



# Town of Newmarket

## Agenda

### Site Plan Review Committee

Date: Monday, October 5, 2020  
Time: 9:30 AM  
Location: Streamed live from the Municipal Offices  
395 Mulock Drive  
Newmarket, ON L3Y 4X7

Pages

#### 1. Notice

At this time, the Municipal Offices remain closed to the public. This meeting will be streamed live at [newmarket.ca/meetings](http://newmarket.ca/meetings).

#### Public Input

Individuals who wish to submit input to Council in relation to an item on this agenda have the following options available.

1. Email your correspondence to [clerks@newmarket.ca](mailto:clerks@newmarket.ca) by end of day on Sunday, October 4, 2020. Written correspondence received by this date will form part of the public record; or,
2. Make a live remote deputation by joining the virtual meeting using the Town's videoconferencing software and verbally provide your comments over video or telephone. To select this option, you are strongly encouraged to pre-register by emailing your request and contact information to [clerks@newmarket.ca](mailto:clerks@newmarket.ca).

#### 2. Additions & Corrections to the Agenda

#### 3. Conflict of Interest Declarations

#### 4. Presentations

##### 4.1 Application for 345 & 351 Davis Drive

1

**Note:** Joanna Fast, Evans Planning Inc. and Greg Raspin, SRN Architects will be in attendance to provide a presentation on this matter.

#### 5. Deputations

## 6. Items

- 6.1 Application for Site Plan Approval for 345 & 351 Davis Drive (north side of Davis Drive, east of Lorne Avenue) Our File Number: D11-NP-20-09 13

**Note:** Site Plan Approval to permit the development of a six-storey, 68 unit condominium apartment building on the subject lands. Plans and documents attached.

1. That the presentation regarding application for Site Plan Approval for File Number D11-NP-20-09 be received;
2. That staff be directed to continue the technical review of the application to ensure conformity with the Zoning By-law, Official Plan, Secondary Plan and all other applicable policies;
3. That staff be directed to ensure full consideration is given to all comments provided by Committee;
4. That 2696871 Ontario Ltd., 108 Stouffville Road, Richmond Hill, ON L4E 3P3 be notified of this action; and
5. That Joanna Fast, Evans Planning Inc., 8481 Keele Street, Unit 12, Vaughan ON L4K 1Z7 be notified of this action.

