Parking calculations have been detailed on the architectural site plan
- Provide each tree with appropriate volume of high quality soil
 - The town planting guideline requires minimum 2 m³ per tree for tree in hardscape. The minimum requirement will be met for all tree in planters. Trees in sodded areas will have at least 10 m³ high quality planting soil per tree.
 - The required soil volumes will be indicated on the landscape drawings
- Provide energy efficient external lighting
 - High performance LED light fixtures have been selected for outdoor use due to their efficiency
- Rainwater collected, treated, and used for irrigation
 - School: Existing condition to remain – school roof will drain to storm sewer. Roads will use permeable pavers to enable further collection and treatment of rainwater
 - Towns: Roof leaders will discharge to rear yards as irrigation. Overland flow resulting from larger storms will be collected and treated by rain gardens. See civil drawing SWM-1 for details on collection volumes.
- Provide storage facilities for recyclable materials and organic waste
 - School: A common garbage room will provide storage for recyclable materials and organic waste. The exterior garbage collection area will provide sufficient space for recycling and organic collection containers.
 - Towns: Detached garages will provide storage for garbage, recyclable materials and organic waste.

Green Initiatives (Optional)

- Provide plant materials suitable for site conditions that are drought resistant (where applicable)
 - Plant species are listed on landscape plans. Plant material selection are appropriate for the site conditions. Native and drought tolerant plant material will be used throughout. 70% softscape on site is covered by drought tolerant plants.
- Innovative methods of reducing storm water flows
 - School: The internal roads will facilitate infiltration of storm water through the use of permeable pavers.
 - Towns: The site will employ a treatment train to manage quantity and improve quality of storm water. Roof leaders will discharge to rear yards. During larger storms, overland flow will be intercepted by rain gardens that will discharge to the internal storm sewer.
- Provide alternative paving materials
 - Permeable pavers will be used on the internal road to increase infiltration of storm water / reduce impermeability.



Character (Mandatory)

- Buildings to be designed to complement the residential architecture in neighborhood, including projections such as bay features, cornices, canopies, patios, porches, and porticoes are encouraged.
 - School: The school building will be preserved along with its heritage architecture featuring projecting bay entrances, concrete and brick quoins, and cornice molding.
 - Towns: The new townhouse facades have been designed to reflect the Victorian and Edwardian character of the existing residential architecture
 - See the architectural elevation drawings for details.
- Provide pitched roof designs to integrate commercial buildings into residential community
 - N/A – No commercial buildings are proposed.
- Building should be constructed of high quality materials such as clay brick, stone, or comparable material
 - School: The existing building is to remain. The addition on the south side will be reconstructed in premium brick that accentuates the red brick in the remainder of the existing school.
 - Towns: The new townhouses will be clad in premium brick that accentuates the red brick in the existing school.
- Glazed areas should be maximized along street frontages to encourage safe and comfortable pedestrian use
 - School: No changes are proposed to the window openings on the school. The current low quality windows will be replaced with high quality, thermally efficient windows of a design similar to that used in original.
 - Towns: The new townhouses will have large windows on the street frontage. End walls of the townhouse block will incorporate windows.
- Provide safe and convenient pedestrian connections between parking and buildings
 - School: The school units will be accessible via a short concrete sidewalk leading to the rear entrance / elevator lobby.
 - Towns: The new townhouses will be directly accessible from parking in the detached garage via a unit-paver walkway from each garage to each unit.
- Building signage must compliment overall design of building architecture and surrounding buildings
 - School and towns: Building signage will be displayed on entry features located at each driveway connection. The entry features will be constructed of masonry similar to that of the school and towns.
- Rooftop mechanical equipment and loading areas must be screened visually and acoustically on all sides.
 - School: Rooftop mechanical equipment will be screened visually and acoustically on all sides by the existing brick parapet walls
 - Towns: The towns will not have rooftop mechanical equipment

Character (Optional)

- Provide façade treatments than break down massing and articulate depth, verticality and street edge
 - School: N/A – Retaining existing, no changes proposed to facade
 - Towns: The design of the new townhouses reflect the attributes of nearby historic buildings. The styling of the facades with bay windows, canopies and articulated dormers breaks down the massing. The proportions of the fenestration perpetuates the vertical emphasis founded in the area's historic buildings. The townhouse building type provides for a strong streetscape.
- Align buildings close to street/sidewalk to help define street edge and enhance access to public realm
 - School: N/A – Retaining existing, no changes proposed to facade
 - Towns: The height of the new townhouse complement the heights of the adjacent historic building. The façade of the new townhouse also aligns with the existing setback of the historic house to create a continuous building line.



Boulevard enhancements

- All trees that are 30cm or more DBH retained
 - A tree inventory of the current site has been provided and all protected trees have been identified in the Arborist Report. One boulevard tree greater than 30cm DBH cannot be retained (Tree 2) because its location is in conflict with the new private late entrance. At the request of the Town's peer review Arborist the plan was altered to retain two other original trees in Victoria street right of way.
 -
- New trees planted on boulevard conform with Town's planting guidelines
 - White oak and common hackberry are selected for street tree planting. Both are native high branching deciduous trees. The two species are planted at alternate pattern along Victoria Ave as per town planting guideline.
- Provide plant material that are suitable for site conditions and that are drought resistant (where applicable)
 - 70% softscape on site is covered by drought tolerant plants. Plant species are listed on landscape plans. Plant material selection are appropriate for the site conditions. Native and drought tolerant plant material will be used throughout.

NOTES TO COMMITTEE

Property: 400 Park Avenue
(west of Main Street South)

Owner: 400 Park Avenue Inc.

Application: Site Plan Approval to permit the construction of 14 new townhouse dwelling units fronting Botsford Street and Church Street and 11 apartment dwelling units within the existing former school building.

STAFF RECOMMENDATION

The Site Plan Review Committee directs:

1. That the Application for Site Plan Approval to permit the construction of 14 new townhouse dwelling units fronting Botsford Street and Church Street and 11 apartment dwelling units within the existing former school building be approved in principle and referred to staff for processing, subject to the following:
 - a. That the preliminary review comments be addressed to the satisfaction of Town staff.

Preliminary Staff Comments to be Addressed

- Committee of the Whole adopted Planning and Building Services Report 2017-16 at its meeting on May 8, 2017 directing staff to prepare the necessary Official Plan and Zoning By-law Amendments
- Land use will be permitted at such time as Council passes by-laws adopting the Official Plan and Zoning By-law Amendments – by-laws to be considered by Council on May 15, 2017
- Amending Zoning By-law will contain 'H' prefix as servicing allocation has not been granted by Council for this development – removal of holding provision subject to applicant addressing conditions for removal (servicing allocation granted by Town, executing site plan agreement and posting performance securities)
- Construction Management Plan required prior to work commencing

Next Steps

If Committee approves the application in principle and refers it to staff for processing, the next step in the process is for the applicant to submit to the Town the first technical submission which will be reviewed by staff.

The following plans and reports are required as part of the first technical submission:

- Site Plan
- Landscape Plan
- Building Elevations Plan
- Photometric Site Plan
- Stormwater Management Report
- Functional Servicing Report
- Servicing Plan
- Grading Plan
- Geotechnical Report
- Sediment and Erosion Control Plan
- Arborist Report addressing peer review comments
- Composite Utility Plan
- Construction Management Plan
- Cost Estimates (civil and landscaping)