



# Town of Newmarket

## Agenda

### Site Plan Review Committee

Date: July 19, 2021  
Time: 11:00 AM  
Location: Streamed live from the Municipal Offices  
395 Mulock Drive  
Newmarket, ON L3Y 4X7

Pages

#### 1. Notice

At this time, the Municipal Offices remain closed to the public. This meeting will be streamed live at [newmarket.ca/meetings](http://newmarket.ca/meetings).

#### Public Input

Individuals who wish to submit input to Council in relation to an item on this agenda have the following options available.

1. Email your correspondence to [planning@newmarket.ca](mailto:planning@newmarket.ca) by end of day on Sunday, July 18, 2021. Written correspondence received by this date will form part of the public record; or,
2. Make a live remote deputation by joining the virtual meeting using the Town's videoconferencing software and verbally provide your comments over video or telephone. To select this option, you are strongly encouraged to pre-register by emailing your request and contact information to [planning@newmarket.ca](mailto:planning@newmarket.ca).

#### 2. Additions & Corrections to the Agenda

#### 3. Conflict of Interest Declarations

#### 4. Presentations & Recognitions

- 4.1. Application for Site Plan Approval for 181 Beechwood Crescent

1

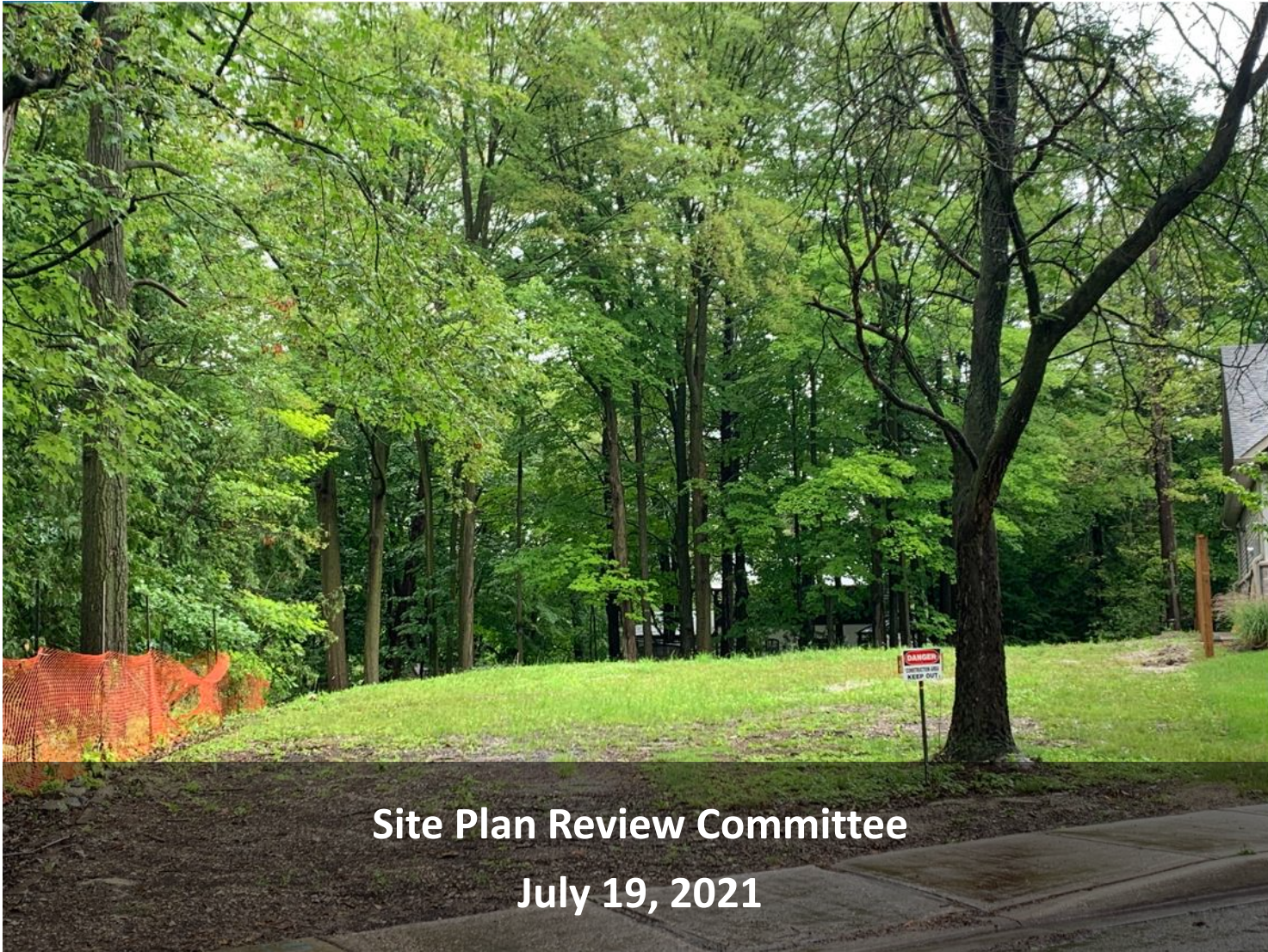
**Note:** Steve and Sandra Smyth, the Applicants will be in attendance to provide a presentation on this matter.

#### 5. Deputations

## 6. Items

- |         |   |    |
|---------|---|----|
| 6.1.    | Application for Site Plan Approval for 181 Beechwood Crescent   | 7  |
| 1.      | That the presentation regarding application for Site Plan Approval for File Number D11-NP-21-09 be received; and,   |    |
| 2.      | That staff be directed to continue the technical review of the application to ensure conformity with the Zoning By-law, Official Plan, Secondary Plan and all other applicable policies; and, |    |
| 3.      | That staff be directed to ensure full consideration is given to all comments provided by Committee; and,  |    |
| 4.      | That Sandra and Steve Smyth of 181 Beechwood Crescent, Newmarket, Ontario L3Y 1W2 be notified of this action.   |    |
| *6.1.1. | Correspondence - Chris Howie  | 13 |
| *6.1.2. | Correspondence - Elaine Adam  | 15 |
| *6.1.3. | Correspondence - Nancy Fish   | 17 |

## 7. Adjournment



# #181 Beechwood Crescent Newmarket, ON

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Owner: Sandra and Steve Smyth

Builder: Norm Stapley

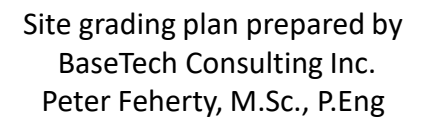
See notes for Bio



## 2

The site is located on the north side of Beechwood Crescent, in a densely treed residential neighbourhood with properties containing **single family dwellings** all sides of this site.