## 7. Adjournment

# 345 & 351 Davis Drive

## 2696871 Ontario Ltd.



8395 JANE STREET, SUITE 202  
VAUGHAN, ONTARIO, L4K 5Y2  
PHONE: 905.417.5515



NEUHAUS DEVELOPMENT  
MID-RISE CONDO  
345 & 351 DAVIS DR  
NEWMARKET ON

## SPRC Presentation

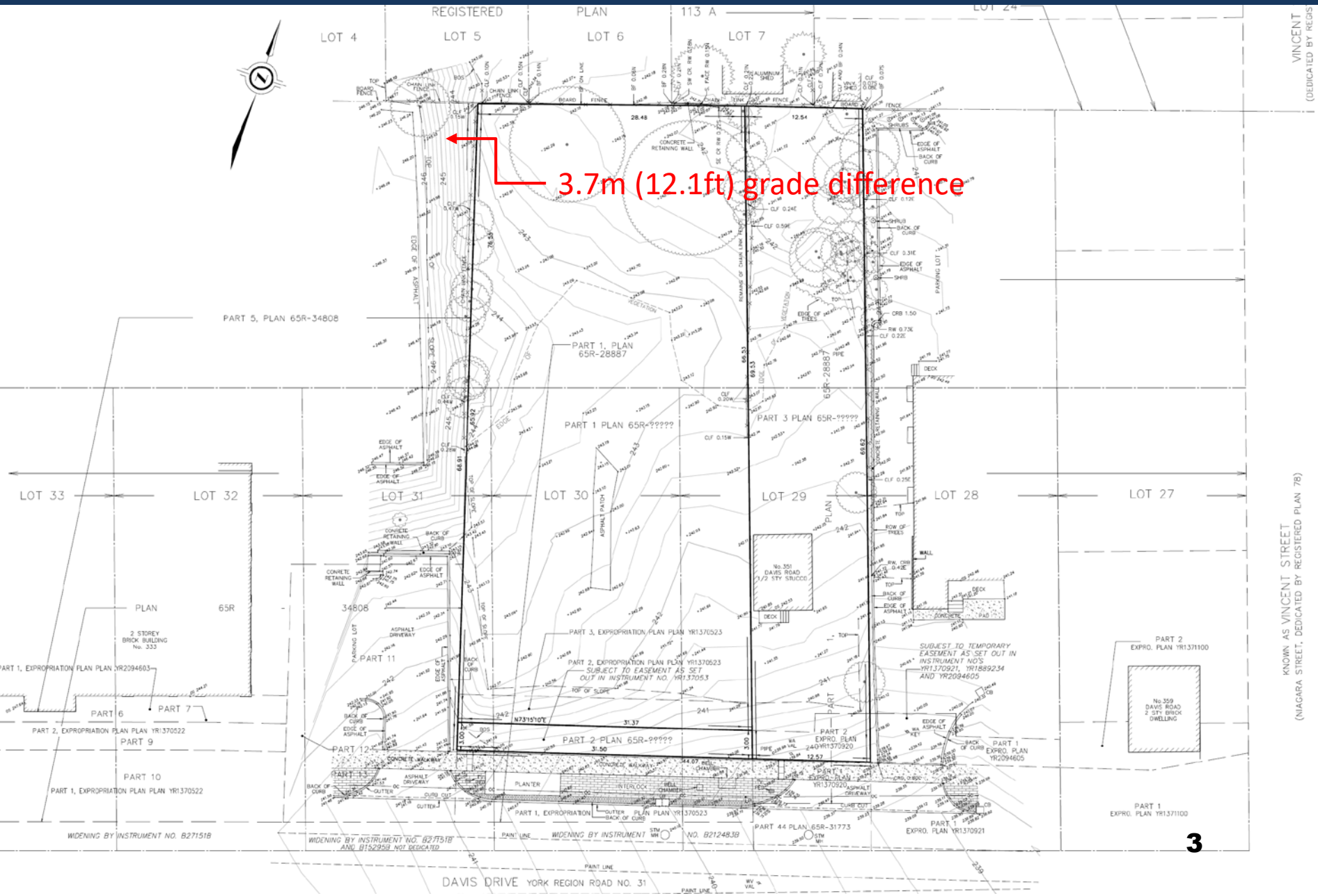
October 5, 2020







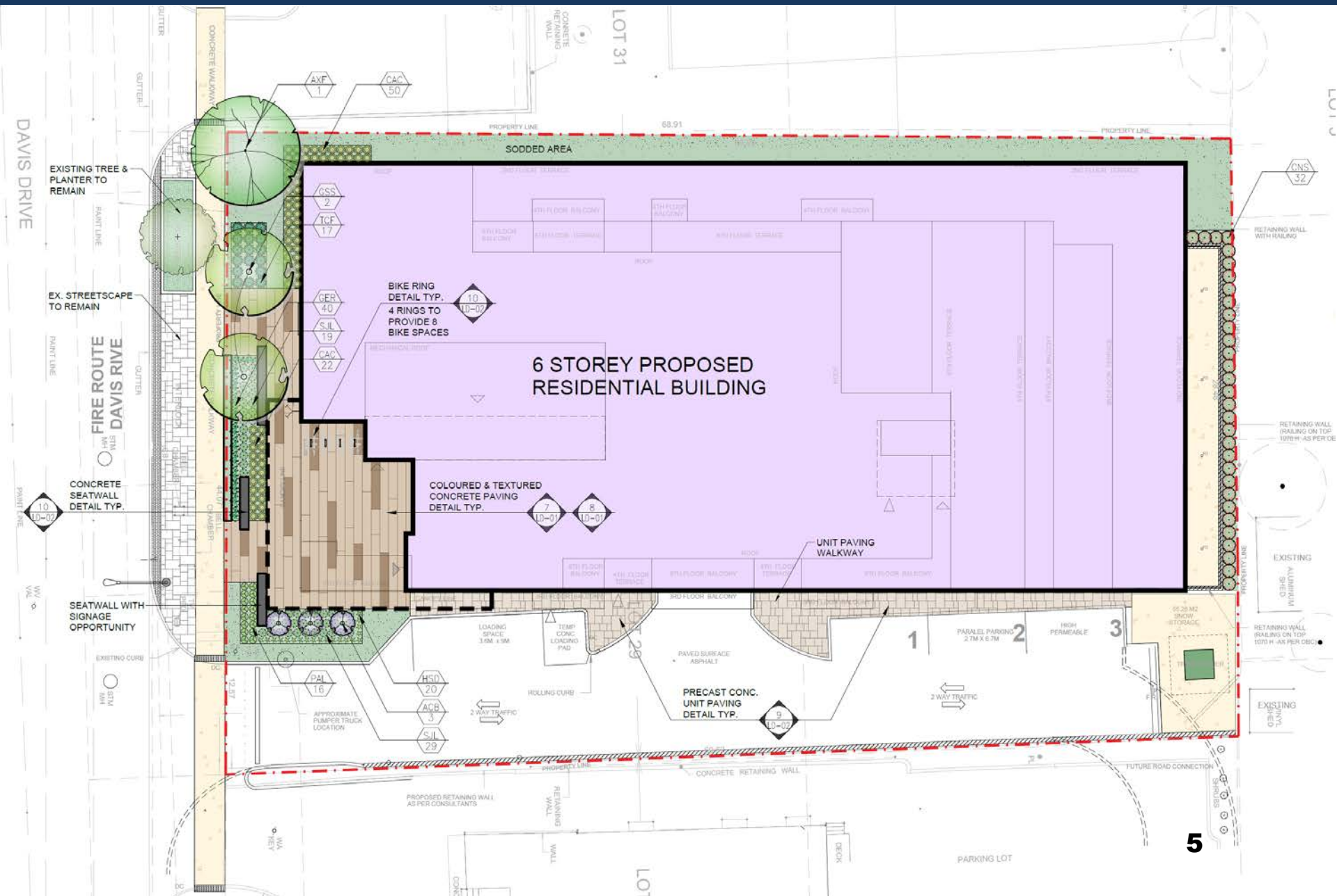
# Topographic and Boundary Survey



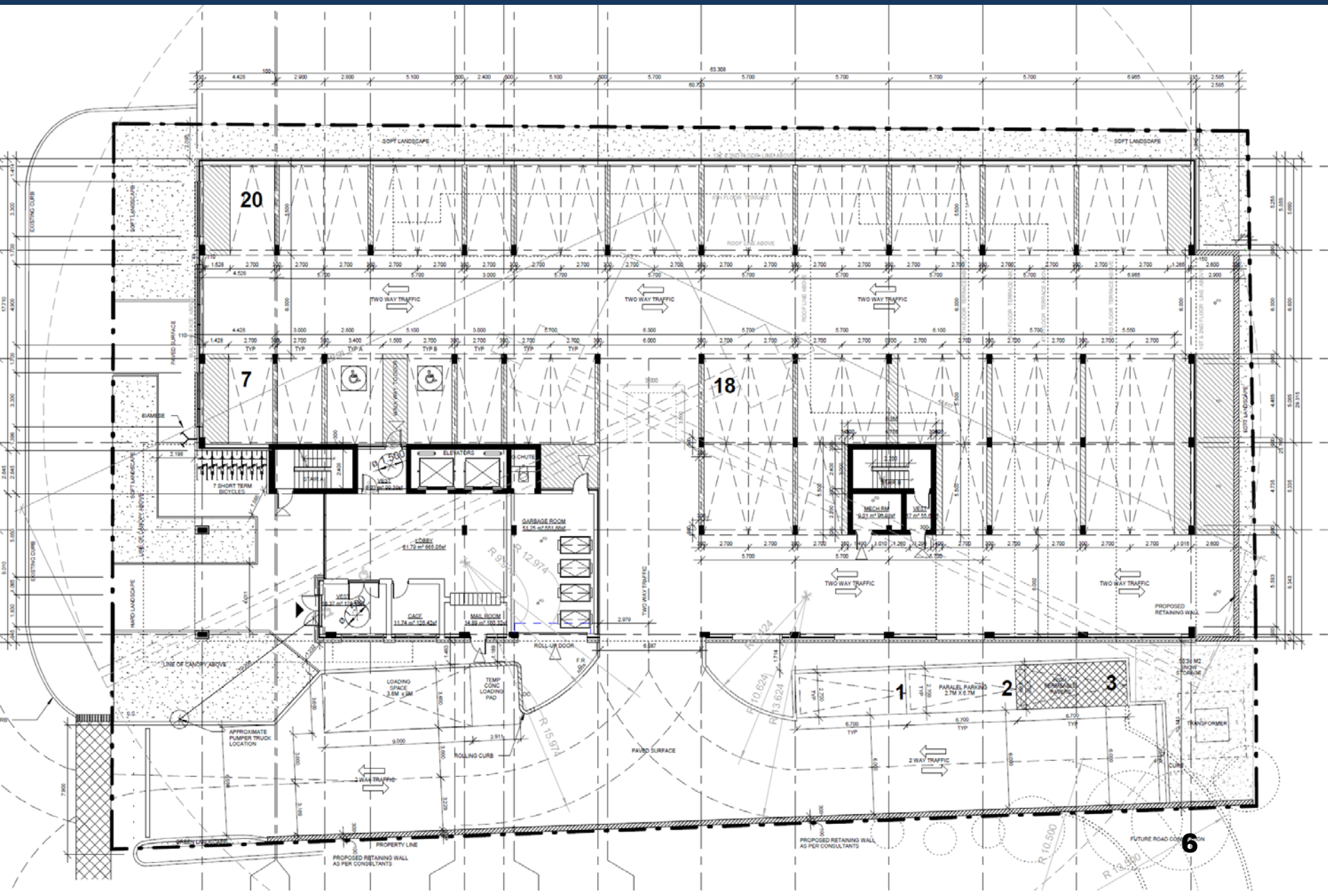


- 6 Storey apartment building, tiering down towards the rear of the site (45 degree angular plane)
- 68 units (mixture of 1 and 2 bedroom units)
- Access from Davis Drive, with a future connection to the east provided at the rear of the site
- Total GFA 5,897.03 square metres
- FSI 2.0
- Modern concept, visual interest, parking garage hidden from view/designed as part of the building
- Amenity space provided indoor and outdoor (terraces)
- 25% of units will be affordable





