



# Town of Newmarket

## Agenda

### Site Plan Review Committee

Date: September 13, 2021  
Time: 9:30 AM  
Location: Streamed live from the Municipal Offices  
395 Mulock Drive  
Newmarket, ON L3Y 4X7

Pages

#### 1. Notice

At this time, the Municipal Offices remain closed to the public. This meeting will be streamed live at [newmarket.ca/meetings](https://newmarket.ca/meetings).

#### Public Input

Individuals who wish to submit input to Council in relation to an item on this agenda have the following options available.

1. Email your correspondence to [planning@newmarket.ca](mailto:planning@newmarket.ca) by end of day on September 12, 2021. Written correspondence received by this date will form part of the public record; or,
2. Make a live remote deputation by joining the virtual meeting using the Town's videoconferencing software and verbally provide your comments over video or telephone. To select this option, you are strongly encouraged to pre-register by emailing your request and contact information to [clerks@newmarket.ca](mailto:clerks@newmarket.ca).

#### 2. Additions & Corrections to the Agenda

#### 3. Conflict of Interest Declarations

#### 4. Presentations & Recognitions

##### 4.1. Application for Site Plan Approval for 482 Ontario Street

1

**Note:** Dave Eqbal of Pro Vision Architecture Inc. will be in attendance to provide a presentation on this matter on behalf of the Applicants.

#### 5. Deputations

## 6. Items

### 6.1. Application for Site Plan Approval for 482 Ontario Street

15

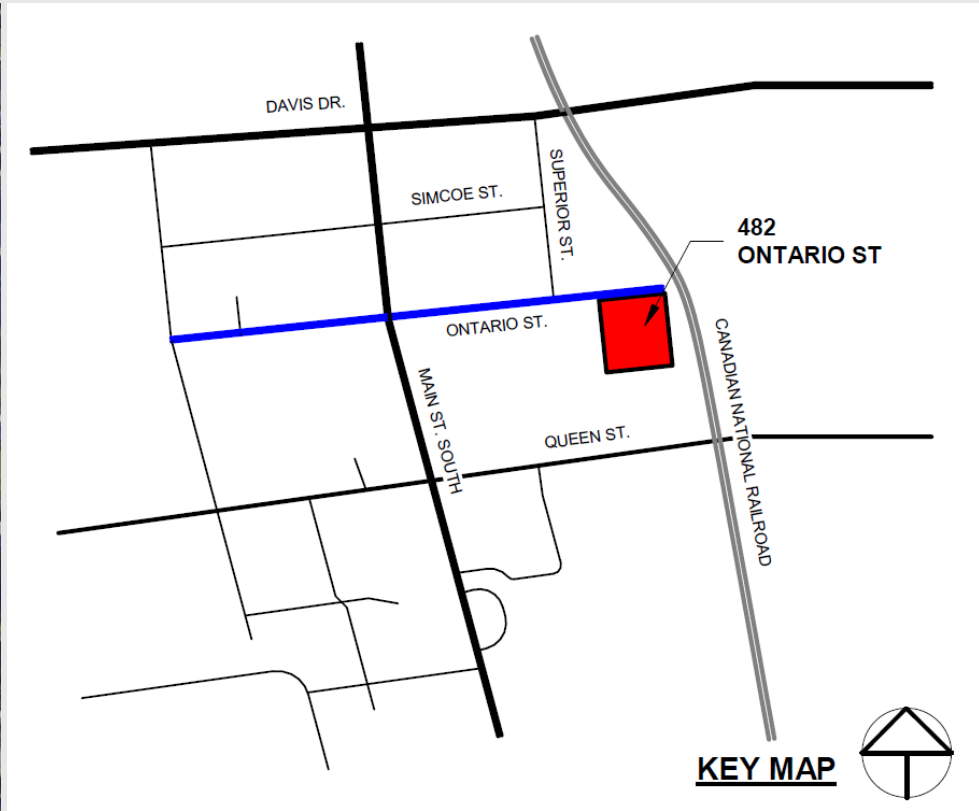
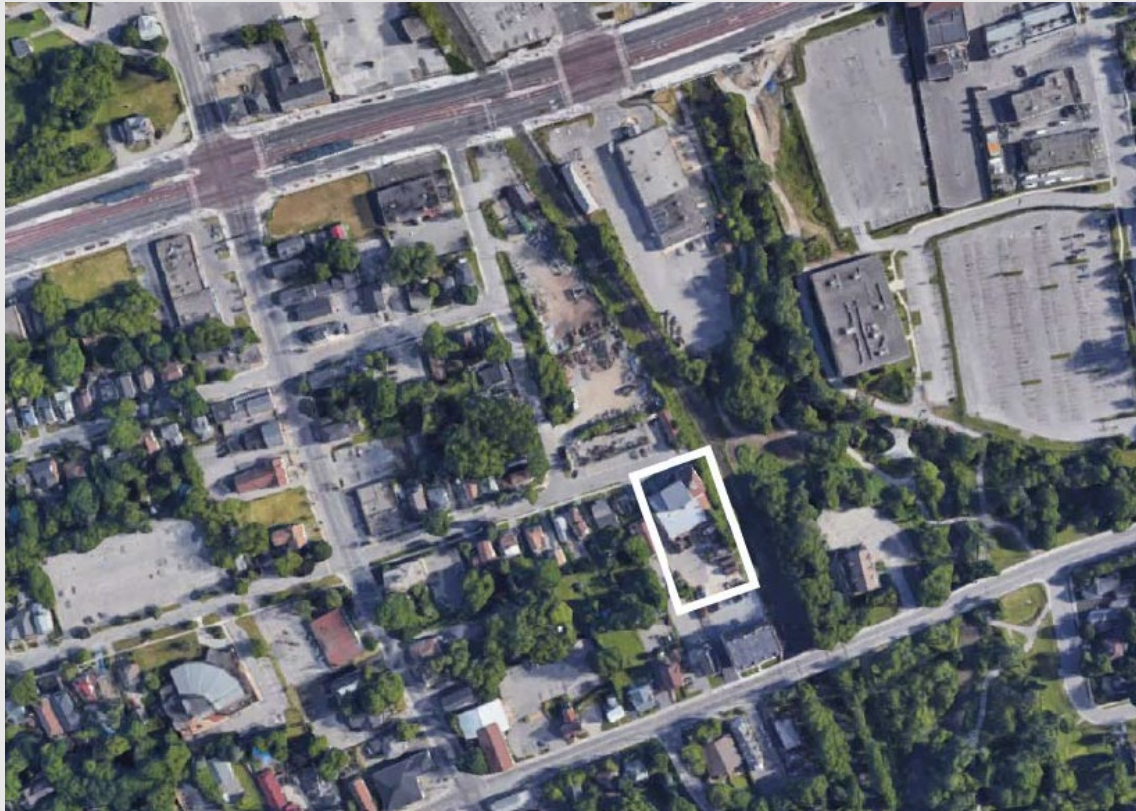
1. That the presentation regarding application for Site Plan Approval for File Number D11-NP-21-12 be received; and,
2. That staff be directed to continue the technical review of the application to ensure conformity with the Zoning By-law, Official Plan, Secondary Plan and all other applicable policies; and,
3. That staff be directed to ensure full consideration is given to all comments provided by Committee; and,
4. That Raymond Parker of Birch Bender Holdings of 17799 McCown Road, Cedar Valley L0G E10 be notified of this action; and,
5. That Dave Eqbal of Pro Vision Architecture be notified of this action.

## 7. Adjournment

# 482 ONTARIO ST.

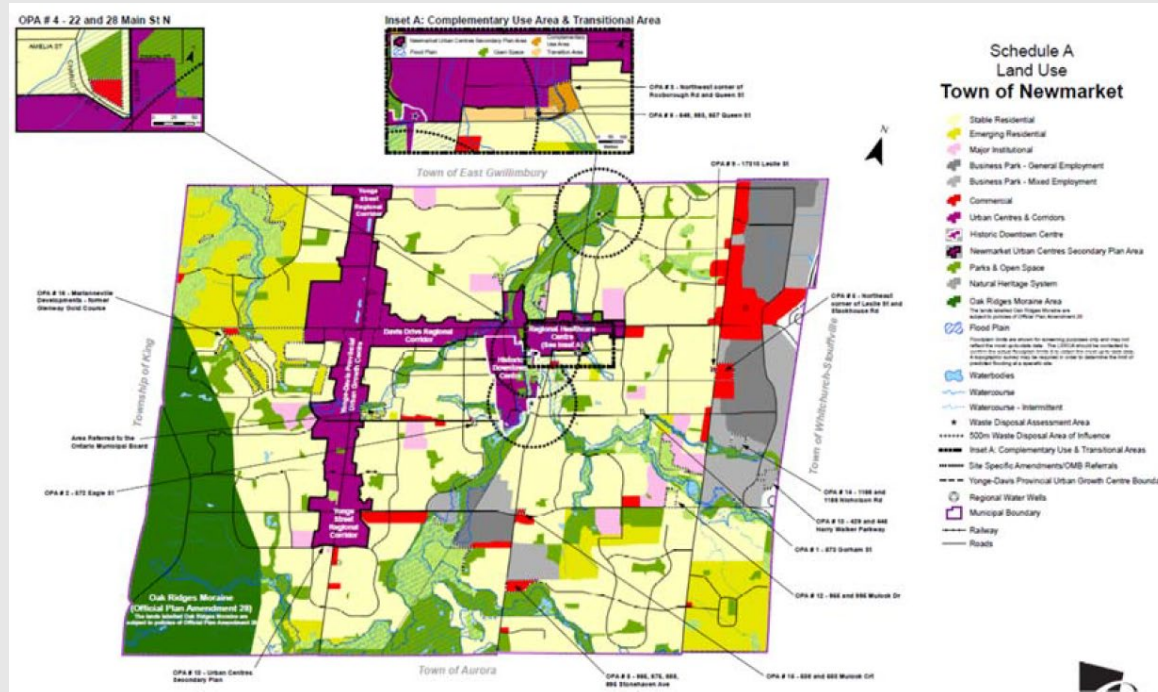
Building Alteration

# PROPERTY LOCATION

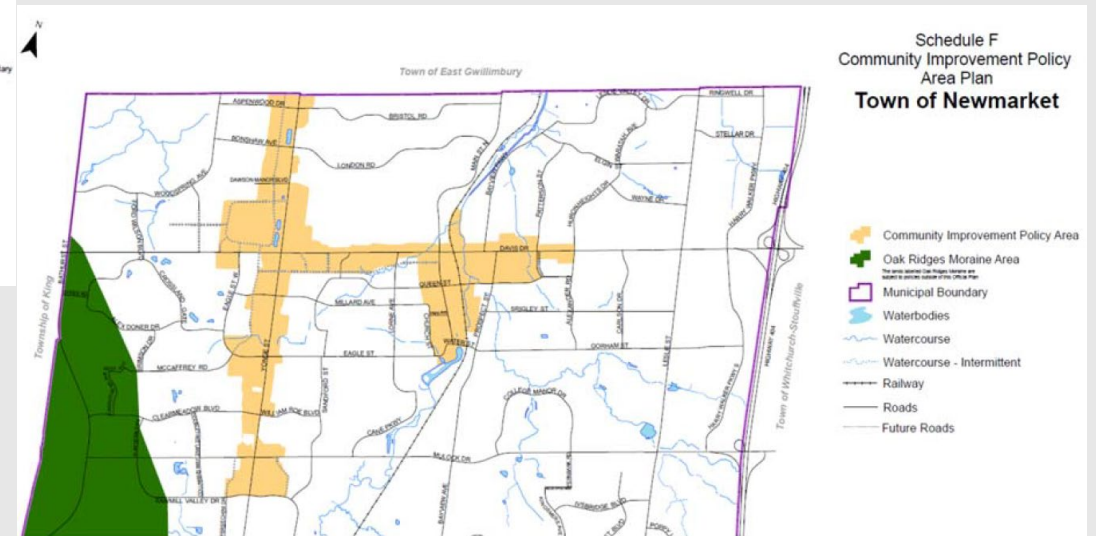




The property is located within the **Newmarket Urban Centres** Secondary Plan and the **Historic Downtown Centres**, areas where intensification will be directed by Official Plan. **(OPA #10)** It is the Town's intent that the area collectively serve as the **focal areas for employment and population growth** over the next several decades.