**The new house proposed esthetically compliments and blends with the architecture of other homes on Beechwood Crescent.**



## Zoning Information

Location	Imperial (sq ft)	Metric (sq m)
First floor area	2,874	267.1
Finished basement	2,524	234.6
Unfinished basement	380	35.3
Gross floor area	2,874	267.1
Footprint	4,015	373.19
Lot Area	14,782	1,374
Coverage	27.1% <35%	27.1% <35%
Ave Grade to midpt	22'-0" <22'-4"	6.70m <6.8m
Front yard setback	35.53' >33.46'	10.83m >10.2m
Rear side setback	52.28' >24.6'	15.93m >7.5m
East side setback	4.10' >3.92'	1.25m >1.2m
West side setback	4.36' >3.92'	1.33m >1.2m

**Proposed house design complies with ICBL requirements**

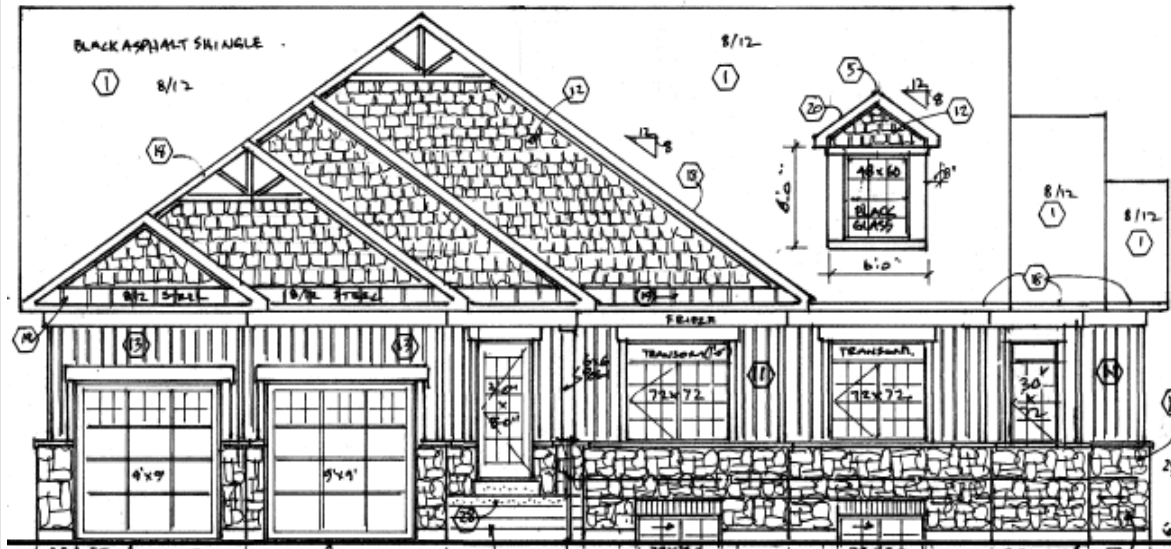
## Record of Pre-consultation Meeting held May 26, 2021:

- “Property was granted ICBL exemption in September 2020 (By-law 2020-55). The exemption permitted a single-detached dwelling, with a total Gross Floor Area not exceed 598 Square metres, and a building midpoint height not exceeding 6.9 metres. It is the Town’s practice to apply the development standards determined in an ICBL exemption approval to a future development, therefore, the **zoning standards that were previously granted will be applied**”

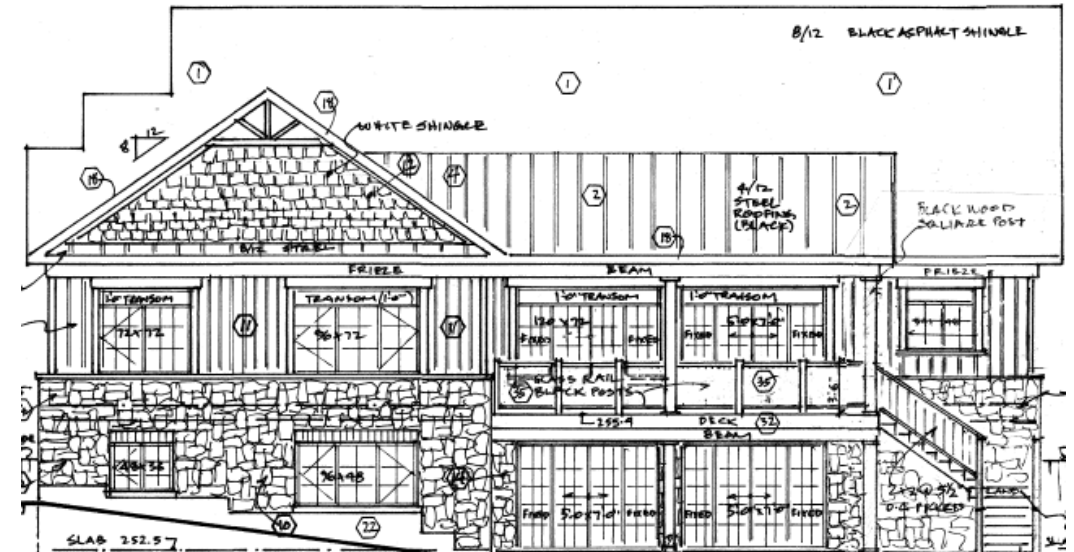
# Exterior Elevation

Architectural Design Prepared by  
Gary Hodson, Design Architect

Custom design, single family home, modern farmhouse inspired bungalow, with covered back porch and walk-out basement  
Natural exterior materials, combination of stone and board & baton.  
Cedar shake and asphalt shingles



Front/South



Rear/North

# Tree Preservation Plan

44 trees inventoried (subject site and neighbouring trees)

40 trees are to be preserved, and will be afforded appropriate tree protection measures during the build