## 6







West Elevation



East Elevation



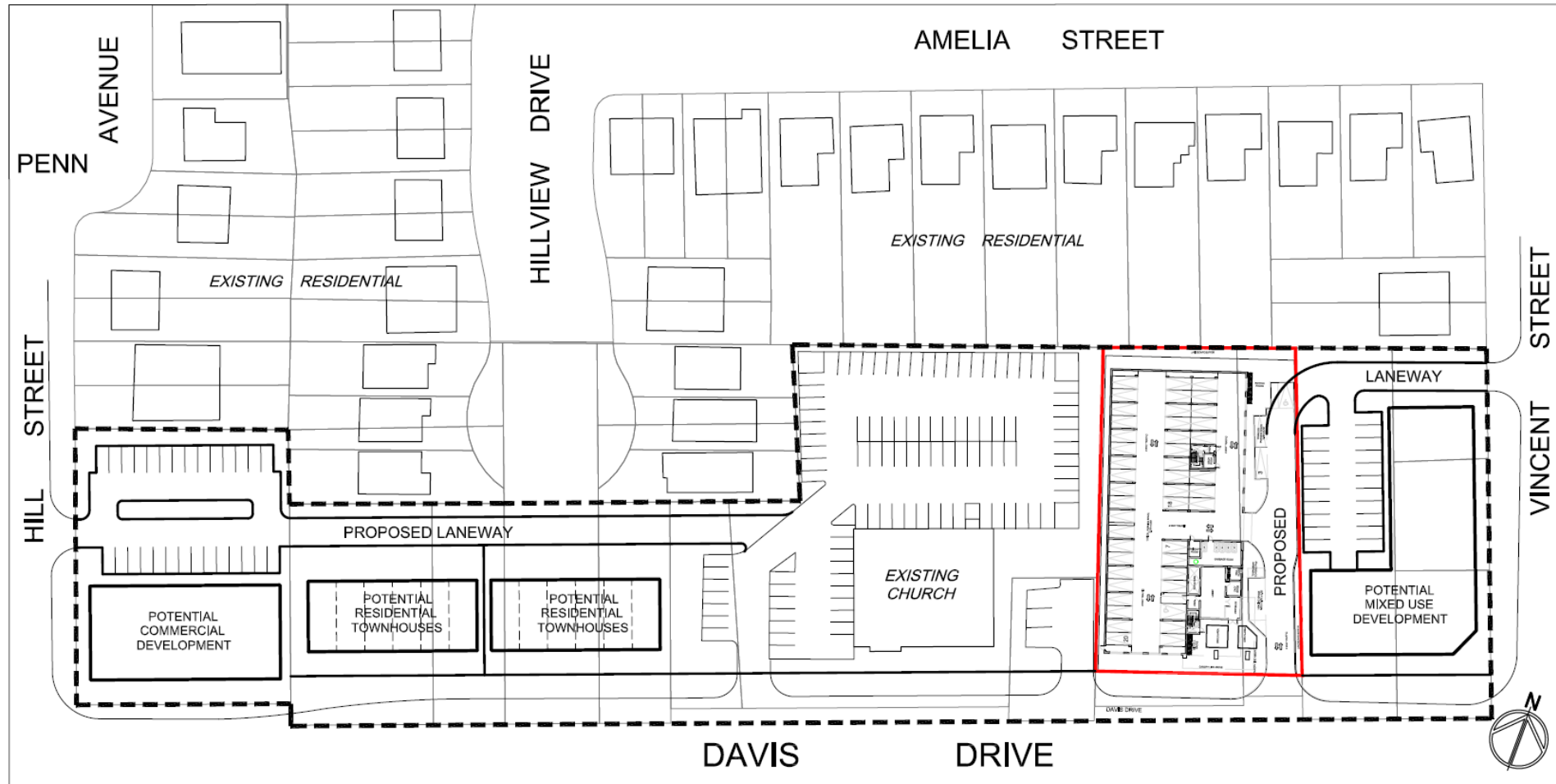
South Elevation  
(Davis Drive)



North Elevation



# Demonstration Plan



- LID stormwater management techniques
- Roof materials will have a reflective index of at least 29
- 3 stream waste collection
- Low VOC products to reduce exposure to pollutants
- Green roof over parking garage
- Bird-friendly windows (low reflectance)