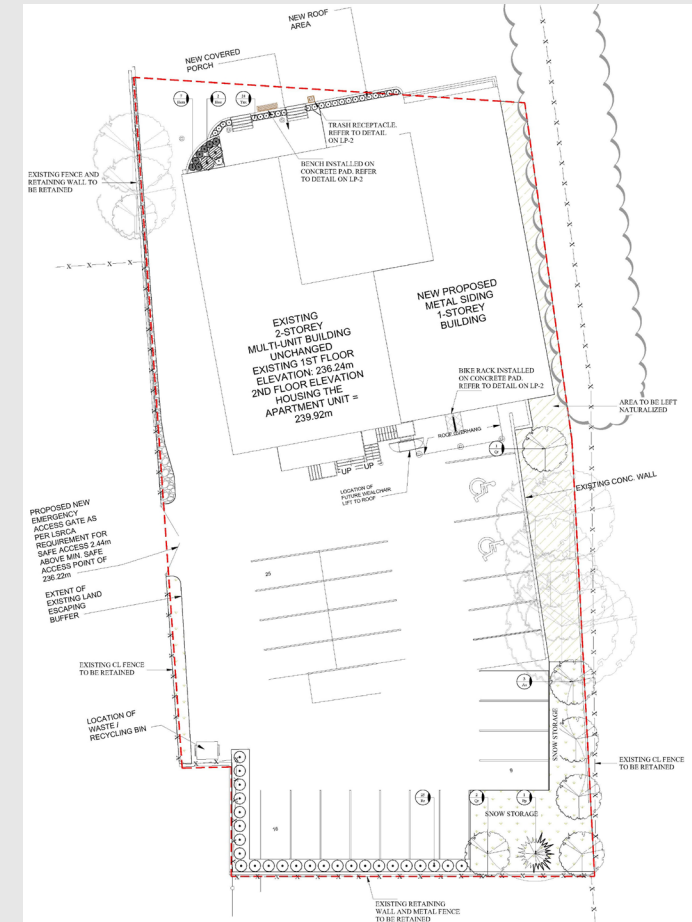
Specifically, the property is within **Community Improvement Policy Areas**



# SITE PLAN



SITE STATISTICS					
ZONING		CS (Service Commercial Zone) / FP (Floodplain) FP-NH (Floodplain and Other Natural Hazards Zone)			
LEGAL DESCRIPTION		REGISTERED PLAN 222, TOWN OF NEWMARKET Address 482 Ontario St. Newmarket, ON			
Areas		Required		Proposed / Existing	
Lot Area		Min. 900.00 m2		2377.765 m2	
Lot Frontage		24 m.		34.65 m.	
Floor Space Index		1.5 MAX.		0.49	
Lot Coverage		Required		EXISTING BUILDING AREA / COVERAGE	
Building Coverage		50% MAX.		Building 753.12 sq.m. 31.67%	
				2nd Entry 16.57 sq.m. 0.70%	
				TOTAL 769.70 sq.m. 32.37%	
				PROPOSED BUILDING AREA / COVERAGE	
				Building 745.78 sq.m. 31.36%	
				Covered Porch 28.93 sq.m. 1.22%	
				2nd Entry 16.57 sq.m. 0.70%	
				TOTAL 791.28 sq.m. 33.28%	
Landscaped/Paved Area		N/A sq.m. MIN		1586.49 sq.m. 66.72%	
Gross Floor Areas					
1F - UNIT #1				New Floor Area EXISTING	
1F - UNIT #2				0.00 sq.m. 175.82 sq.m.	
1F - APARTMENT				0.00 sq.m. 562.20 sq.m.	
2F - APARTMENT				0.00 sq.m. 8.13 sq.m.	
2F - UNIT #3				0.00 sq.m. 221.53 sq.m.	
				0.00 sq.m. 203.45 sq.m.	
		Total		0.00 sq.m. 1,171.12 sq.m.	
				GRAND TOTAL 1,171.12 sq.m.	
Setbacks		Required		Proposed Storage Building	
Front Yard		-1.98 m. (EXT.)		-1.27 m	
East Side Yard		9 m.		1.17 m (EXT.)	
West Side Yard		9 m.		3.96 m (EXT.)	
Rear Yard		9 m.		27.17 m (EXT.)	
Building Height		Required		Proposed Storage Building	
Height of Building		MAX. 18 m.		12.64 m	
Parking		Required		Existing	
Apartment		1.5 spaces per dwelling unit 1.75		24	
		0.25 visitor parking			
Personal Service Shop		1 space per 30 m2 of GFA 31.4			
Barrier Free Parking		Total Spaces (13 to 25) - Type B 2		2	
Total Spaces		Total required spaces 34		Total Proposed Parking spaces 25	
No. of Loading Spaces					





# Existing – Proposed

- Existing Total Lot Area: 2377.765 m<sup>2</sup> = 0.2377 hectares (0.587 acres)
- Existing Number of Buildings: 1
- Existing Number of Storeys: 2
- Existing Gross Floor Area: 1,171.12 square metres (12,605.83 square feet)

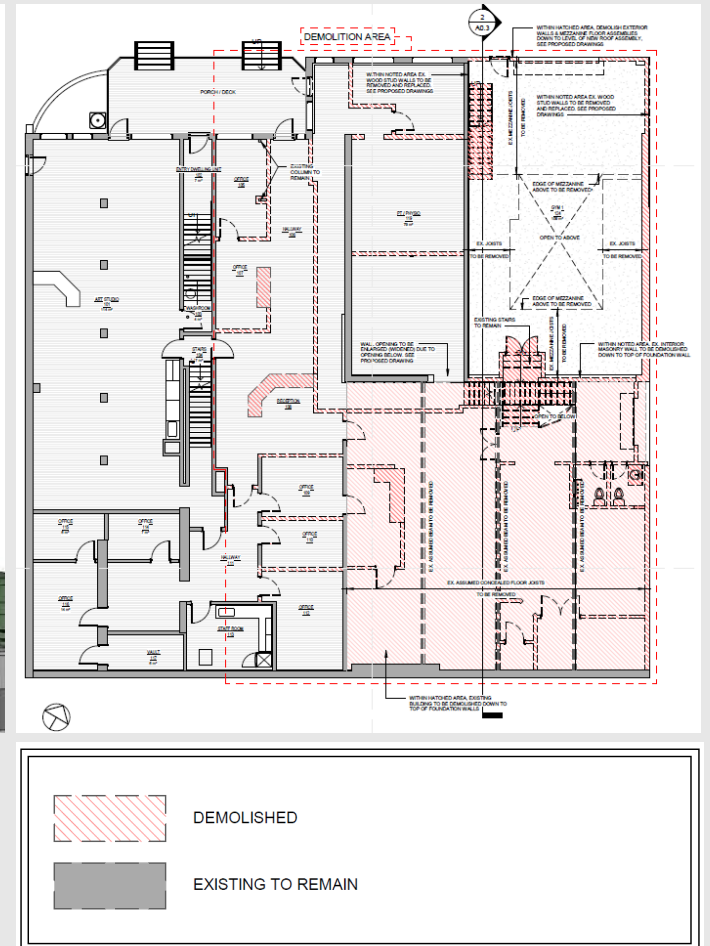
- Proposed Total Lot Area: 2377.765 m<sup>2</sup> = 0.2377 hectares (0.587 acres)
- Proposed Number of Buildings: 1
- Proposed Number of Storeys: 2
- Proposed Gross Floor Area: 1,171.12 square metres (12,605.83 square feet)
- Proposed Building Coverage: 33.28%