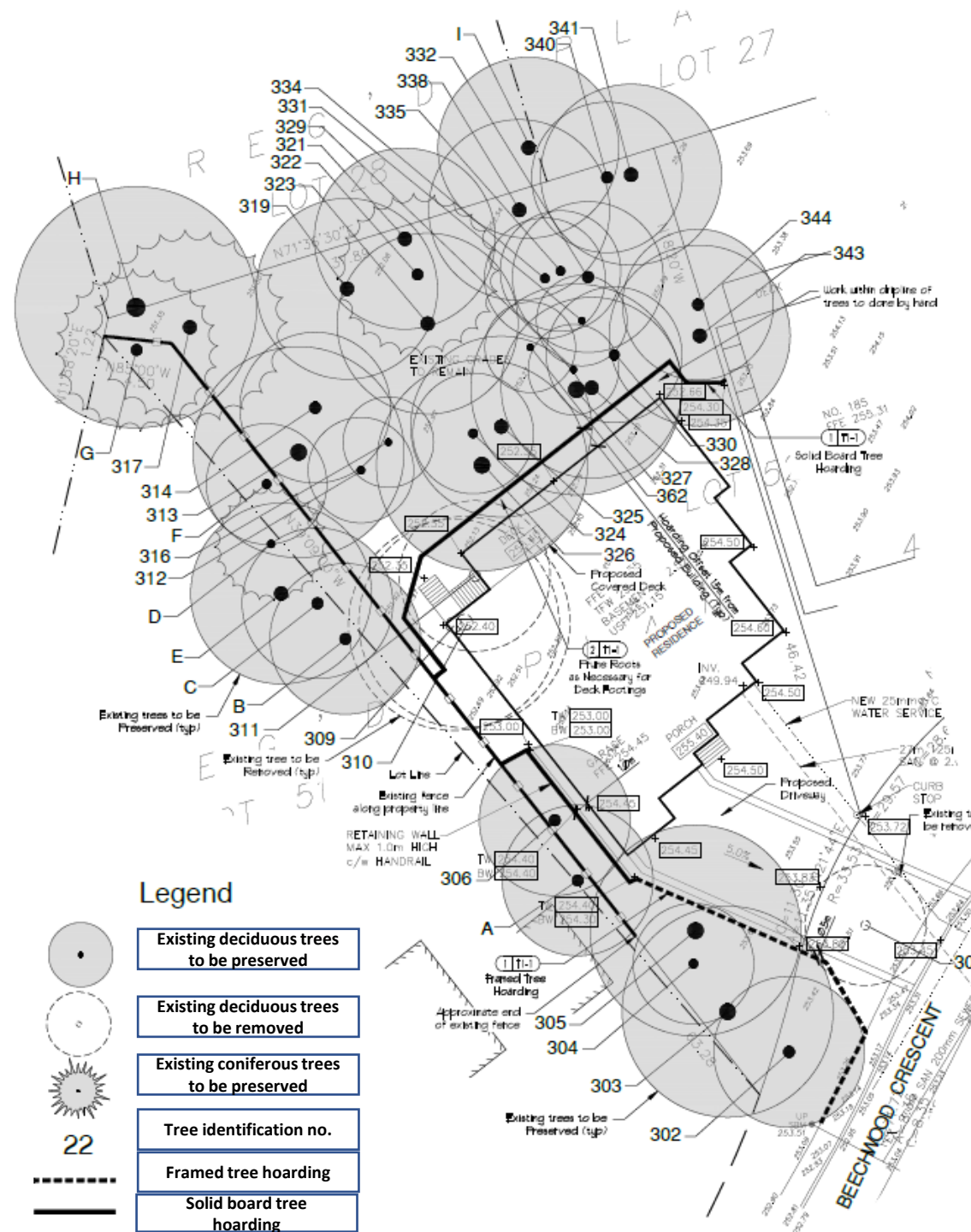
4 trees are recommended for removal due to direct conflict with building, grading and paving for proposed driveway

Removal of 3 rear trees allows for proposed house to fall within the range required for front yard setback

Written consent of the neighbouring property owner (Ron Owston) was obtained for removal of subject site trees

1 new street tree will be planted on boulevard

Removed trees will be compensated for cash-in-lieu





# Timeline and Consultations

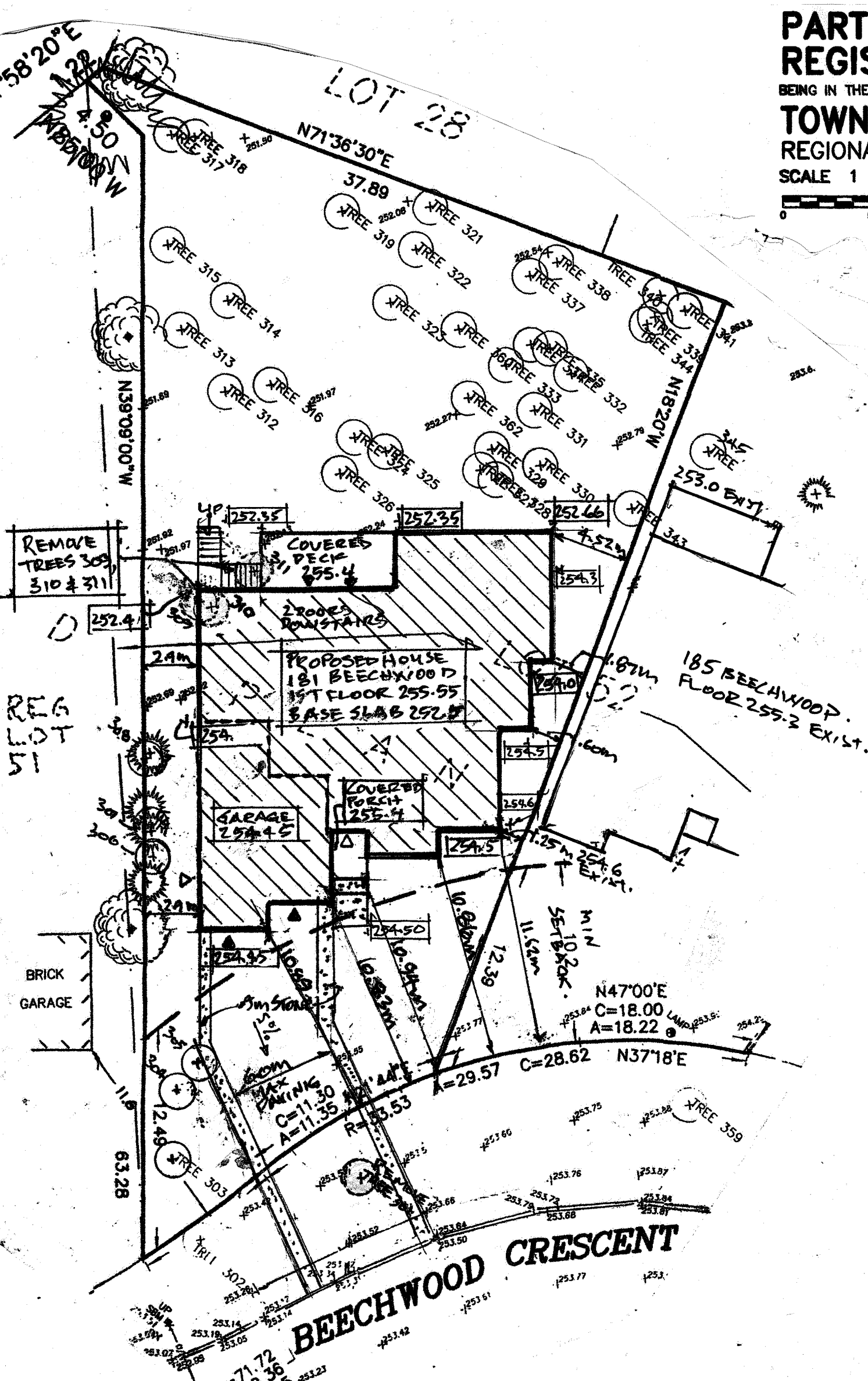
Site Plan Process	Date	Elapsed Time	Comments
✓ Lot purchased by Smyth's	Nov 20, 2020		
✓ Site Plan Package Submitted	Mid April, 2021	Day 1	Package circulated to Town depts for review
✓ Pre-consultation meeting	May 26, 2021	Day 40	Verbal comments provided during meeting
✓ Record of pre-consultation meeting	June 4, 2021	Day 50	Written comments provided June 4. Meeting held with Planning June 4. Revised comments June 7. Revised landscape comments received June 14. Additional clarification questions to Planning June 16. Responses to additional q's received June 21
✓ Site Plan Application Submitted	June 24, 2021	Day 70	<b>All comments were addressed, and revised plans submitted. Confirmation from Planning no documents appeared missing</b>
✓ Notice SPRC bump-up	June 29, 2021	Day 75	July 6 - Mtg with Planning and Commissioner to clarify rational/expectations for SPRC. <b>No comments/questions for site application.</b> July 7 – early feedback – NT Power – <b>no comments</b>
Site Review Committee Meeting	July 19, 2021	Day 95	
Deadline for Site Plan Application comments	July 23, 2021	Day 100	
Record of Site Plan Application comments	TBD		Final comments to be addressed when received
Building Permit issued	TBD		Building dept agreed to review design in parallel to site application
Site Plan Agreement signed	TBD		Planning agreed to draft agreement in parallel to site application