Thank You

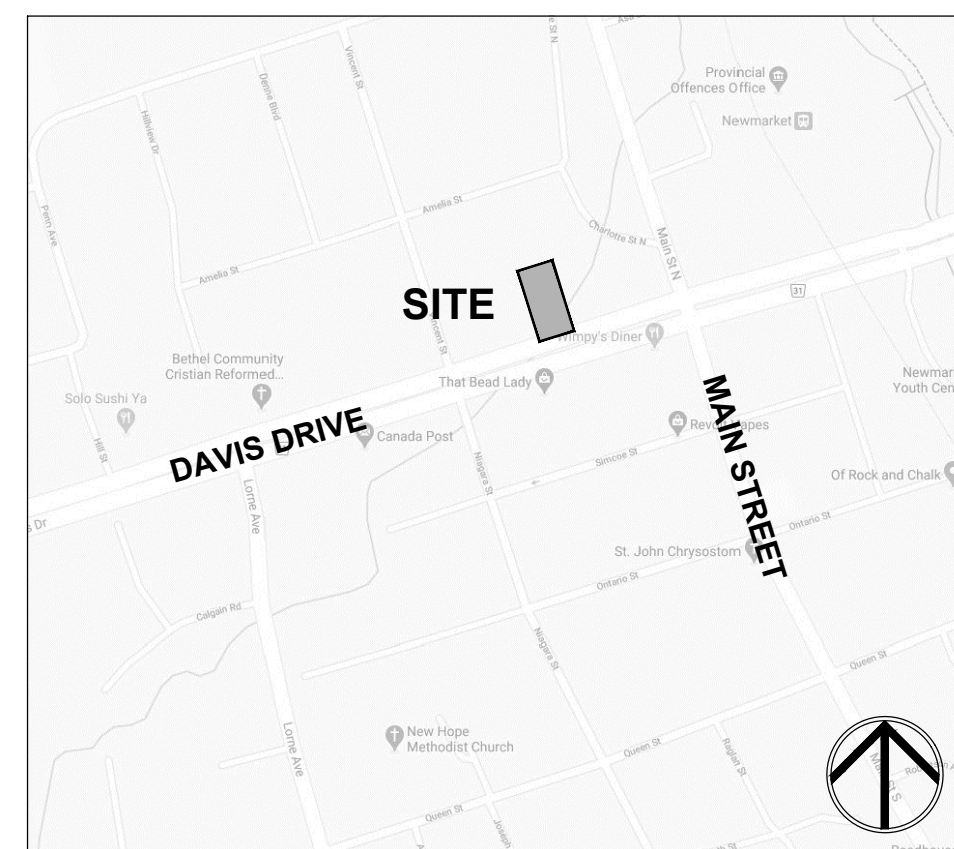
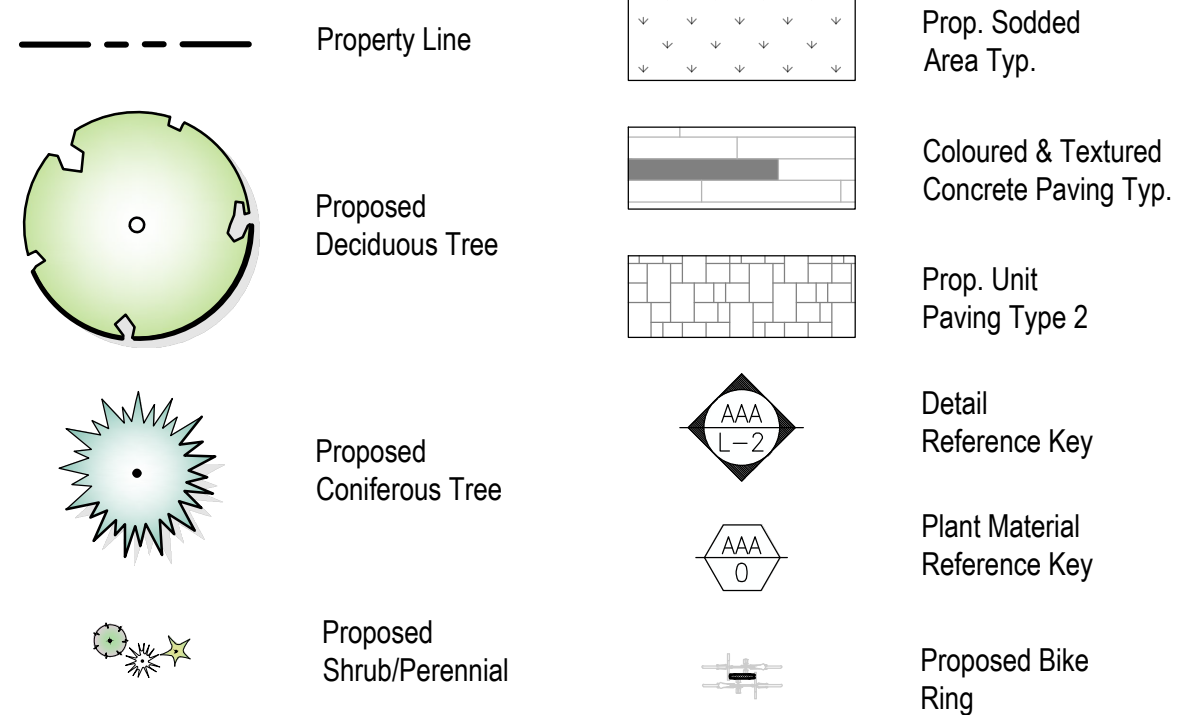