**EXISTING BUILDING**

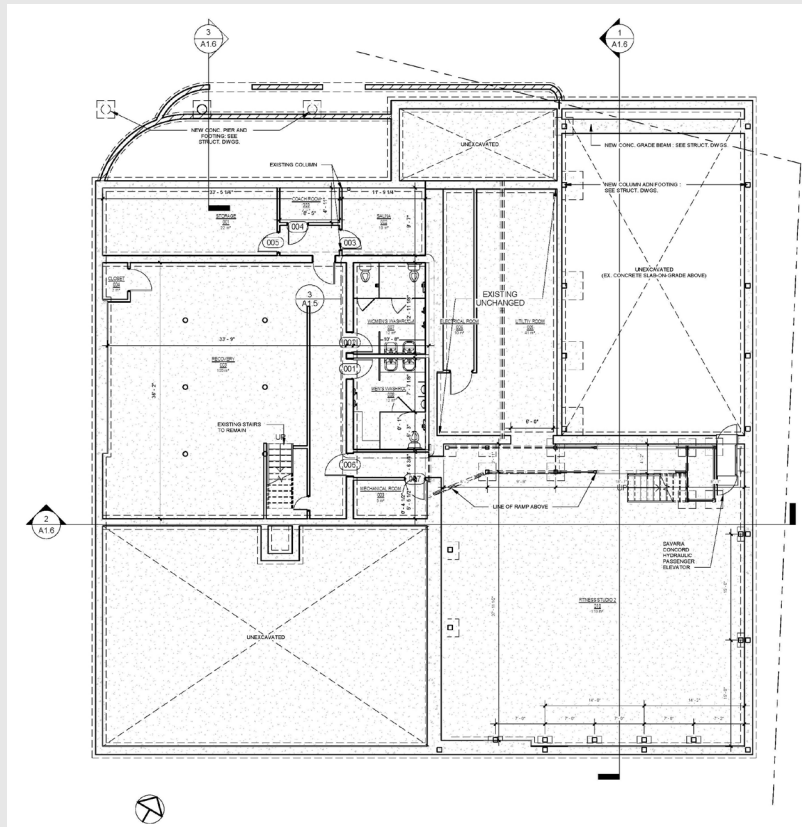


**BUILDING AFTER PROPOSED  
ALTERATION**

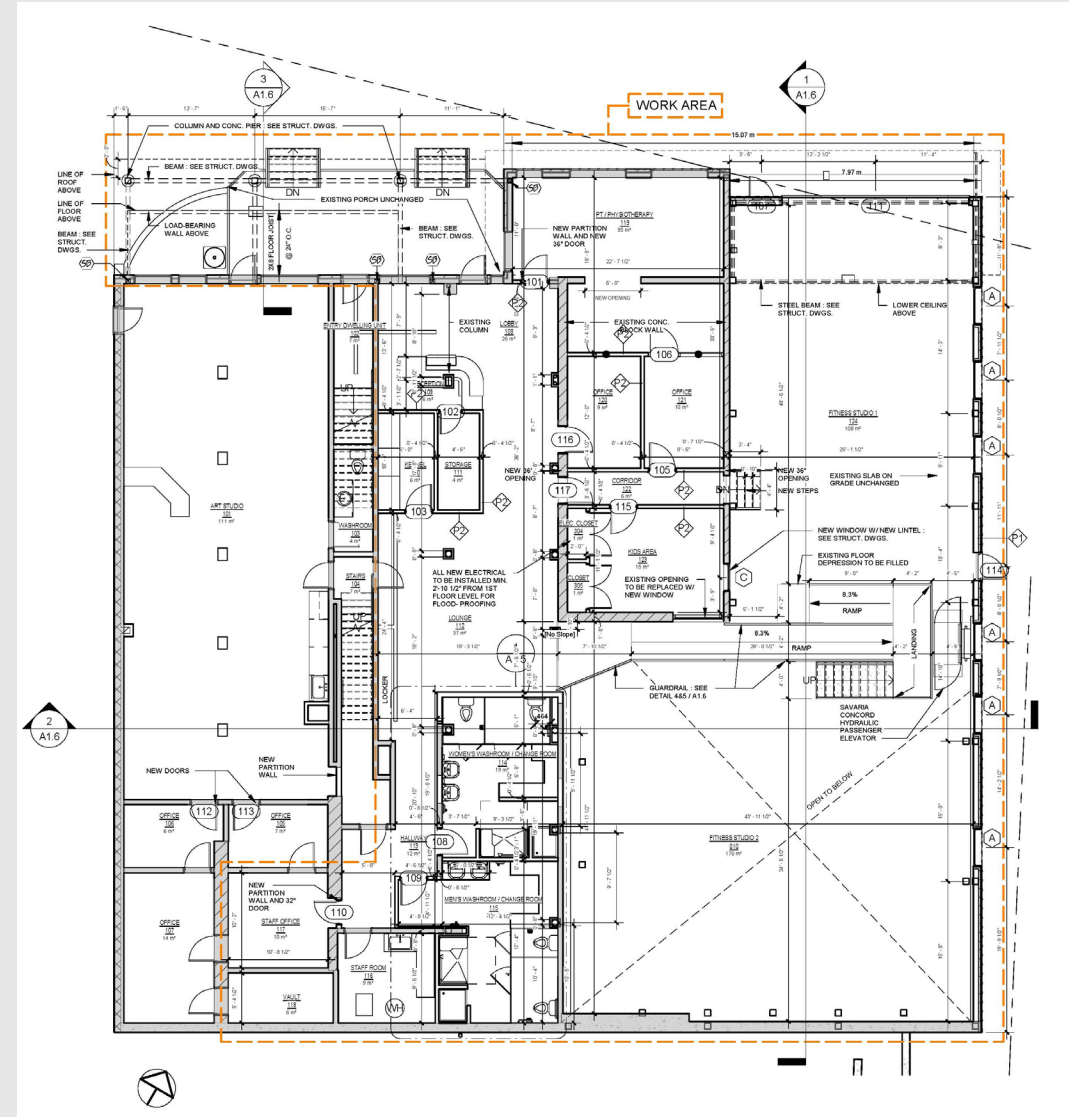




# Area of Work

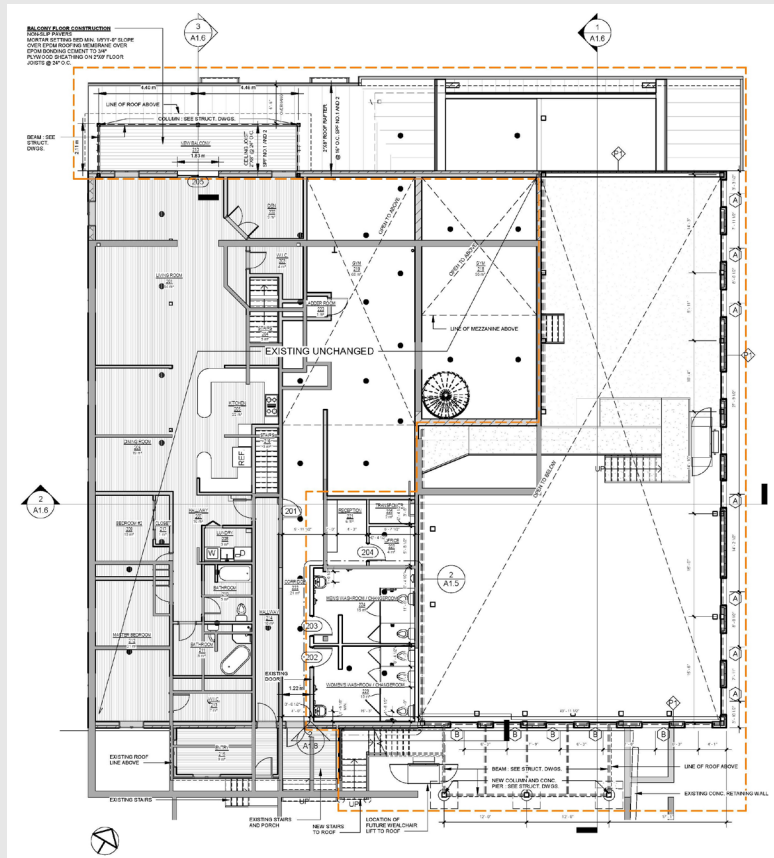


**BASEMENT**

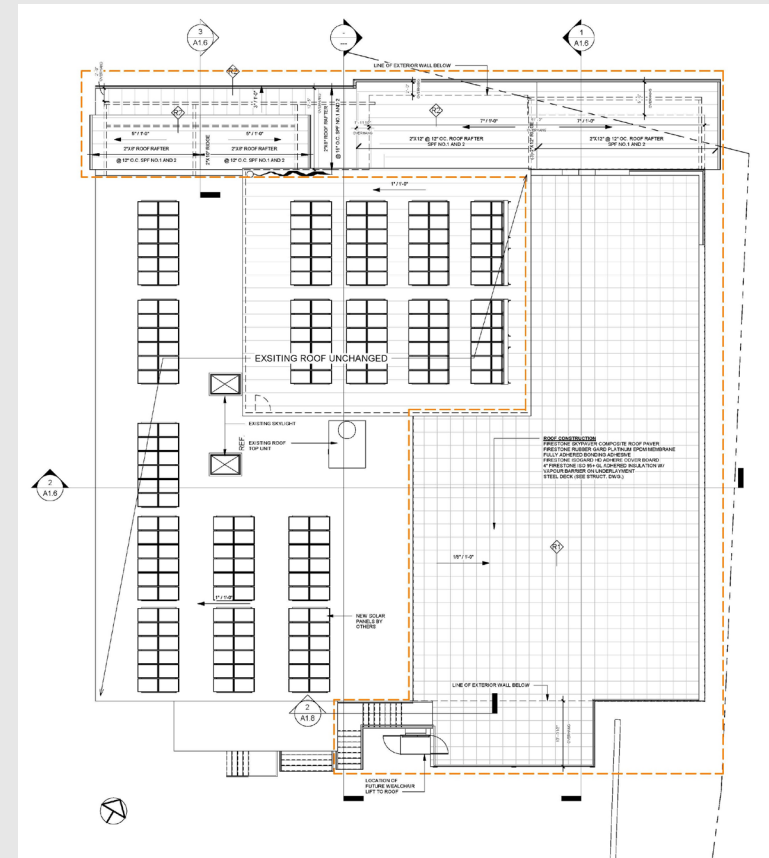


**FIRST FLOOR**

# Area of Work

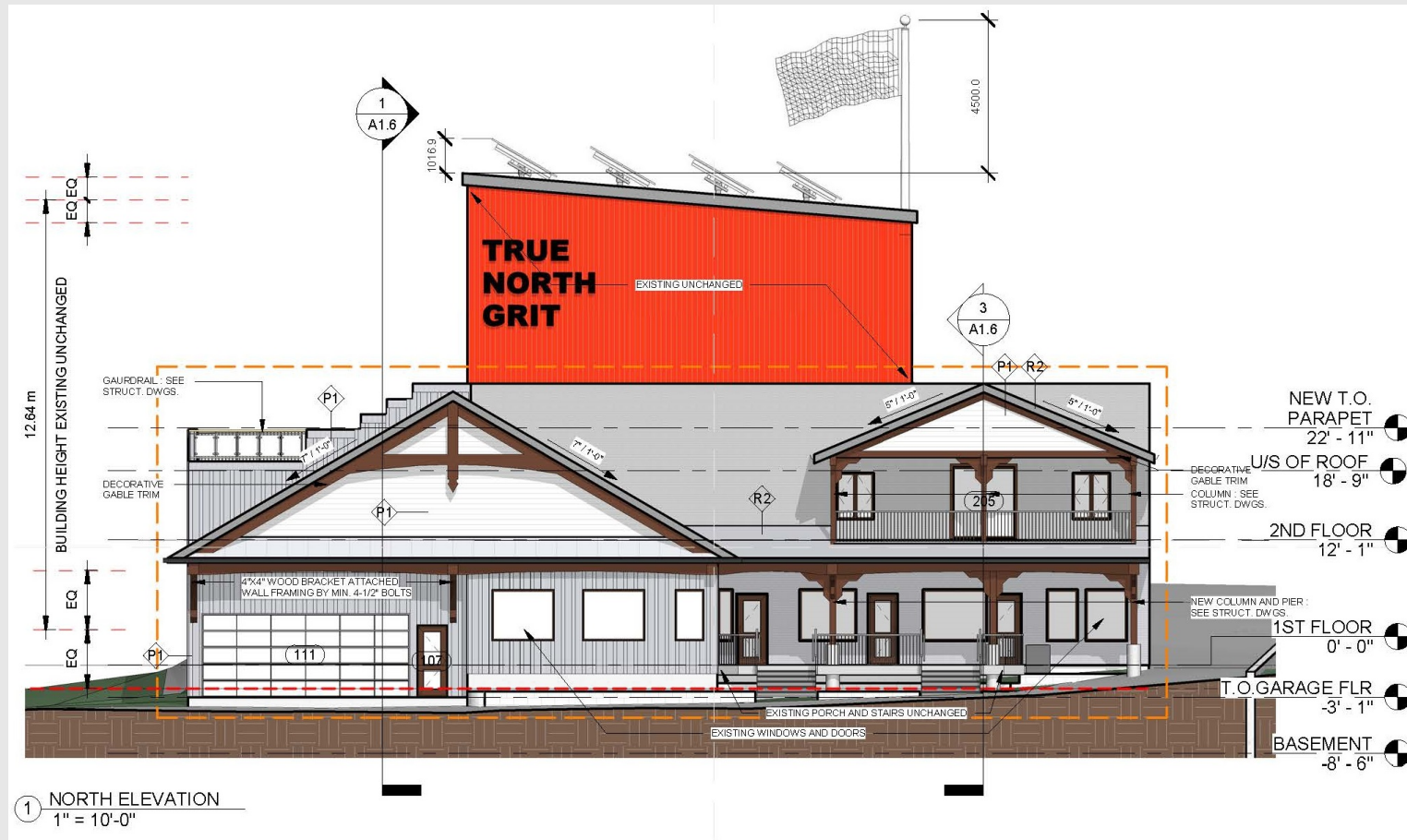


SECOND FLOOR

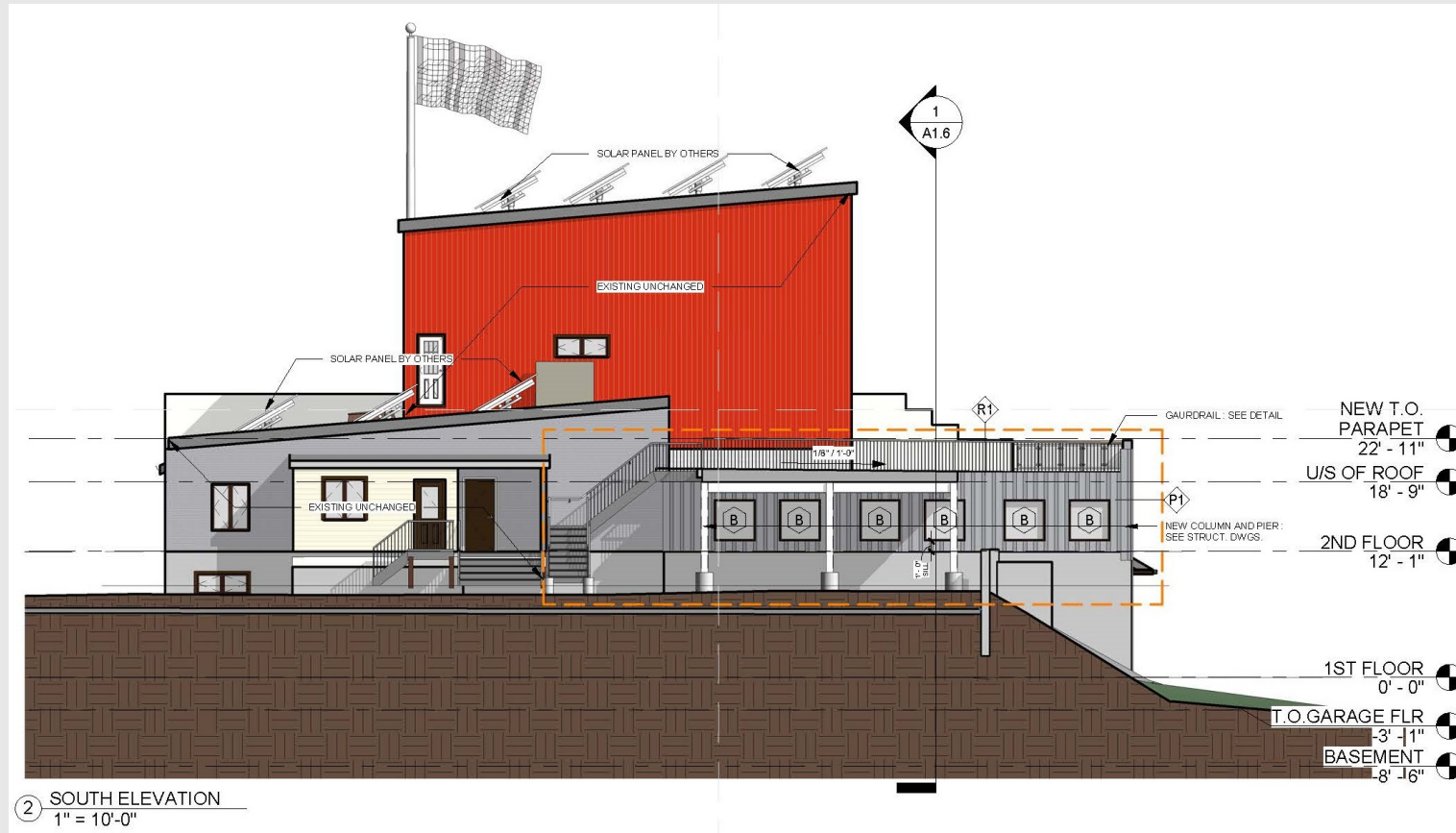


ROOF PLAN

# NORTH / FRONT ELEVATION

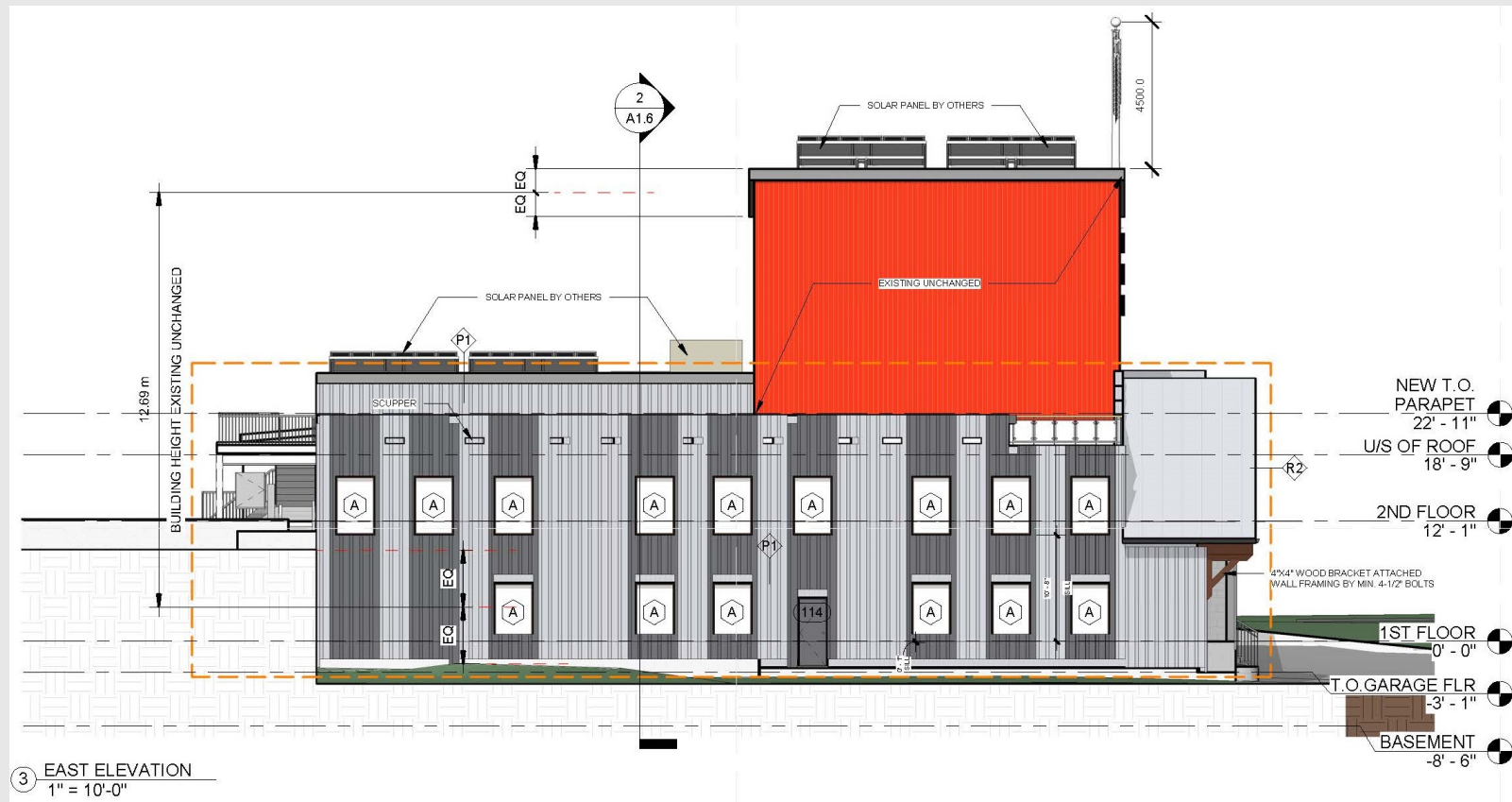


# SOUTH ELEVATION

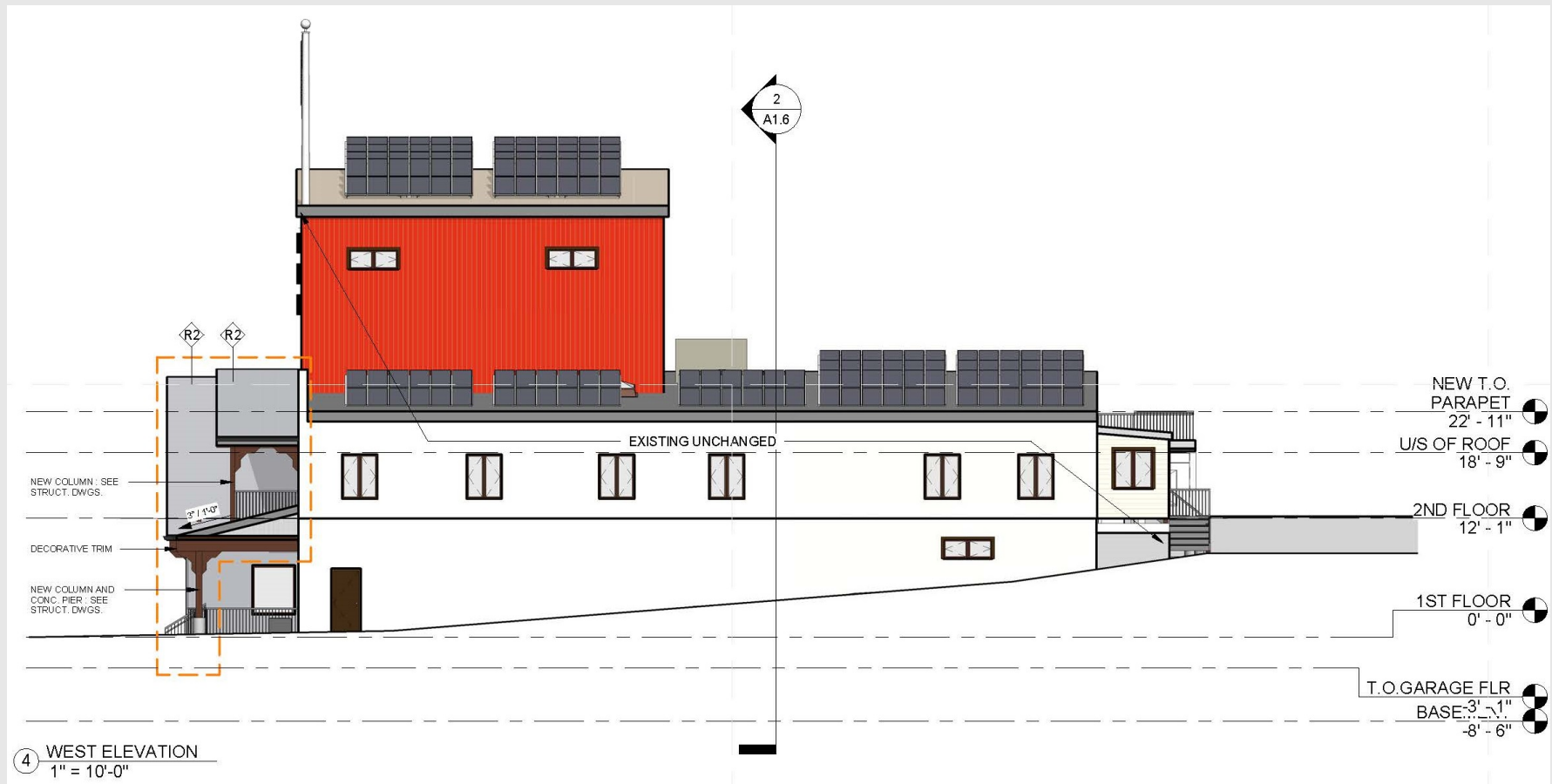




# EAST ELEVATION



# WEST ELEVATION



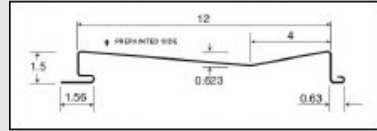