**YTD Town fees paid by Smyth's: \$106,000**



# **PART OF LOT 52 REGISTERED PLAN 482** BEING IN THE **TOWN OF NEWMARKET** REGIONAL MUNICIPALITY OF YORK SCALE 1 : 250

0 5 10 20 metres



**SITE PLAN**  
SCALE - 1:250 (METRIC)

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CANSEL CAN-NET RTK BASE STATION 20120110002 (AURD). VALUES ARE RELATED TO CGVD28:1978 (GEOID MODEL HT2.0)

SITE BENCHMARK - SPIKE IN SOUTH FACE OF POLE ON SITE NEAR THE SOUTHWEST CORNER OF PROPERTY HAVING AN ELEVATION OF 253.51 METRES A.S.L.

THE FIELD MEASUREMENTS WERE COMPLETED JULY 14 2017  
THE FIELD MEASUREMENTS WERE UPDATED MARCH 27 2018

**LEGEND**  
MH DENOTES MAN HOLE  
CB DENOTES CATCH BASIN  
UP DENOTES UTILITY POLE  
SBM DENOTES SITE BENCHMARK  
O/H DENOTES OVERHEAD WIRE  
100.00 DENOTES EXIST. ELEV.  
100.00 DENOTES PROP. ELEV.

**SITE INFORMATION TAKEN FROM:**  
1) TOPO & BOUNDARY DRAWINGS PREPARED BY E.R. GARDEN, (G.S.) SURVEYORS, N.W.T.  
**NOTE!** FINAL GRADING & ELEVATIONS TO BE CONFIRMED BY PETER FENERTY (BASE TECH CONSULTING) NEWMARKET, ONTARIO