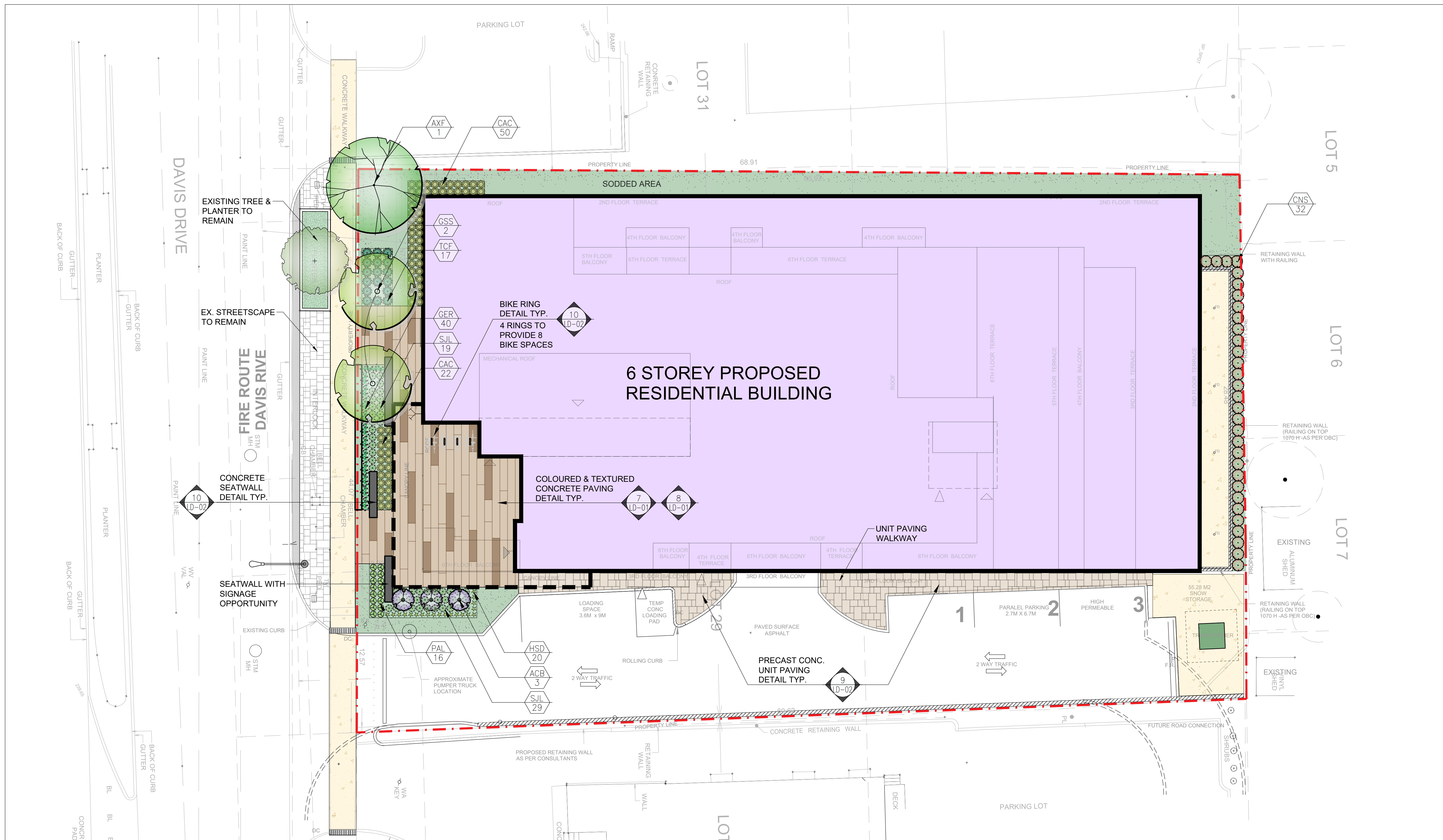
## Suggested Plant Material List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
AXF	1	<i>Acer x freemanii</i> "Jeffersred"	Jeffersred Freeman Maple	70 mm		B.&B.	High	Yes	Full Form
GSS	2	<i>Gleditsia triacanthos</i> "Shademaster"	Shademaster Honey-Locust	70 mm		B.&B.	High	Cultivar	Full Form
DECIDUOUS MULTI-STEM SHRUBS									
ACB	3	<i>Amelancier canadensis</i> "Ballerina"	Ballerina Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
DECIDUOUS SHRUBS									
CNS	32	<i>Cornus sericea</i>	Red Osier Dogwood	80 cm		C.G.	High	Yes	Full Form
SJL	48	<i>Spirea japonica</i> "Little Princess"	Dwarf Red Spirea	60 cm		C.G.	High	No	Full Form
CONIFEROUS SHRUBS									
TCF	17	<i>Taxus x media</i> "Fairview"	Fairview Yew		65 cm	C.G.	Med.	No	Full Form
ORNAMENTAL GRASSES									
CAC	72	<i>Calamagrostis acutiflora</i> "Karl Foerster"	Karl Foerster Feather Reed Grass			5 Gal.	High	Cultivar	Full Form
PAL	16	<i>Pennisetum alopecuroides</i> "Hameln"	Hameln Dwarf Fountain Grass			1 Gal.	High	No	Full Form
PERENNIALS									
GER	40	<i>Geranium</i> "Rozanne"	Hardy Cranesbill Geranium			1 Gal.	High	Yes	Full Form
HSD	20	<i>Hemerocallis</i> "Stella D'oro"	Stella D'oro (Yellow) Daylilies			1 Gal.	High	No	Full Form