# MATERIAL SCHEDULE

## METAL PANEL CLADDING

AGWAY METALS INC.

HV-12

COLOUR : QC28273 BONE WHITE

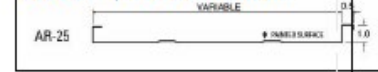


## METAL ROOFING

AGWAY METALS INC.

AR STANDING SEAM AR-38

COLOUR : QC28273 BONE WHITE



## METAL PANEL CLADDING

AGWAY METALS INC.

HV-12

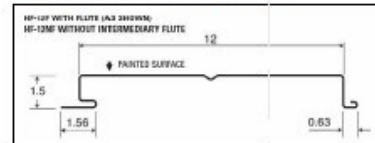
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## METAL PANEL CLADDING

AGWAY METALS INC.

HF-12

COLOUR : CHERRY WOODGRAIN

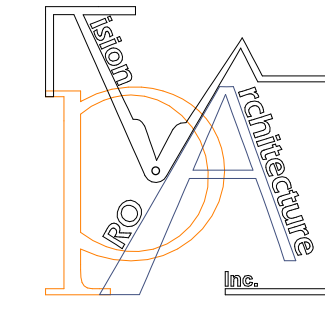
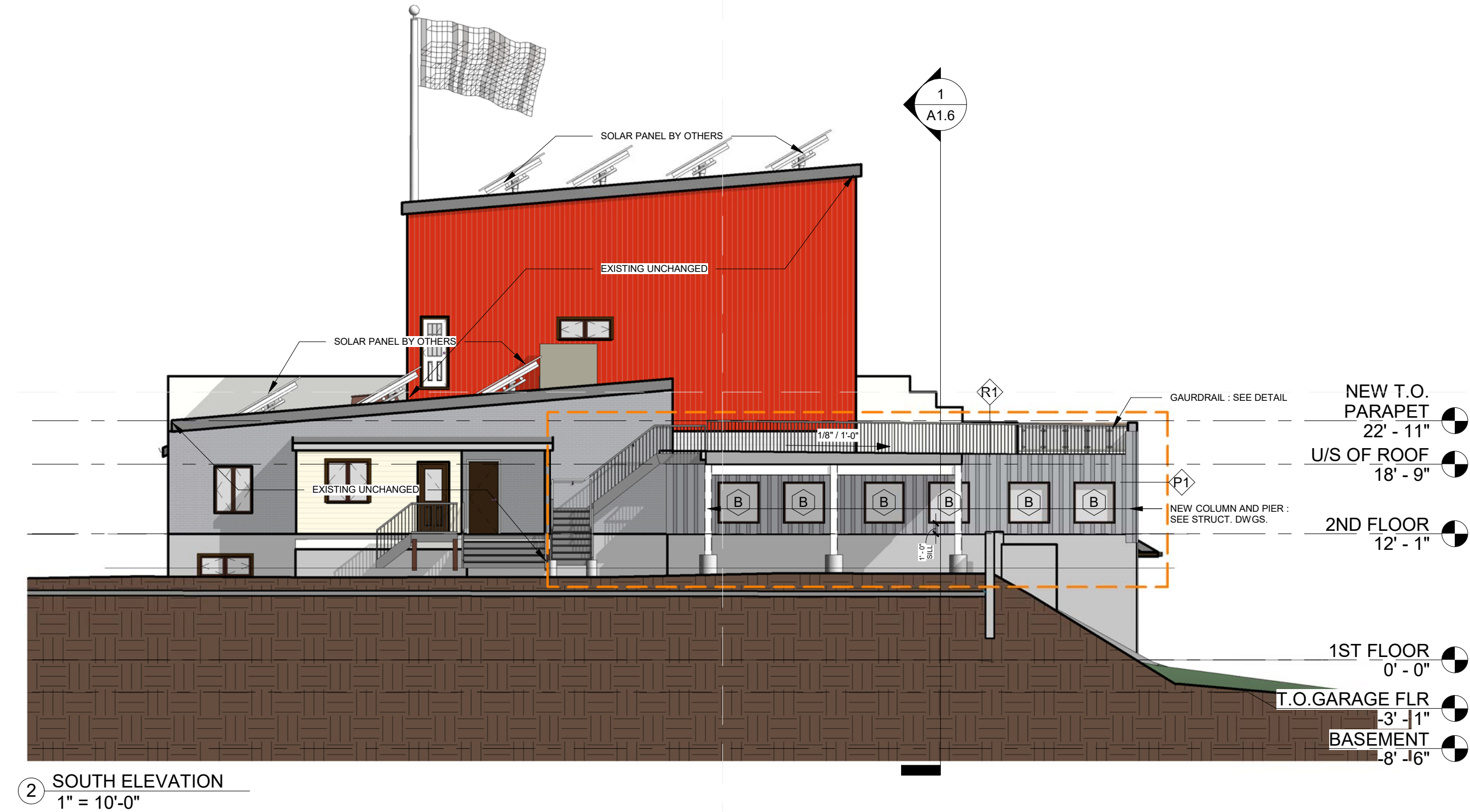
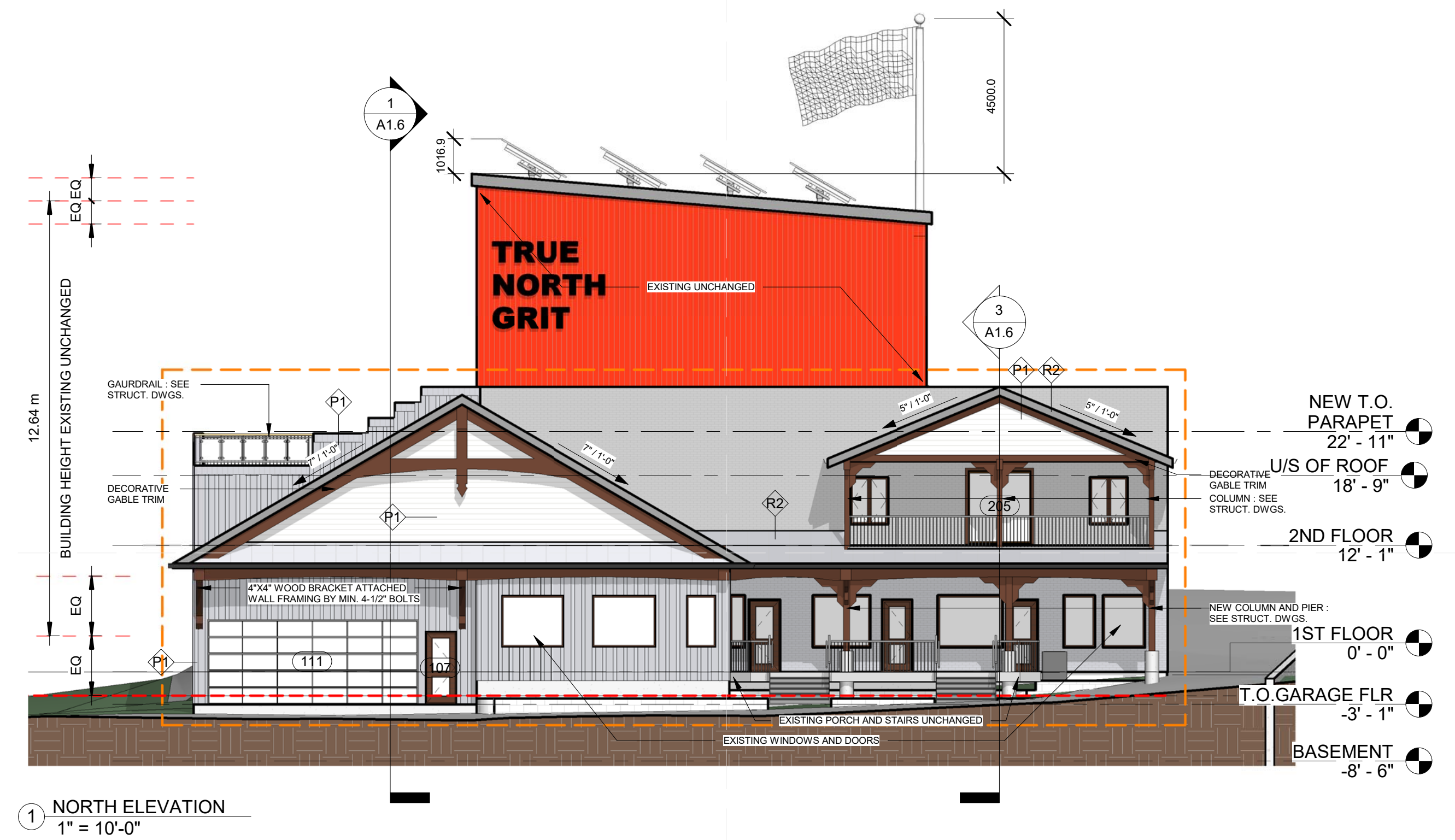
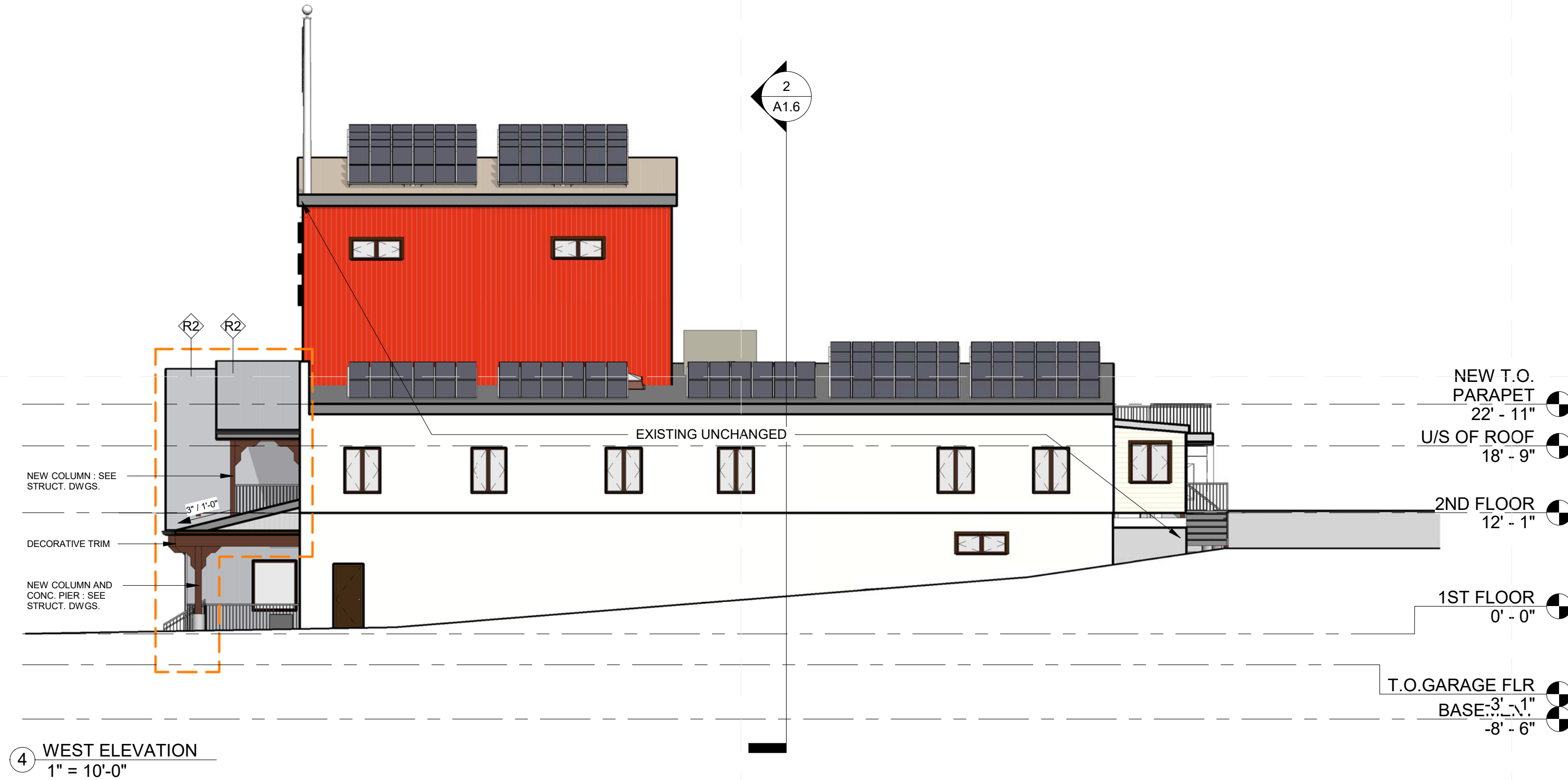
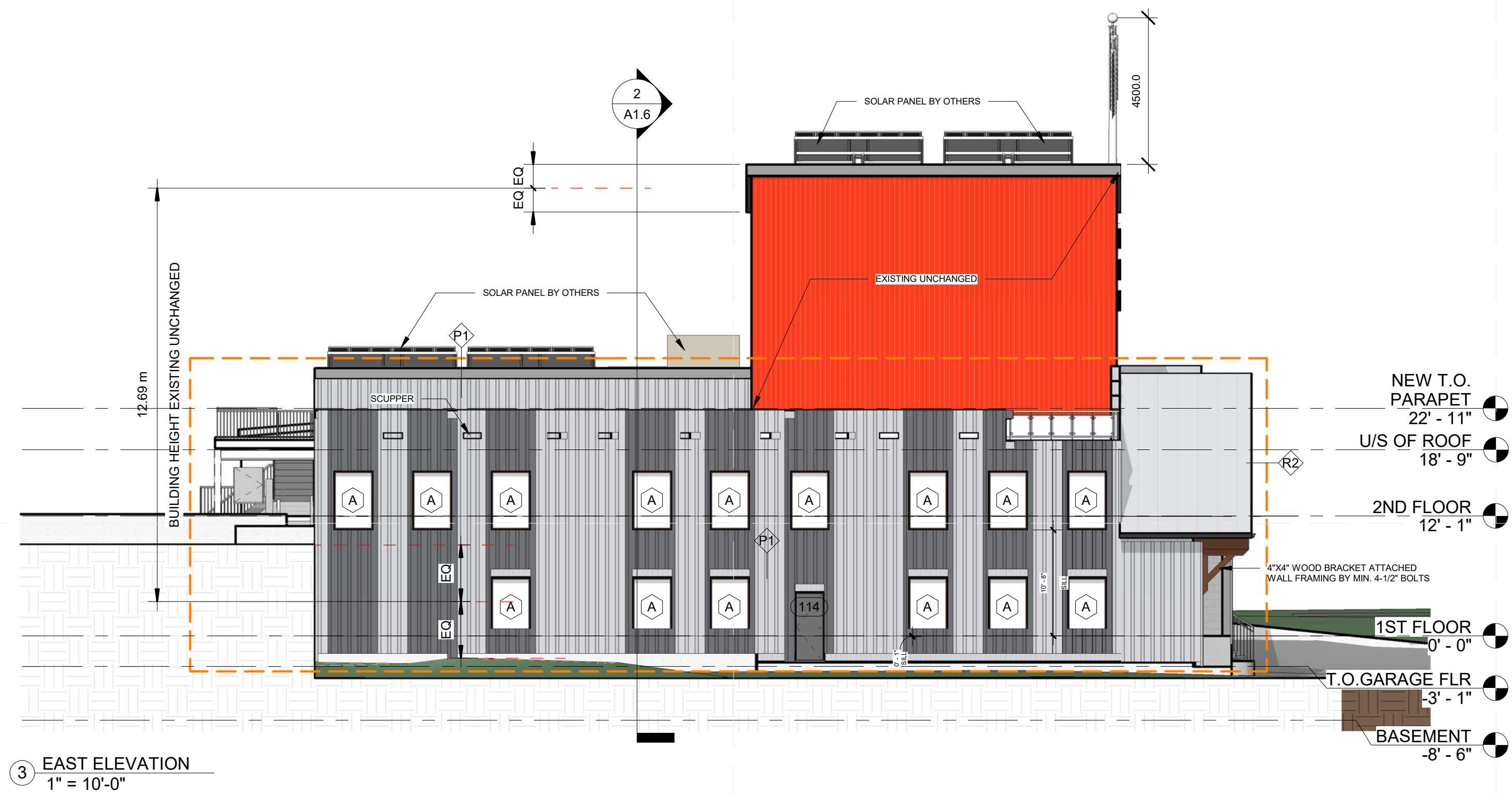