- ROOF CONSTRUCTION**
1. GABLE ROOF: 30 YEAR ASPHALT/FIBERGLAS SHINGLE, 36" ICE & WATER SHIELD AT ALL EAVES, 1/2" PLY SHEATHING, APPROVED ROOF TRUSS @ 24" O.C. TOP CHORD 8/12 SLOPE, 2 X 4 HIP AND RIDGE BLOCKING, BRACE AS REQUIRED BY TRUSS MANUFACTURER
  2. TRUSS OVER REAR PORCH: STEEL ROOFING, 36" ICE & WATER SHIELD AT ALL EAVES, 1/2" PLY SHEATHING, TOP CHORD 5/12 SLOPE, BOTTOM CHORD 4/12, BRACE AS REQUIRED BY TRUSS MANUFACTURER
  3. PARTIAL SCISSOR TRUSS OVER GREAT ROOM & OFFICE: 30 YEAR ASPHALT/FIBERGLAS SHINGLE, 36" ICE & WATER SHIELD AT ALL EAVES, 1/2" PLY SHEATHING, TOP CHORD 8/12 SLOPE, BOTTOM CHORD 5/12, BRACE AS REQUIRED BY TRUSS MANUFACTURER
  4. CONVENTIONAL OVER FRAMING: 30 YEAR ASPHALT/FIBERGLAS SHINGLE, 36" ICE & WATER SHIELD AND 24" CONTINUOUS METAL VALLEY FLASHING IN ALL VALLEYS, 1/2" PLY SHEATHING, 2 X 6 @ 16" O.C. RAFTER, 8/12 SLOPE & 4/12 (SEE ROOF PLAN)
  5. DORMER: 30 YEAR ASPHALT/FIBERGLAS SHINGLE, 36" ICE & WATER SHIELD AND 24" CONTINUOUS METAL VALLEY FLASHING IN ALL VALLEYS, 1/2" PLY SHEATHING, 2 X 6 @ 16" O.C. RAFTER, 8/12 SLOPE, 2 X 4 CEILING TIES @ 16" O.C. (SEE ROOF PLAN)
- CEILING CONSTRUCTION**
6. TRUSS: BOTTOM CHORD OF APPROVED TRUSSES @ 24" O.C., R20 INSULATION, 5 MIL VAPOUR BARRIER, 5/8" DRYWALL OR 1/2" CEILING BOARD, BRACE AS REQUIRED BY MANUFACTURER
  7. CONVENTIONAL: R20 INSULATION, 5 MIL VAPOUR BARRIER, 5/8" DRYWALL OR 1/2" CEILING BOARD, 2 X 6 @ 16" O.C. CEILING JOIST
  8. GARAGE: BOTTOM CHORD OF APPROVED TRUSS @ 24" O.C., R20 INSULATION, 5 MIL VAPOUR BARRIER, 5/8" DRYWALL OR 1/2" CEILING BOARD, BRACE AS REQUIRED BY MANUFACTURER
  9. FRONT & REAR PORCH: BOTTOM CHORD OF TRUSS @ 24" O.C., 1 X 4 DOUGLAS FIR
- EXTERIOR WALL CONSTRUCTION**
10. BASEMENT: 4" STONE VENEER, 1" AIR SPACE, TYVEK WRAP ON 7/16" OSB SHEATHING, 2 X 6 @ 16" O.C. STUD, HEIGHT VARIES - SEE ELEVATIONS, R20 BATT INSULATION, SECOND ROW OF 2 X 4 @ 16" O.C. STUDDING WITH R12 BATT INSULATION (TOTAL R22), 6 MIL VAPOUR BARRIER, 1/2" DRYWALL
  11. FIRST FLOOR WALLS: WHITE 1 X 10 VERTICAL BOARD & 1 X 2 BATTEN BY "CAPE COD" (OR EQUIVALENT) SIDING, 1 X 3 @ 16" O.C. HORIZONTAL STRAPPING, TYVEK WRAP ON 7/16" OSB SHEATHING, 2 X 6 @ 16" O.C. STUD, 10'-1" WALL HEIGHT, R24 BATT INSULATION, 6 MIL VAPOUR BARRIER, 1/2" DRYWALL
  12. GABLES: WHITE CEDAR SHINGLE BY "CAPE COD" OR EQUIVALENT, 1 X 3 @ 16" O.C. VERTICAL STRAPPING, TYVEK WRAP ON 7/16" OSB SHEATHING, GABLE TRUSS OR 2 X 4 @ 16" O.C. STUDDING
  13. GARAGE WALLS: 4" STONE VENEER WITH 1" AIR SPACE FROM TOP OF FOUNDATION FOR A HEIGHT OF 5'-0" AND WHITE 1 X 10 VERTICAL BOARD & 1 X 2 BATTEN BY "CAPE COD" (OR EQUIVALENT) SIDING, 1 X 3 @ 16" O.C. HORIZONTAL STRAPPING TO REST OF WALL HEIGHT, BOTH STONE & SIDING FINISHES SECURED TO 2 X 6 @ 16" O.C. STUDDING, TYVEK WRAP, 7/16" OSB SHEATHING, R20 BATT INSULATION, 6 MIL VAPOUR BARRIER, 1/2" DRYWALL
  14. STONE VENEER: 4" STONE VENEER WITH 1" AIR SPACE, TYVEK WRAP ON 7/16" OSB SHEATHING, 2 X 6 @ 16" O.C. STUDDING, R24 INSULATION, 6 MIL VAPOUR BARRIER, 1/2" DRYWALL
- INTERIOR WALL CONSTRUCTION**
15. HOUSE: 2 X 4 OR 2 X 6 @ 16" STUDDING, 1/2" DRYWALL EACH SIDE OR ONE SIDE ONLY (SEE PLANS), 2 X 4 OR 2 X 6 GIRT AT MIDSPAN
  16. BASEMENT: 2 X 6 OR 2 X 4 @ 16" STUDDING (SEE PLAN), 1/2" DRYWALL EACH SIDE OR ONE SIDE ONLY, 2 X 4, 6 MIL VAPOUR BARRIER UNDER BOTTOM PLATE
  17. GARAGE DEMISING WALL: 2 X 6 @ 16" O.C. STUDDING, R 24 BATT INSULATION, 6 MIL VAPOUR BARRIER ON HOUSE SIDE, 1/2" DRYWALL BOTH SIDES, ENSURE SMOKE SEAL ON GARAGE SIDE
- REAR DECK CONSTRUCTION**
32. FLOOR: 5/4 X 6 PFT DECKING ON 2 X 10 @ 16" PFT JOISTS WITH SOLID BRIDGING @ 7' MAXIMUM SPACING, SECURE JOISTS TO HOUSE WALL WITH 1/2" X 6" @ 24" O.C. GALVANIZED BOLTS THROUGH HOUSE HEADER
  33. PIERS: STEEL SADDLE EMBEDDED INTO 12" DIAMETER COLUMN ON 36" DIAMETER "BIG FOOT" FOOTING X MINIMUM 4'-0" DEEP (2,200 PSI)
  34. POSTS & BEAM: 6 X 6 PFT POSTS SUPPORTING 3 - 9.5" LVL BEAM ON 6 X 6 PFT POST ON STEEL SADDLE, BEAM & POST TO BE CLAD IN BLACK ALUMINUM
  35. RAILING: APPROVED BLACK ALUMINUM AND GLASS RAILING SYSTEM 3'-6" HEIGHT TO TOP OF RAIL, MAXIMUM SPACING BETWEEN POSTS 5'-0"
- FRONT PORCH**
36. STRUCTURE: BLACK 6 X 6 PFT POSTS SUPPORTING BLACK ALUMINUM CLAD 5/2 X 10 BEAM
  37. RAILING: APPROVED PREFINISHED BLACK ALUMINUM RAILING SYSTEM WITH 1/2" BALUSTERS @ 4" O.C.

## **ZONING INFORMATION**

LOCATION	IMPERIAL (square feet)	METRIC (square meters)
FIRST FLOOR	2,874	267.1
FINISHED BASEMENT	2,524	234.6
UNFINISHED BASEMENT	380	35.3
GROSS FLOOR AREA	2,874	267.1
GARAGE	799	74.3
COVERED BACK PORCH	270	25.1
COVERED FRONT PORCH	72	6.69
FOOTPRINT	4,015	373.19
LOT AREA	14,782	1,374
COVERAGE	27.1% < 35%	27.1% < 35%
AVE. GRADE TO MIDPOINT	22'-0" < 22'-4"	6.70 < 6.8
FRONT YARD SETBACK	27.95' < 33.46'	8.52m < 10.2m
REAR SIDE SETBACK	63.09 > 24.6'	19.23m > 7.5m
EAST SIDE SETBACK	4.10' > 3.92'	1.25m > 1.2m
WEST SIDE SETBACK	4.36' > 3.92'	1.33m > 1.2m