## Legend



Key Map



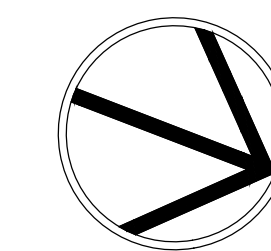
Municipality:



Notes:

02	Issued for Review	04/15/20
01	Issued for Review	03/06/20
No.	Revision	Date

North:



Project:

**Proposed Residential Development**  
345-351 Davis Drive  
Newmarket, Ontario

Scale: 1:150 Date: Feb 2020

Drawn By: D.R. Checked By: L.M.

Drawing Title:

Landscape Plan

Project No.

20118

Sheet No.

L1-01a

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1 South Elevation - Colored  
1 : 150



2 North Elevation -Colored  
1 : 150

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0 5 10 20 30 40 50MM  
0" 1/4" 1/2" 1" 1 1/2" 2"

No.	Issuance Description	YY/MM/DD
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ISSUED FOR:  
**REVIEW**  
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Client  
**Neuhaus Developmens-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**Colored Elevations(N/S)**

Project No.	S19028	Designed byDesigner	Checked byChecker
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Orientation		Stamp	

NOT FOR  
CONSTRUCTION

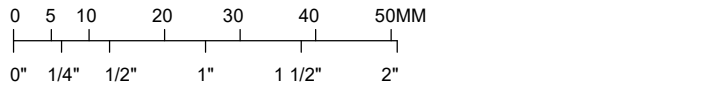
Project No.  
**S19028**

Drawing No.  
**A405**





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No.	Issuance Description	YY/MM/DD
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1 West Elevation- Colored  
1 : 150



2 East Elevation - Colored  
1 : 150

ISSUED FOR:

**REVIEW**

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Client

Neuhaus Developmens-108  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project

Neuhaus Developments  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:

Colored Elevations(E/W)

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-01-27 4:11:37 PM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			

NOT FOR  
CONSTRUCTION

Project No.

**S19028**

Drawing No.

**A404**





Neuhaus Developments

Mid-Rise Condo

345 & 351 Davis Dr, Newmarket Ontario

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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020
3	ISSUED TO CLIENT - RAILING AND BUILDING FACE MATERIAL REVISIONS	02.04.2020



SHEET LIST

- A00  
A000  
A100  
A101  
A102  
A103  
A200  
A210  
A300  
A301  
A302  
A303  
A304  
A305  
A306  
A400  
A401  
A402  
A403  
A500  
A600  
A700  
A800  
A900  
Grand total: 24
- COVER  
COVER  
SITE PLAN/IBC MATRIX  
ARCHITECTURAL NOTE  
WALL-FLOOR AND ROOF ASSEMBLIES  
SURVEY AND GRADING  
REFLECTED CEILING PLAN  
UNDERGROUND FLOOR PLAN  
GROUND FLOOR PLAN  
2ND FLOOR PLAN  
3RD FLOOR PLAN  
4TH FLOOR PLAN  
5TH FLOOR PLAN  
6TH FLOOR PLAN  
Mechanical Penthouse  
WEST ELEVATIONS  
SOUTH ELEVATIONS  
EAST ELEVATION  
NORTH ELEVATION  
SECTIONS  
WALL SECTIONS  
STAIR PLAN AND SECTIONS  
DETAILS  
SCHEDULES

ISSUED FOR:

REVIEW

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Client

Neuhaus Developmens-108  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project

Neuhaus Developments

Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:

COVER

Project No.	S19028	Designed by:	GR	Checked by:	GR
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Orientation		Stamp			