## EXISTING BRICK VENEER WALL

TO BE MATCHED WITH SAME  
COLOUR OF NEW METAL PANEL







PRO VISION ARCHITECTURE INC.  
T: (416) 800-6347 F: (416) 800-9625  
Email: pva@provisionarch.com  
14961 Yonge St. Unit B, Aurora, ON L4G 1M5



REVISION SCHEDULE			
No.	Description	Date	By

PROJECT NAME:  
**ALTERATION TO  
482 Ontario St. Newmarket**

PROJECT ADDRESS:  
482 Ontario St. Newmarket

CLIENT'S NAME & ADDRESS:  
TRUE NORTH GRIT  
482 Ontario St. Newmarket 1G3

PROJECT STATUS:  
BUILDING PERMIT APPLICATION

DRAWN BY: DE, SC  
CHECKED BY: DE  
DATE: APRIL 2020  
SCALE: As indicated  
COPYRIGHT: 2020 PRO VISION ARCHITECTURE INC.

PROJECT NO:  
**2011343**

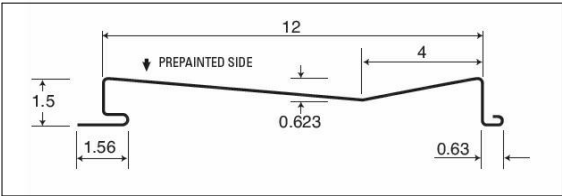
SHEET TITLE  
**ELEVATIONS**

**A1.4**  
SHEET OF

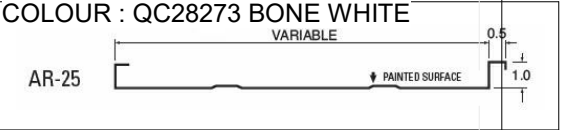


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**METAL PANEL CLADDING**  
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HV-12  
COLOUR : QC28273 BONE WHITE

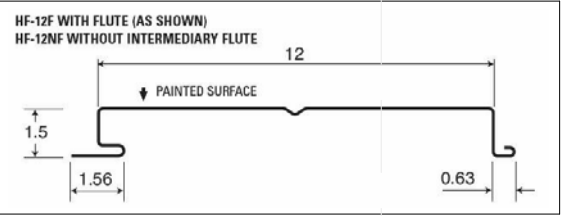


**METAL ROOFING**  
AGWAY METALS INC.  
AR STANDING SEAM AR-38  
COLOUR : QC28273 BONE WHITE

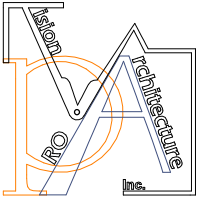


**METAL PANEL CLADDING**  
AGWAY METALS INC.  
HV-12  
COLOUR : QC28314 DEEP GREY

**METAL PANEL CLADDING**  
AGWAY METALS INC.  
HF-12  
COLOUR : CHERRY WOODGRAIN



**EXISTING BRICK VENEER WALL**  
TO BE MATCHED WITH SAME  
COLOUR OF NEW METAL PANEL



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14961 Yonge St. Unit B. Aurora, ON L4G 1M5



REVISION SCHEDULE

No.	Description	Date	By
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PROJECT NAME: <b>REDEVELOPMENT AT</b> 482 Ontario St. Newmarket	PROJECT ADDRESS: 482 Ontario St. Newmarket	CLIENT'S NAME & ADDRESS: TRUE NORTH GRIT 482 Ontario St. Newmarket 1G3	PROJECT STATUS: BUILDING PERMIT APPLICATION

DRAWN CHECKED DATE: SCALE: As indicated COPYRIGHT: 2018 PRO VISION ARCHITECTURE INC.	Author Checker APRIL 2020
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PROJECT NO: <b>2011343</b>
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SHEET TITLE <b>MATERIAL SCHEDULE</b>
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SHEET <b>A1.9</b>
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SITE STATISTICS					
ZONING		CS (Service Commercial Zone) / FP (Floorplan) CP-NH (Floorplan and Other Natural Hazards Zone)			
LEGAL DESCRIPTION		REGISTERED PLAN 222, TOWN OF NEWMARKET			
Address		482 Ontario St. Newmarket, ON			
Areas		Required		Proposed / Existing	
Lot Area		Min.	900.00 m <sup>2</sup>	2377.765	m <sup>2</sup>
Lot Frontage			24 m.	34.65	m.
Floor Space Index		1.5	MAX.	0.49	
Lot Coverage		Required			
Building Coverage		50%	MAX.	<div>EXISTING BUILDING AREA / COVERAGE</div> <div>Building 753.12 sq.m. 31.67%</div> <div>2nd Entry 16.57 sq.m. 0.70%</div> <div>TOTAL 769.70 sq.m. 32.37%</div>	
				<div>PROPOSED BUILDING AREA / COVERAGE</div> <div>Building 745.78 sq.m. 31.36%</div> <div>Covered Porch 29.93 sq.m. 1.22%</div> <div>2nd Entry 16.57 sq.m. 0.70%</div> <div>TOTAL 791.28 sq.m. 33.28%</div>	
Landscaped/Paved Area		N/A	sq.m. MIN	1586.49 sq.m.	66.72%
Gross Floor Areas					
				New Floor Area	EXISTING
1F - UNIT #1				0.00	sq.m. 175.82
1F - UNIT #2				0.00	sq.m. 662.20
1F - APARTMENT				0.00	sq.m. 8.13
2F - APARTMENT				0.00	sq.m. 221.53
2F - UNIT #3				0.00	sq.m. 203.46
		Total		0.00	sq.m. 1,171.12
				GRAND TOTAL 1,171.12 sq.m.	
Setbacks		Required		Proposed Setback Building	
Front Yard		-1.88 m. (EXT.)		-1.27 m	
East Side Yard		9 m.		1.17 m (EXT.)	
West Side Yard		9 m.		3.96 m (EXT.)	
Rear Yard		9 m.		27.17 m (EXT.)	
Building Height		Required		Proposed Setback Building	
Height of Building		MAX.	18 m.	12.64 m	
Parking		Required		Existing	
Apartment		1.5 spaces per dwelling unit	1.75	24	
		0.25 visitor parking			
Personal Service Shop		1 space per 30 m <sup>2</sup> of GFA	31.4		
Banner Free Parking		Total Spaces (15 to 25) - Type B	2	2	
Total Spaces		Total required spaces	34	Total Proposed Parking spaces 25	
No. of Loading Spaces					

1. THE CONTRACTOR IS TO ACCEPT FULL RESPONSIBILITY FOR THE STABILITY AND STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURES WITHIN AND ADJACENT TO THE WORKS.
2. THE CONTRACTOR SHALL SUBMIT, AND HAVE AGREED WITH THE ENGINEER, HIS PROPOSALS FOR TEMPORARY SUPPORTS AND METHOD OF WORKING. THESE ARE TO INCLUDE ALL NECESSARY CALCULATIONS IF REQUIRED.
3. THE CONTRACTOR IS TO CARRY OUT ALL AGREED PROPPING TO WALLS AND FLOORS PRIOR TO THE REMOVAL OF ANY WALLS.
4. ALL NEW OPENINGS ARE TO BE FORMED BY CAREFULLY SAW-CUTTING. ALL DEFECTIVE MASONRY OR CONCRETE WORK IS TO BE REPAIRED OR REBUILT AS NECESSARY WITH ALL NEW MASONRY BEING BONDED IN AT JUNCTIONS WITH OTHER WALLS.
5. NO VARIATION IN THE STRUCTURAL DETAILS SHOWN ON THESE DRAWINGS WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

- 1.) INFORMATION REGARDING USE AND EXISTING BUILDING COMPONENTS ARE PROVIDED BY THE CLIENT
- 2.) ALL CONSTRUCTION TO COMPLY WITH THESE DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE ONTARIO BUILDING CODE 2012 AND ALL THE REGULATORY BY-LAWS AND AUTHORITIES HAVING JURISDICTION.
- 3.) IF CONTRACTOR OBSERVES ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, HE SHALL PROMPTLY NOTIFY THE ARCHITECT. IF THE CONTRACTOR PROCEEDS WITH WORK AFFECTED BY SUCH ERRORS, DISCREPANCIES OR OMISSIONS WITHOUT THE ARCHITECT'S CLARIFICATION, HE DOES SO AT HIS OWN RISK. SUCH CIRCUMSTANCES MADE BY THE CONTRACTOR, PRIOR TO APPROVAL BY THE ARCHITECT, SHALL BE AT THE CONTRACTOR'S RISK AND ANY COMPLICATIONS OR DISPUTES ARISING THEREFROM SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE.
- 4.) FIRE RESISTANCE RATING OF ALL WALLS, CEILING AND STRUCTURAL COMPONENTS SHALL BE MAINTAINED. ELEMENTS FORMING PART OF FIRE RATIONS, MUST ALSO CONFORM TO FIRE RATING CRITERIA. IF PENETRATION INTO FIRE RATED WALLS AND CEILING IS REQUIRED, FIRE DAMPERS WITH THE SAME FIRE RATING REQUIREMENTS IS TO BE INSTALLED.
- 5.) ALL EMERGENCY LIGHTINGS TO COMPLY WITH O.B.C. SECTION 3.2.7.3.