- GENERAL NOTES**
1. SUBCONTRACTORS SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO BUILDER BEFORE PROCEEDING WITH WORK
  2. ALL FOUNDATIONS SHALL BE PLACED ON SOLID UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 1,500 PSI (75 KPa)
  3. ALL LOOSE & ORGANIC MATERIAL SHALL BE REMOVED & REPLACED WITH SANDFILL & COMPACTED IN 12" LAYERS BENEATH ALL SLABS
  4. ALL BACKFILL MATERIAL SHALL BE CLEAN & FREE OF ANY DEBRIS
  5. ALL WORK TO CONFORM TO 2012 EDITION OF THE ONTARIO BUILDING CODE
  6. ALL DIMENSIONS SHOWN ON DRAWINGS ARE EXPRESSED IN FEET & INCHES
  7. DRAWINGS SHALL NOT BE SCALED
  8. ALL CONCRETE TO POSSESS A MINIMUM 5% TO 5% AIR CONTENT & A MINIMUM 28 DAY COMPRESSIVE STRENGTH WITH WATER CEMENT RATIOS AS FOLLOWS:
    - a) FOOTINGS: 2,200 PSI (15 MPa) & (7 W/C RATIO)
    - b) FOUNDATION WALLS: 3,000 PSI (20 MPa) & (7 W/C RATIO)
    - c) GARAGE & PORCH SLAB: 4,650 PSI (32 MPa) & (45 W/C RATIO)
    - d) BASEMENT SLAB: 3,000 PSI (20 MPa) & (65 W/C RATIO)
  9. ALL STRUCTURAL LUMBER TO BE NO. 2 EASTERN SPRUCE OR BETTER
  10. ALL WINDOW & DOOR OPENINGS ARE APPROXIMATE WIDTH X HEIGHT IN INCHES AND MUST BE CONFIRMED BY WINDOW & DOOR SUPPLIER
  11. ALL GLAZING TO BE LOW-E & ARGON FILLED
  12. ALL HEATING DRAWINGS TO BE PROVIDED BY REGISTERED DESIGNER WITH BCIN BY THE RESPECTIVE SUBCONTRACTOR USING COMPLIANCE PACKAGE "A1"
  13. PLUMBING AND ELECTRICAL DRAWINGS TO BE PROVIDED BY RESPECTIVE SUBCONTRACTORS
  14. LOADING CONDITIONS USED FOR THE PURPOSE OF THIS HOUSE DESIGN:
    - FLOOR LIVE LOAD: 40 psf
    - FLOOR DEAD LOAD: 15 psf
    - GROUND SNOW LOAD: 41.8 psf
    - TOP CHORD SNOW LOAD: 31.3 psf
    - TOP CHORD DEAD LOAD: 3 psf
    - BOTT. CHORD DEAD LOAD: 7 psf
    - BOTT. CHORD LIVE LOAD: 5 psf
  15. ROOF TRUSS FRAMING TO BE CONFIRMED BY MEANS OF A FRAMING DRAWING PROVIDED BY TRUSS MANUFACTURER
  16. FLOOR FRAMING DRAWING TO BE CONFIRMED BY MEANS OF A FRAMING DRAWING PROVIDED BY TRUSS JOIST MANUFACTURER
  17. ENSURE 1/300" ATTIC VENTILATION WITH 50% OF VENTILATION IN SOFFIT
  18. COMPLIANCE PACKAGE "A1" TO BE USED FOR ENERGY EFFICIENCY
  19. KITCHEN LAYOUT TO BE CONFIRMED BY KITCHEN DESIGNER
  20. ALL END CUTS OF PRESSURE TREATED MATERIAL TO BE COATED WITH APPROVED PRESERVATIVE
  21. ALL FIRST FLOOR INTERIOR DOOR HEIGHTS 8'-0" UNLESS NOTED OTHERWISE
  22. ALL MECHANICAL FANS TO BE VENTED DIRECTLY OUTSIDE
  23. ALL COLLARS AND FINISHES TO BE DETERMINED BY OWNER

REVISED APRIL 9, 2021

The undersigned has reviewed & taken responsibility for this design & has the qualifications & meets the requirements set out in 2.17 of the O.B.C. to be a designer.

QUALIFICATION INFORMATION  
GARY HODSON BCIN # 28267

REGISTRATION INFORMATION  
DRAFTING & DESIGN SERVICES BCIN # 31898

*Gary Hodson* Apr. 9/21  
SIGNATURE DATE

NO. DATE DESCRIPTION

## **REVISIONS**

CLIENT  
**STEVE & SANDRA SMYTH**  
5 LENS WITH DRIVE  
AURORA, ONTARIO, L4G 6S1  
Steve Cell: 905-908-8120  
Email: ssmyth34@rogers.com