<b>Firm Name:</b> <b>Pro Vision Architecture Inc.</b> <b>14961 Yonge St. Unit B</b> <b>Aurora, Ontario L4G 1M5</b>																				
<b>Certificate of Practice Number: 4682</b>																				
<b>Name of Project:</b> <b>Alteration to 482 Ontario St.</b>																				
<b>Location:</b> 482 Ontario St., Newmarket, ON										The architect noted above has exercised responsibility with respect to design activities. The architect's seal number is the architect's BCIN.										
<b>Item Ontario's 2006 Building Code OBC Reference</b>																				
<b>Data Matrix Part 3 or 9</b>										References are to Division B unless noted [A] for Division A or [C] for Division C.										
1	Project Description:					<input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration		<input checked="" type="checkbox"/> Part 11 11.1 to 11.4		<input checked="" type="checkbox"/> Part 3 1.1.2. [A]		<input type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3								
2	Major Occupancy GROUP C and D																			
3	Building Area (m <sup>2</sup> ) EXISTING 762.35 m <sup>2</sup> NEW 28.93 m <sup>2</sup> TOTAL 791.28 m <sup>2</sup>					1.4.1.2. [A]					1.4.1.2. [A]									
4	Gross Area EXISTING 1171.12 m <sup>2</sup> NEW 0 m <sup>2</sup> TOTAL 1171.12 m <sup>2</sup>					1.4.1.2. [A]					1.4.1.2. [A]									
5	Number of Storeys Above grade 2 (TWO)																			
6	Number of Streets/Fire Fighter Access 1 (ONE)																			
7	Building Classification 3.2.2.54. GROUP D, up to 3 Storeys, Sprinklered					3.2.2.20.-83					9.10.2.									
8	Sprinkler System Proposed					<input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required					3.2.2.20.-83 3.2.1.5. 3.2.2.17. INDEX									
9	Standpipe required					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					3.2.9. N/A									
10	Fire Alarm required					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					3.2.4. 9.10.18.									
11	Water Service/Supply is Adequate					<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					3.2.5.7. N/A									
12	High Building					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					3.2.6. N/A									
13	Construction Restrictions <input checked="" type="checkbox"/> Combustible permitted Actual Construction <input type="checkbox"/> Combustible					<input type="checkbox"/> Non-combustible <input type="checkbox"/> Both <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both					3.2.2.20.-83 9.10.6.									
14	Mezzanine(s) Area m <sup>2</sup> 74.69 M2					3.2.1.1.(3)-(8) 9.10.4.1.					3.2.1.1.(3)-(8) 9.10.4.1.									
15	Occupant load based on <input type="checkbox"/> m <sup>2</sup> /Person <input checked="" type="checkbox"/> design of building					3.1.17. 9.9.1.3.					3.1.17. 9.9.1.3.									
Basement 48 1st Floor 57 2nd Floor 31										TOTAL LOAD 136										
( Additional floor areas continued below )																				
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) N/A										3.8. 9.5.2.									
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										3.3.1.2. & 3.3.1.19. 9.10.1.3.(4)									
18	Required Fire Resistance Rating (FRR)		Horizontal Assemblies FRR (Hours)				Listed Design No. or Description (SG-2)				3.2.2.20.-83 & 3.2.1.4.				9.10.8. 9.10.9.					
		Floors		45 MIN.		EXISTING														
		Roof		N/A																
		Mezzanine		45 MIN.		EXISTING														
				FRR of Supporting Members				Listed Design No. Or Description (SG-2)												
		Floors		N/A																
		Roof		N/A																
		Mezzanine		N/A																
19	Spatial Separation – Construction of Exterior Walls 3.2.3. 9.10.14.																			
	Wall	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Nonc. Cladding	Non-Comb. Constr.									
	North	268.39	8.29	2.18	36.32%	13.67%					YES									
	South A	107.17	27.15	6.87	UNLIMITED	9.66%					YES									
	South B	UNCHANGED			-	UNCHANGED					YES									
	East A	160.81	13.12	4.13	81.44%	17.35%					YES									
	East B	UNCHANGED			-	UNCHANGED					YES									
	East C	UNCHANGED			-	UNCHANGED					YES									
	West	UNCHANGED			-	UNCHANGED					YES									
( Additional wall areas continued below )																				
20	Other – Describe																			

NOTE: EXISTING FIRE ALARM SYSTEM TO BE REMOVED


 2021/07/12  
 Of  
 ARCHITECTS  
 DAVID EQBAL  
 LICENCE  
 6709

[illegible]

PROJECT NAME: **REALLOCATION TO**  
**4482 Ontario St. Newmarket**

PROJECT ADDRESS:  
4482 Ontario St. Newmarket

CLIENT'S NAME & ADDRESS:  
TRUE NORTH GRIT  
4482 Ontario St. Newmarket 1G3

PROJECT STATUS: **BUILDING PERMIT APPLICATION**

<b>DRAWN BY:</b>	DE
<b>CHECKED BY:</b>	DE
<b>DATE:</b>	APRIL 2020
<b>SCALE:</b>	As indicated
<b>COPYRIGHT:</b>	2020 PRO VISION ARCHITECTURE INC

PROJECT NO:  
**2011343**

SHEET TITLE

SITE PLAN

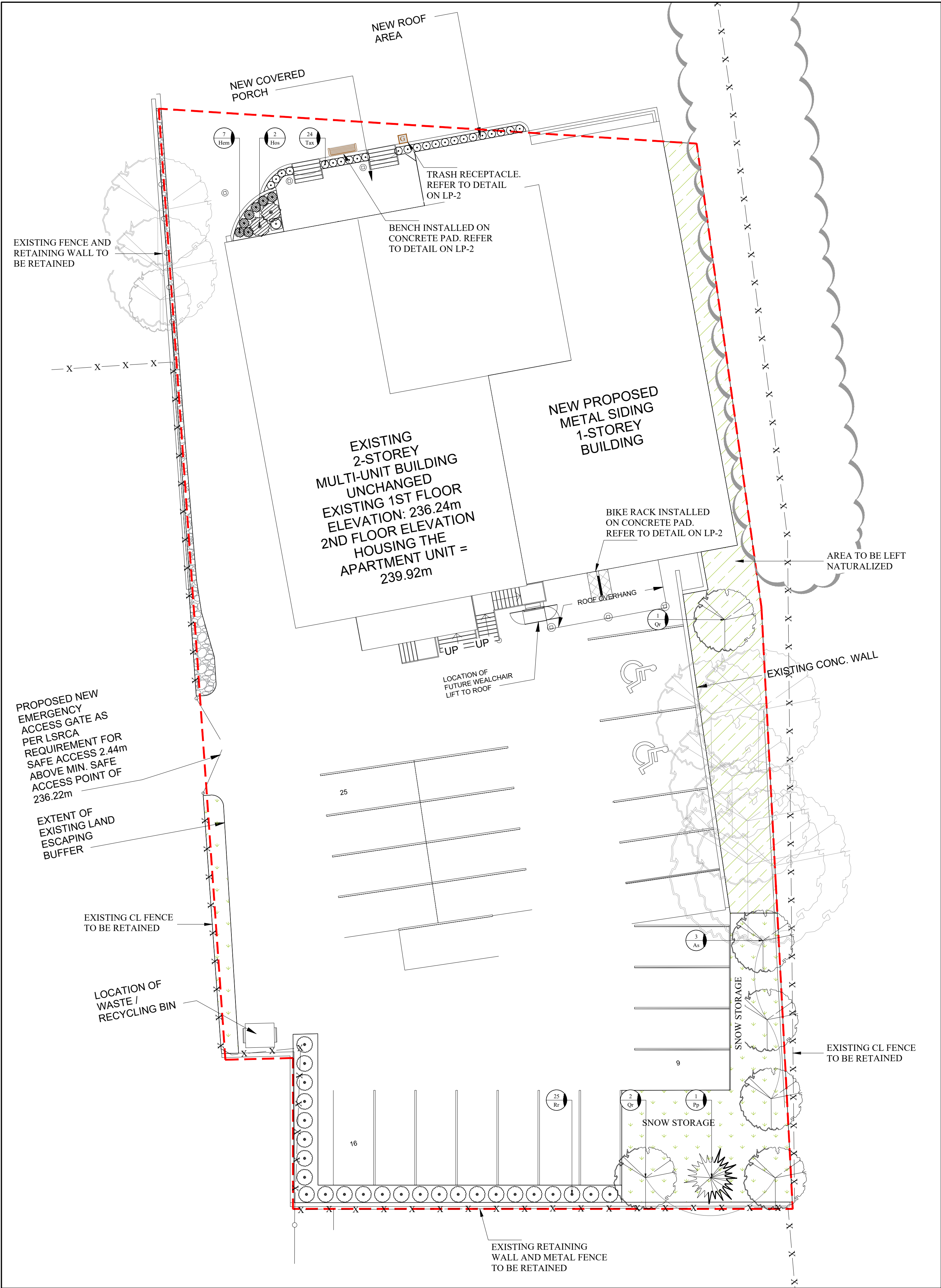
SD 1

SHEET OF

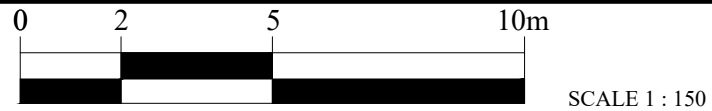








LANDSCAPE PLAN



SCALE 1 : 150

CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
DECIDUOUS TREES								
Qr	3	PYRAMIDAL ENGLISH OAK	<i>Quercus robur 'Fastigiata'</i>	60mm	WB	As shown	D-1	Full form / Do not cut leader
As	3	SUGAR MAPLE	<i>Acer saccharum</i>	60mm	WB	5m o/c	D-1	Full form / Do not cut leader
CONIFEROUS TREES								
Pp	1	COLORADO BLUE SPRUCE	<i>Picea pungens</i>	200cm	WB	As shown	D-2	Full form / Do not cut leader
DECIDUOUS SHRUBS								
Rr	25	NEARLY WILD ROSE	<i>Rosa rugosa 'Nearly Wild'</i>	60cm	2 gal	1.2m o/c	D-3	Full form / Container grown
PERENNIALS								
Hos	2	EMPRESS WU HOSTA	<i>Hosta 'Empress Wu'</i>	1 gal	pot	1.5 m o/c	n/a	Full form / Container grown
Hem	7	ROOT BEER DAYLILY	<i>Heemerocallis 'Root Beer'</i>	1 gal	pot	0.5 m o/c	n/a	Full form / Container grown
CONIFEROUS SHRUBS								
Tax	24	RISING STAR YEW	<i>Taxus x media Rising Star</i>	3 gal	Pot	0.6m o/c	D-2	Full form / Container grown

PLANT LIST

REFER TO PLANTING NOTES AND DETAILS ON LP-2

REFER TO ARBORIST REPORT FOR TREE COMPENSATION CALCULATIONS.

7 PLANTED TREES (7x400=2800) RESULTS IN A SUBTRACTION OF \$2,800.00 FROM THE COMPENSATION TOTAL OF \$2,800.00. A TOTAL OF \$0.00 REMAINS TO BE PAID AS COMPENSATION FOR TREES NOT PLANTED.

TREE COMPENSATION SUMMARY

- SUBJECT LANDS. REFER TO SITE PLAN.
- EXISTING WOOD BOARD FENCING
- EXISTING CHAINLINK OR METAL FENCING
- EXISTING TREES TO BE PRESERVED. REFER TO TP-1 TREE INVENTORY /PRESERVATION PLAN
- COMPENSATION TREE PLANTINGS. REFER TO DETAILS AND PLANTING NOTES ON LP-2
- SHRUB AND PERENNIAL PLANTINGS
- PLANT BED WITH MIN. 45cm DEPTH TRIPLE MIX SOIL TOPPED WITH FILTER FABRIC AND MULCH
- 6" RIVER ROCKS ON FILTER FABRIC

LEGEND



KEY MAP

N.T.S.

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES INCLUDING ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION OR INSTALLATIONS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.

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SCHEDULED MEETINGS SHALL TAKE PLACE AT THE CLOSEST MUTUALLY CONVENIENT TIME.

No.	REVISION	DATE	APRVD.
1.	CLIENT REVIEW	SEPT. 2, 2021	MC

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THIS DRAWING IS NOT TO BE SCALED.

BASE INFORMATION PROVIDED BY:  
ALTIMAP LAND SURVEYORS INC.  
222 FINCH AVENUE WEST, UNIT 212  
TORONTO, ON M2N 1M6  
PHONE: 416-990-3001

BASE PLAN REVISED: NOVEMBER 24, 2020

ACCEPTED BY  
  
DATE

LANDSCAPE ARCHITECTS STAMP  
STAMP AND SIGNATURE ARE VALID & REPRODUCIBLE

JDB ASSOCIATES LTD.  
Urban Designers  
Landscape Architects  
Arborists  
274 Burton Ave., Suite 1201  
Barrie, Ontario  
L4N 5W4

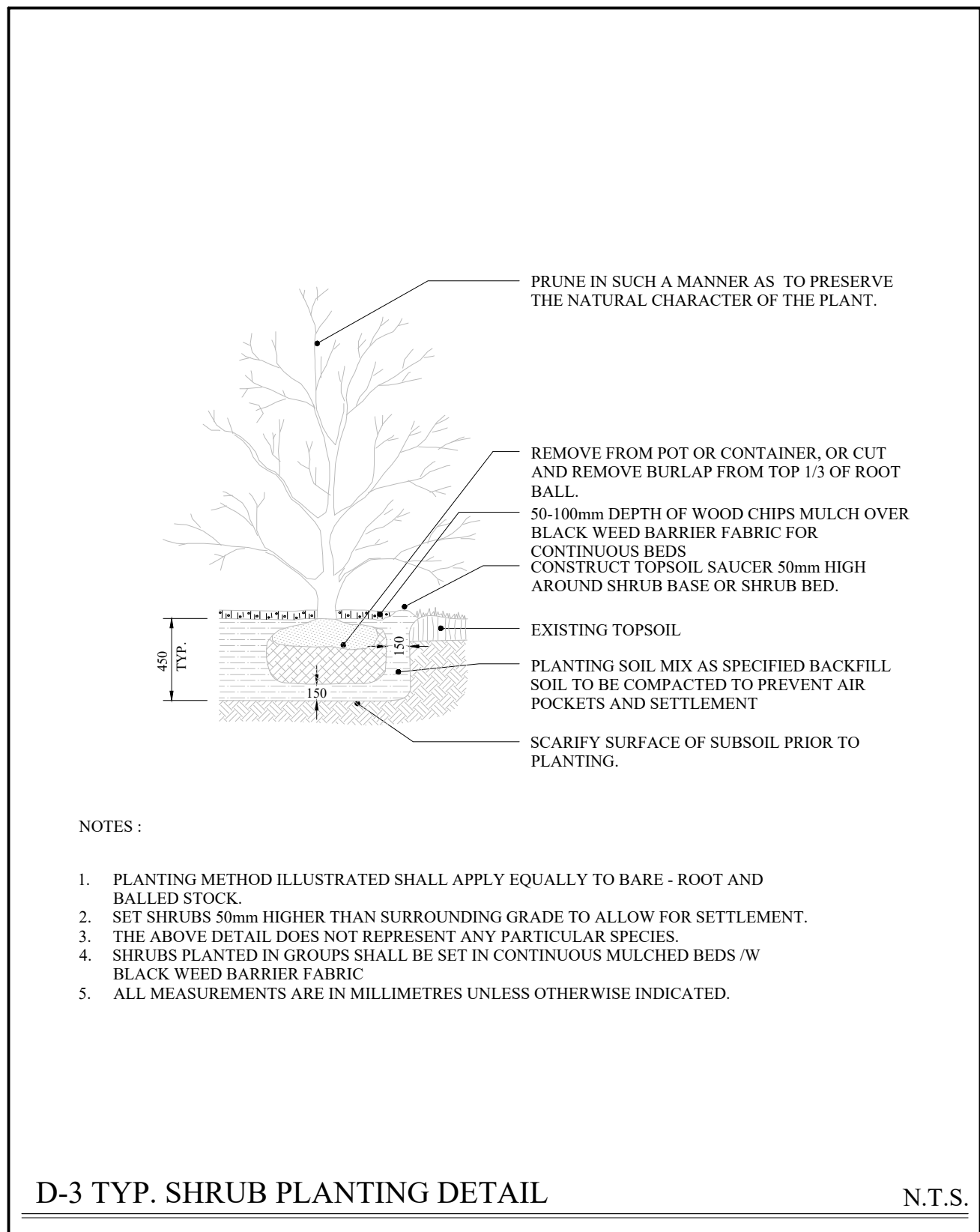
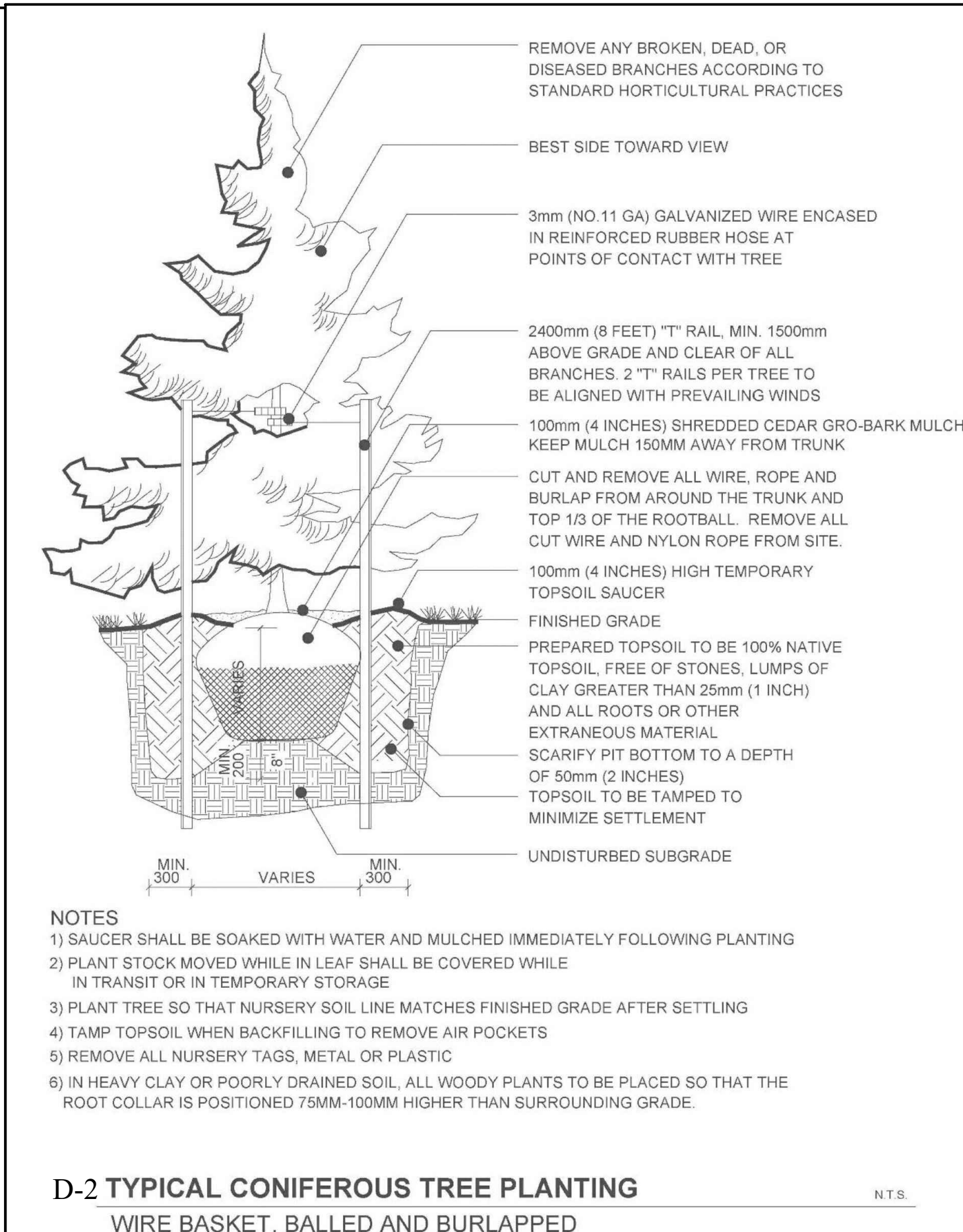
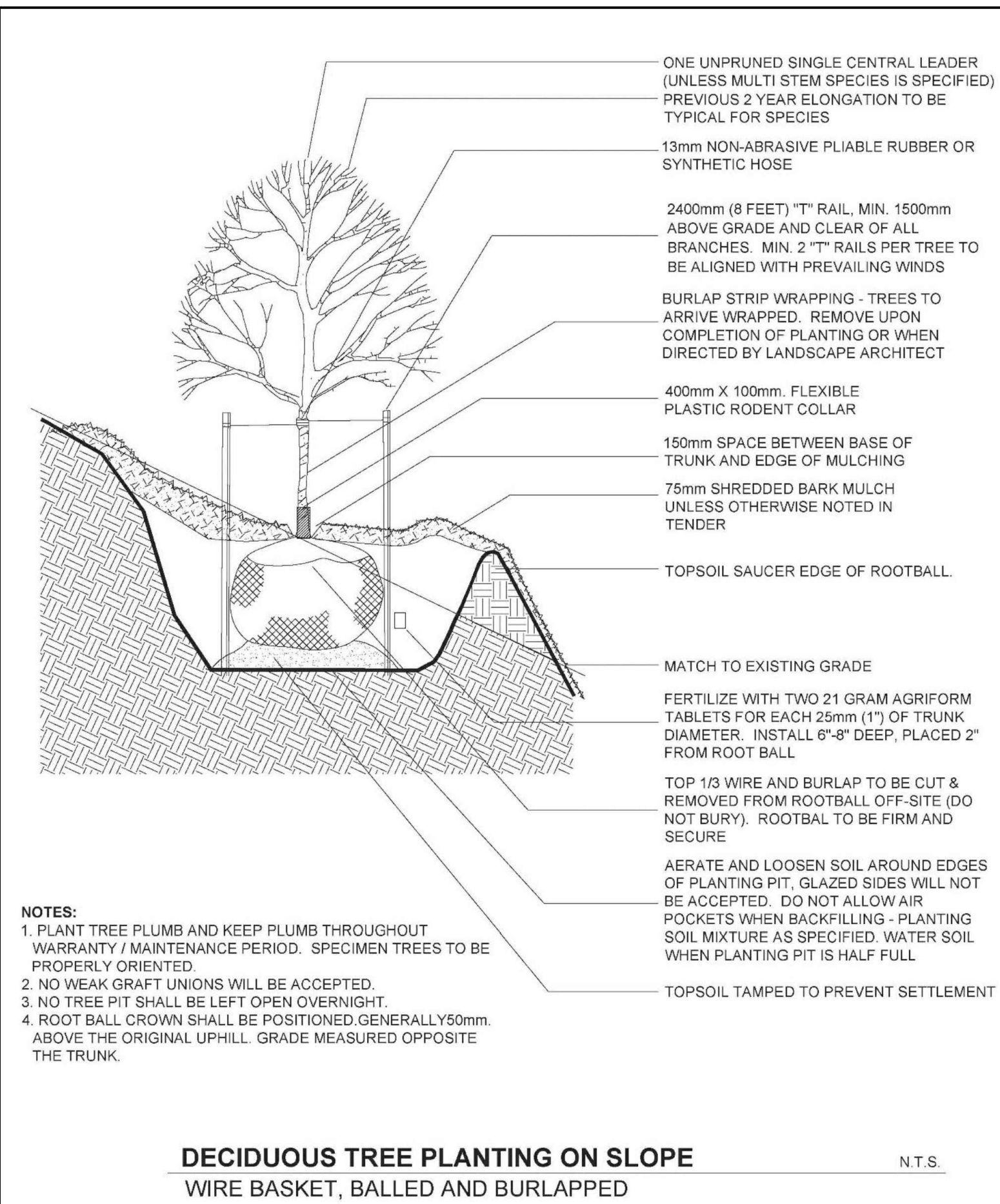
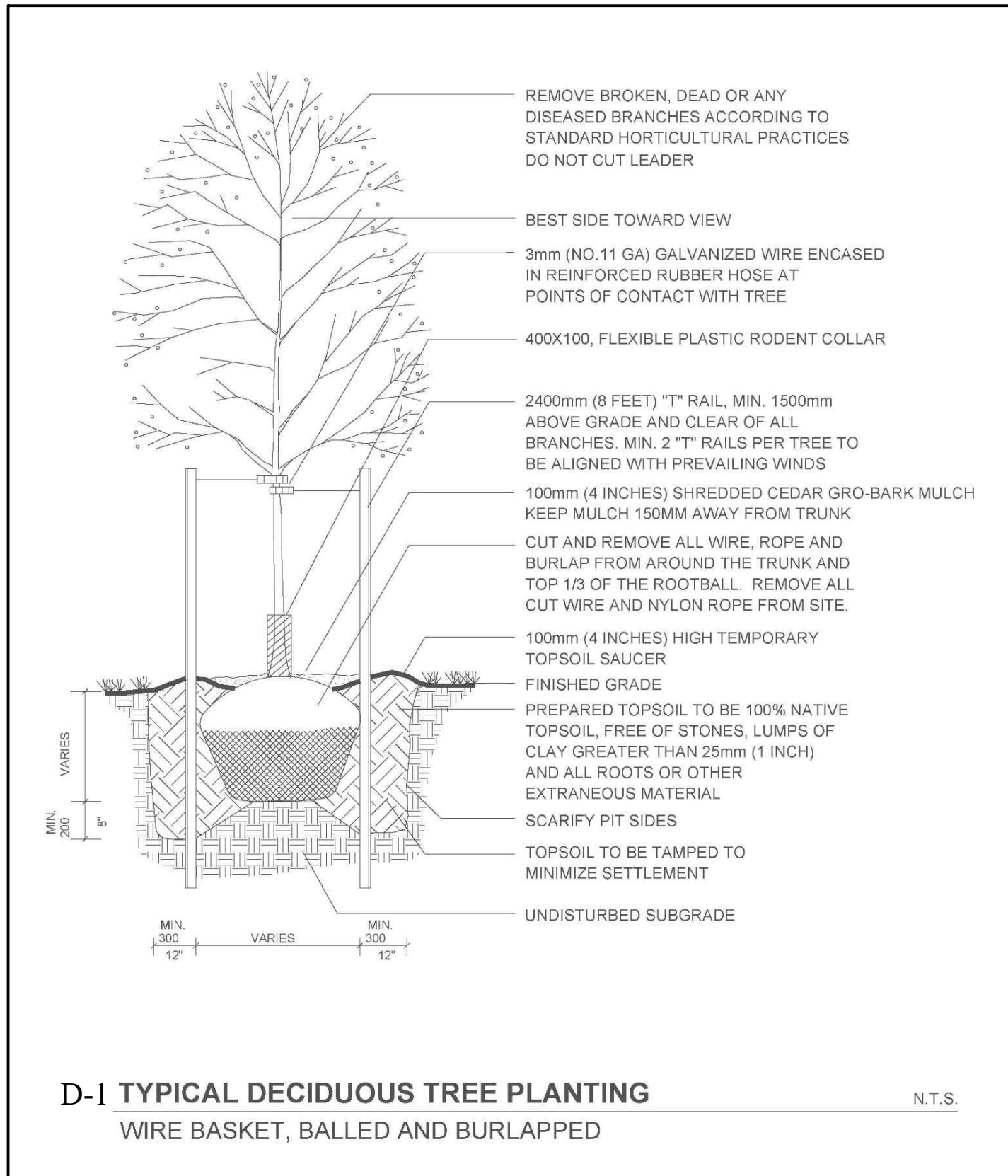
Fax: 705-722-5660  
Tel: 705-722-6278

True North Grit  
482 ONTARIO STREET  
Town of Newmarket

LANDSCAPE PLAN

SCALE: 1:150	DATE:	DESIGNED BY: MC	REVIEWED BY: NB
CITY FILE No.	OUR FILE REF. # 43-21	DRAWN BY: MC	LP-1





**MATERIALS**  
The MLWR400-25 Trash Container frame is constructed using H.S. steel tube. The sides are constructed with, lasered steel panels. A 25 gallon commercial grade plastic liner and metal lid are provided.