PROJECT  
**NEW 4 BEDROOM HOME**  
181 BEECHWOOD CRESCENT  
NEWMARKET, ONTARIO,  
PART OF LOT 52  
PLAN 482

DWG TITLE  
**SITE PLANS  
GENERAL NOTES**

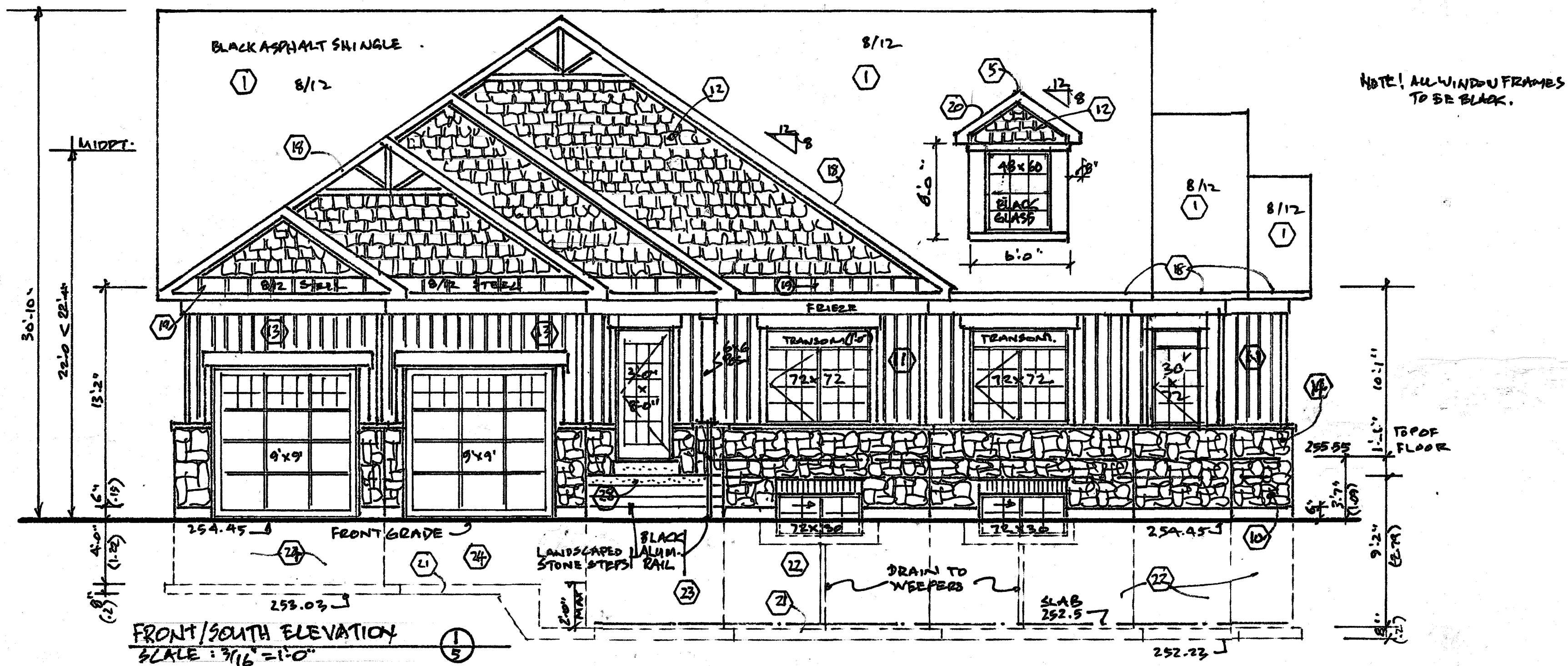
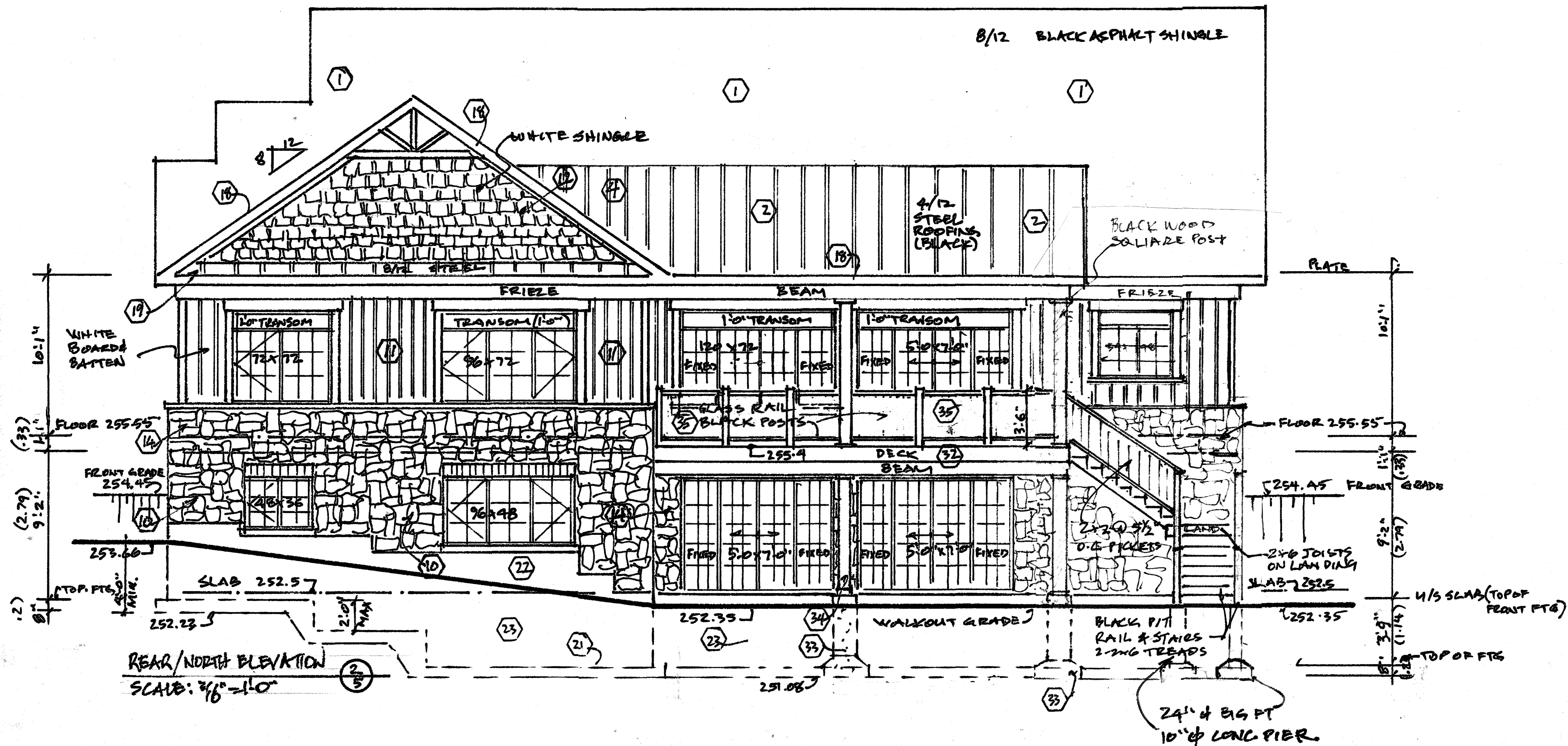
SCALE  
1:250 (METRIC)

PROJ. NO.  
10-20

DATE  
DECEMBER 28, 2020

DWG. NO.  
1 OF 9





REVISED APRIL 9, 2021

The undersigned has reviewed & taken responsibility for this design & has the qualifications & meets the requirements set out in 2.17 of the O.B.C. to be a designer.

QUALIFICATION INFORMATION  
GARY HODSON BCIN # 28287

REGISTRATION INFORMATION  
DRAFTING & DESIGN SERVICES BCIN # 31889

Signature: Gary Hodson Date: Apr 9/21

NO. DATE DESCRIPTION

REVISIONS

CLIENT

STEVE & SANDRA SMYTH  
5 LENSMEITH DRIVE  
AURORA, ONTARIO, L4G 6S1  
Steve Cell: 905-806-8120  
Email: ssmyth34@rogers.com

PROJECT

NEW 4 BEDROOM HOME  
181 BEECHWOOD CRESCENT  
NEWMARKET, ONTARIO, L3Y 1W2  
PART OF LOT 52  
PLAN 482

DWG TITLE

FRONT / SOUTH ELEVATION  
REAR / NORTH ELEVATION

SCALE

3/16" = 1'-0"

PROJ. NO.

10 - 20

DATE

DECEMBER 20, 2020

DWG. NO.

5 OF 9





## **NOTES TO COMMITTEE**

Property: 181 Beechwood Crescent  
(South of Davis Drive and East of Yonge Street)

Owner: Sandra and Steve Smyth

Application: Site Plan Approval to permit a single detached dwelling on the subject property. The subject property is currently vacant.

File Number: D11-NP-21-09

### **RECOMMENDATIONS**

1. That the presentation regarding application for Site Plan Approval for File Number D11-NP-21-09 be received;
2. That staff be directed to continue the technical review of the application to ensure conformity with the Zoning By-law, Official Plan, Secondary Plan and all other applicable policies;
3. That staff be directed to ensure full consideration is given to all comments provided by Committee;
4. That Sandra and Steve Smyth of 181 Beechwood Crescent, Newmarket, Ontario L3Y 1W2 be notified of this action.

### **Staff Comments on Site Plan Application**

- The lot was created through consent, which was provisionally granted on May 17, 2017. Site Plan Approval was required as a condition of the Severance.
- The consent decision was appealed to the Ontario Municipal Board by neighbours to the west, but then withdrawn. Minutes of Settlement dated on August 21, 2017.
- Issues of the neighbours to the west were addressed through a Legal Agreement documenting their non-objection to the applicant removing three mature trees on the subject property, subject to tree pruning on the neighbour's property and deep root fertilization of the cedar hedge located along the property line.
- As required at the time, an ICBL Exemption By-law was enacted by Council on October 13, 2020.