**DIMENSIONS**  
MLWR400-25-M MLWR400-25-W MLWR400-25-PC(X)  
MLWR400-25-R(X)  
Height: 30.00" (76.2cm)  
Width: 21.00" (53.3cm)  
Depth: 21.00" (53.3cm)  
**WEIGHT**  
MLWR400-25-M: 127lbs (57kg.)

**FINISHES**  
All steel components are protected with E-Coat Rust Proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

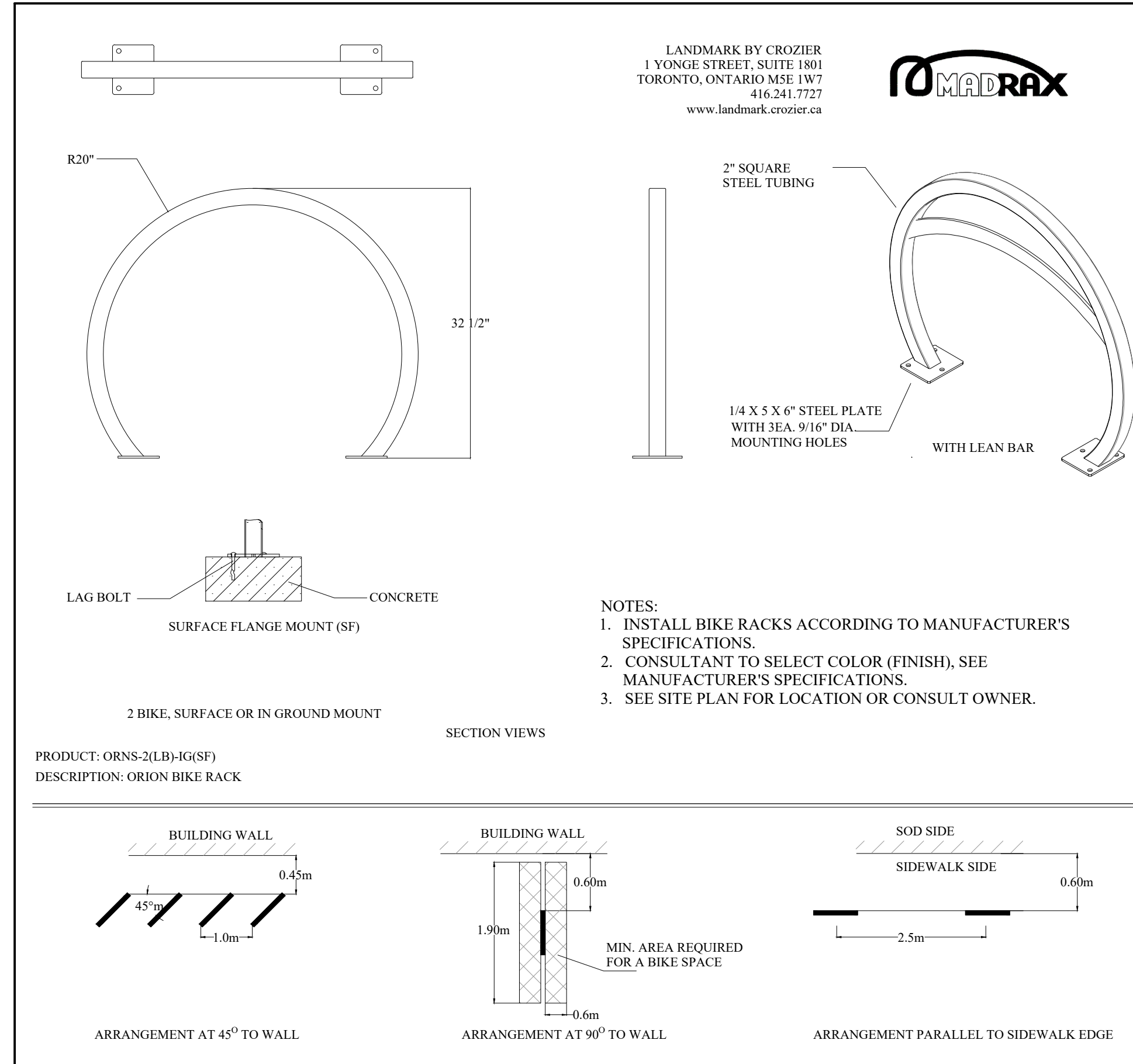
**INSTALLATION**  
The MLWR400-25 Series Trash Containers are delivered pre-assembled. Holes (0.5") are provided in each mounting foot for securing to base.



MAGLIN BENCH LEXICON MODEL #LAYT LXM1500-00037 WITH LEXICON, MODULE, TABLE/STOOL, SQUARE, METAL, PART NO: LXM1500-MSS-MP

1. VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ANY DISCREPANCIES BEFORE COMMENCING WORK.
2. PLANT MATERIAL LISTED IN THE PLANT SCHEDULE ARE MINIMUM SIZES +/- NURSERY GROWN AND UNIFORM SPECIMENS. NO SUBSTITUTIONS WILL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECTS.
3. ALL PLANT MATERIAL WHICH ARE SPECIFIED BY O.C. (ON CENTRE SPACING) ARE TO BE PLANTED AS NOTED IN THE PLANT SCHEDULE.
4. ALL PLANT MATERIAL IS TO MEET THE STANDARDS OF THE NURSERY TRADES ASSOCIATION.
5. ALL PLANT MATERIALS WHICH CAN NOT BE PLANTED IMMEDIATELY UPON ARRIVAL ON SITE SHALL BE PROPERLY HEELED IN OR WELL PROTECTED WITH SOIL OR SIMILAR MATERIALS TO PREVENT DRYING OUT AND SHALL BE KEPT MOIST UNTIL COMMENCEMENT OF PLANTING.
6. GIVE TIMELY NOTICE TO THE LANDSCAPE ARCHITECT WHEN INSPECTIONS OF WORK AND MATERIALS ARE REQUIRED.
7. FINAL ACCEPTANCE OF THE PROJECT WILL BE CARRIED OUT UPON COMPLETION OF ALL WORK INCLUDED IN THE CONTRACT.
8. ALL NEW WORK TO BLEND NEATLY AND SMOOTHLY WITH EXISTING CONDITIONS.
9. FOR ALL AREAS OF DISTURBANCE: NATIVE TOPSOIL IS TO BE STRIPPED, STOCK PILED AND REPLACED TO A MINIMUM DEPTH OF 300mm.
10. LOCATIONS FOR PLANT MATERIAL AND PLANTING BEDS ARE TO BE MARKED OR STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT AND MUNICIPAL STAFF PRIOR TO INSTALLATION.
11. ALL TREES ARE TO BE STAKED OR GUY WIRED ACCORDING TO DETAILS PROVIDED. NO ACCESSIBLE OPEN HOLE TREE PITS SHALL BE PERMITTED OVERNIGHT. ALL OPEN PITS SHALL BE ADEQUATELY PROTECTED BY BARRIERS OR FILLED IN WITH SOIL PRIOR TO THE END OF EACH PLANTING DAY.
12. REMOVE BURLAP AND ROPE FROM THE TOP 1/3 OF ROOT BALLS.
13. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND DRAWING, THE DRAWING WILL BE ASSUMED TO BE CORRECT.
14. INSTALLATION OF PLANT MATERIAL PRIOR TO INSPECTION BY THE LANDSCAPE ARCHITECT WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS, WHETHER INSTALLED OR NOT, WHICH DO NOT CONFORM TO THE SPECIFICATIONS AND/OR SITE DRAWING. REMOVE ALL REJECTED PLANTS FROM THE SITE IMMEDIATELY. DO NOT REMOVE ANY LABELS FROM PLANTS UNTIL PLANTS HAVE BEEN INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT.
15. ALL TREE PITS SHALL INCLUDE TREATMENT WITH MICORRHIZAL FUNGI OF THE WALLS BEFORE PLANTING (2L OF "MIKE" OR SIMILAR PRODUCT SHALL BE USED FOR EACH 60mm CALIPER TREE)
16. PREPARED SOIL MIXTURE FOR TREE PITS AND PLANT BEDS SHALL CONSIST OF:
  - SIX PARTS SANDY LOAM SOIL (50-60% SAND, 20-40% SILT, 6-10%CLAY), pH <7.5, FREE OF CLAY LUMPS, DEBRIS, TOXIC SUBSTANCES, STONES, WOODY MATERIAL, WEED SEEDS AND GRASS ROOTS.
  - ONE PART FINE PULVERIZED CANADIAN PEAT MOSS
  - ONE PART OF WELL-ROTTED FARM MANURE

#### PLANTING NOTES



#### BIKE RACK DETAIL



#### GENERAL NOTES

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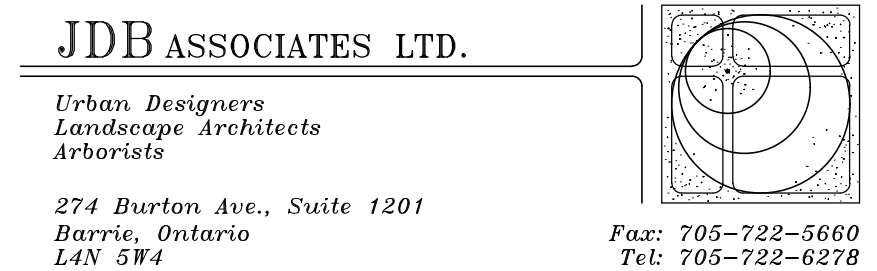
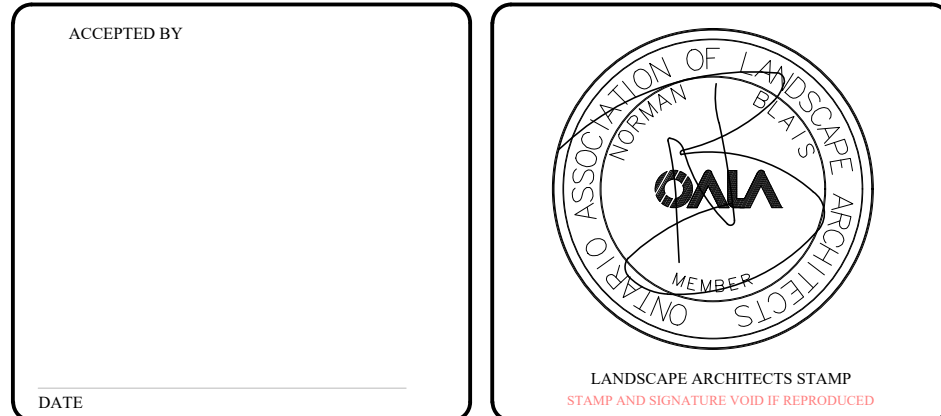
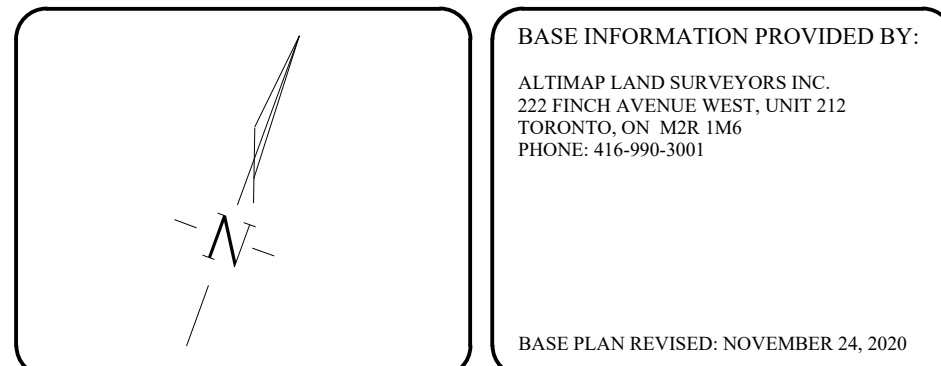
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True North Grit  
482 ONTARIO STREET  
Town of Newmarket

#### LANDSCAPE DETAILS

SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
NTS		MC	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	LP-2
	43-21	MC	



**NOTES TO COMMITTEE**

Property: 482 Ontario Street  
(South of Davis Drive and East of Main Street South)

Owner: Birch Bender Holdings c/o Raymond Parker

Agent: Pro Vision Architecture Inc.

Application: Site Plan Approval to reconstruct a portion of an existing building and undertake site works (parking improvements).

File Number: D11-NP-21-12

**RECOMMENDATIONS**

1. That the presentation regarding application for Site Plan Approval for File Number D11-NP-21-12 be received;
2. That staff be directed to continue the technical review of the application to ensure conformity with the Zoning By-law, Official Plan, Secondary Plan and all other applicable policies;
3. That staff be directed to ensure full consideration is given to all comments provided by Committee; and,
4. That Birch Bender Holdings c/o Raymond Parker of 17799 McCowen Road, Cedar Valley, Ontario L0G 1E0 be notified of this action.

**Staff Comments on Site Plan Application**

- The property contains an existing building with a rock climbing gym on the ground floor and an existing 2<sup>nd</sup> storey apartment.
- The applicant is proposing renovations to the building, including changes to the exterior façade and the reconstruction of the east side of the building.
- Exterior site works include the resurfacing and line painting of the rear parking area.

**Planning Context**

- Property is designated Urban Centre Historic Core Area & Community Improvement Policy Area within the Town's Official Plan.
- Property is zoned Service Commercial (CS) within The Town's Zoning By-law 2010-40, as amended by By-law 2020-63.

**Next Steps**

- Staff are currently reviewing the applicant's partial first submission, submitted on August 5, 2021. Staff accepted a partial submission in this instance to expedite the process.
- As with all site plan applications, the number of re-submissions required will vary based on the quality and completeness of each re-submission.
- Following the SPRC meeting, staff will provide all first submission comments to the applicant.
- The site plan agreement will be prepared and executed once all comments have been satisfactorily addressed.