### **Planning Context**

- Property is designated Residential (Historic Core Character Area) within the Town's Official Plan.
- Property is zoned Residential Detached Dwelling (R1-C) within By-law 2010-40, as amended by By-law 2020-63.

### **Next Steps**

- Staff are currently reviewing the applicant's first submission, submitted on June 25, 2021.
- Following the SPRC meeting, staff will provide all first submission comments to the applicant.
- The site plan agreement will be prepared and executed.



Hi All,

A few concerns with this application.

First of all a reminder that 12 large mature trees were removed including the largest Heritage Sugar Maple that was 125-150 years old prior to the Demolition permit being submitted (loophole that the opportunistic career builder was well aware of).

Then to add insult to injury, the builder to max out profit paid a measly \$22,700 to remove 8 more Heritage trees to be able to max out the 35% lot coverage build at 185 Beechwood. The amount being billed is not a deterrent to builders that are lining their pockets at the expense of the trees that make this neighbourhood.

Question 1: did I miss the amount being paid to remove the 4 trees? This build will be worth over \$2,300,000 so I hope the amount being billed is significant; it should be \$50,000 to \$75,000 PER Heritage tree not \$5,000 per tree. If trees that size were removed in Town's like Markham without a tree removal permit the fine would be \$50k+.

Question 2: regardless of an agreement being signed with the neighbours to the West 4 years ago, trees benefits all of us and a reminder that Newmarket is last in York Region for Heritage trees...losing 3 more Heritage trees from a lot that has already 28 trees removed is not responsible considering the 100 years plus these trees have been alive. The builder is once again maxing out the 35% coverage as he did next door thus lining his pockets at a Lot; that I warned in 2013 was wider than the bylaw thus at risk for severance, however can the road setback be relaxed to moved the house forward and save the trees? This would reduce the coverage of the house which I think should have been done for 185 and this application to save more Heritage trees.

The trees are not in "direct conflict" with the building...the over-sized building is in direct conflict with the 100+ year old trees and in conflict with the motive of the career and opportunistic builder: to maximize his profit at the neighbourhoods' expense once again; same tactic for [REDACTED] house on Park Ave that he bought, demolished, built a personal property that he never lived in and sold off the remaining lot pocketing an estimated \$1,750,000.

Here is some rough math:

[REDACTED] bought the Historic Boyd House for \$1.3 Million  
 185 Beechwood sold for ~\$1,900,000 with an estimated profit of \$1,000,000 and sold as a Primary residence which was not accurate with never living there (see tax Roll # and address off Leslie St).  
 181 Lot was listed for \$995,000  
 Plus cost to build 181 estimated at \$1,350,000 (5,398 sq ft of finished area X \$250/sq ft building costs)

Net net this career predatory builder has made north of \$1,000,000 (majority tax free), taken advantage of loopholes in the process and this lot not being protected from severance as warned back in 2013.

Question 3: 237 Park Avenue, 181 Beechwood, 258 Park Avenue...all lots that were wider than the bylaw which several residents raised concerns about predatory builders back in 2013. Millard and Forrest Glen were protected however nothing was done for Park Ave and

Beechwood. Can we once and for all widen the minimum width bylaw to protect Historic properties like the Davis Mansion at 290 Park Ave and other lots at risk?

I have no issue if someone wants to buy a house a bulldoze it then build however having lots severed to maximize a builders profit at the expense of the neighbourhood has to stop.

Besides chainsaws the trees in this neighbourhood are under attack by:

- gypsy moths that have severely stripped the trees and will again next year with thousands of egg sacks being laid right now
- Beech Trees - ALL are going to die with having an airborne fungus
- Sugar Maples - many have structural issues and are damaged by the wind and many have an airborne fungus causing dieback
- Coniferous trees - all have been stripped by gypsy moths and may not survive

Lastly, relaying a statement made by a neighbour:

"I have lived in this neighbourhood for over 50 years. The trees and wider lots are what made Beechwood THE street to live on. So many trees have been removed from that lot alone and it seems like no one is listening to us and the town just does whatever the builder asks not thinking long term about the consequences or the residents that are paying a significant amount of property tax."

Thanks,  
Chris Howie

Hi All,

Tree 4 - the previous driveway is West of the tree so I am wondering why it is being taken down...I assume it is to do a curved driveway like at 185 however the driveway and curb and tree should stay where they are.

Dust - PLEASE force/mandate/demand that for any stone cutting a WET saw be used. When the exterior of 185 was being worked on the concrete dust (that has chemicals) was everywhere for weeks; on vehicles as far as Park Avenue. There is NO reason why a wet saw cannot be used especially with water available. In fact, ALL construction in Town should have a required to limit dust (which I think is already in place) BUT wet saws should be required for any construction in town to reduce particulates/air pollution which trees help filter however we keep losing more trees to greedy builders.

On behalf of the residents in this area, thank you for your support!  
Chris Howie



Re. 181 Beechwood Site Review Plan

Dear Mayor and Council:

I am dismayed that the developer plans to remove four more trees at 181 Beechwood. This an ongoing problem with this property, with his clearcutting of the property a few years ago.

The developer should do his due diligence and alter his design to accommodate the four trees in question, as well as protecting the other trees. When this area was developed in the 1950's, the developer built around the trees in this important woodlot. This has meant so much to the neighbourhood, both aesthetically and environmentally.

It is cooler in summer and warmer in winter, a natural energy savings as well as much needed carbon absorption.

Elaine Adam  
183 Park Avenue



Re: Application for Site Plan Approval for 181 Beechwood Crescent

Dear Mayor, Councillors and Planning Department:

Thank you for keeping a keen eye on this situation, as promised; however, I would still like to voice my dismay that four additional trees are going to be destroyed on this site that was originally a well-treed single-dwelling property. Over the last few years this section of the north Beechwood forest has been ravaged by the destruction of 20+ mature trees. As a result there is a gaping hole in the tree canopy.

One new street tree to be planted on the boulevard is welcomed; however, the three other trees removed with payment does nothing to preserve the tree canopy in this specific area.

I am happy to see that the developer has worked with immediate neighbours and they have come to an agreement; also, that the Town is keeping a keen eye on the situation and employing a professional arborist, but my concern for the tree canopy remains.

I believe the tree destruction on Beechwood Crescent is a wake-up call for Newmarket. It is my hope that the Established Neighbourhoods Compatibility Plan and a formal by-law for tree removal on private property will help save our tree canopy from those who seem to value money over community and the environment. Without the aforementioned Plan and By-law, both fully enacted and enforced, this will be an ongoing issue.

Sincerely,  
Nancy Fish