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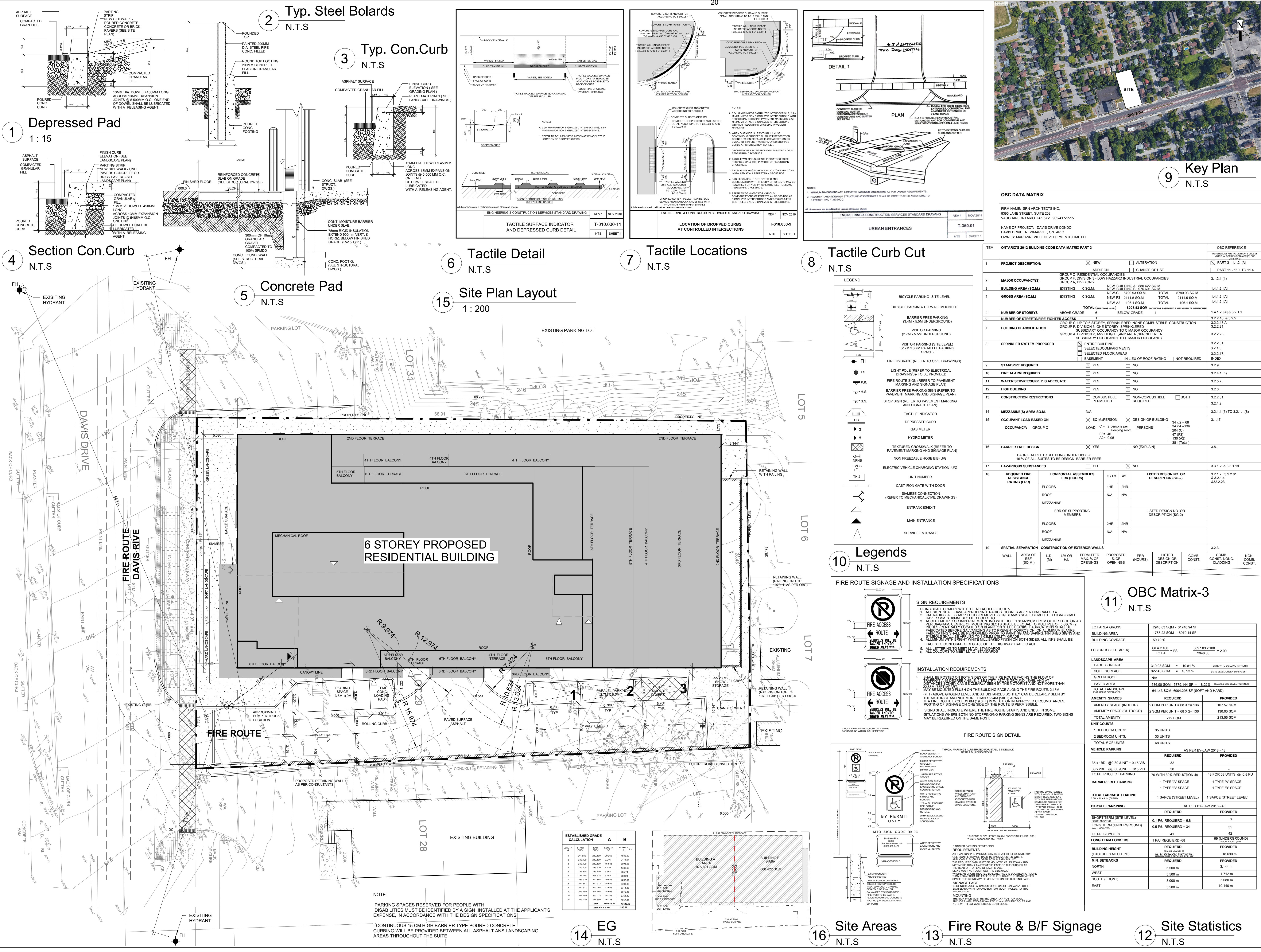
Project No.

S19028

Drawing No.

A000





SRN ARCHITECTS

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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020

FLOOR	AREA SQM-SF	OCU	UNITS
UNDERGROUND	479.58 SQM - 5162.12 SF	F3	-
GROUND FLOOR	282.75 SQM - 3056.38 SF	C	-
2ND FLOOR	1278.28 SQM - 13759.29 SF	C	15
3RD FLOOR	1250.76 SQM - 13463.07 SF	C	15
4TH FLOOR	1211.82 SQM - 13043.92 SF	C	15
5TH FLOOR	1007.27 SQM - 10842.16 SF	C	13
6TH FLOOR	916.15 SQM - 9861.07 SF	C/A2	10
MECH PENTHOUSE	104.85 SQM - 1129.59 SF	F3	-
<b>TOTAL</b>	<b>5887.86 SQM - 63475.43 SF</b> (EXCLUDING F3)		<b>68</b>

ISSUED FOR:

**REVIEW**

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Client

**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project

**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:

**SITE PLAN/OBC MATRIX**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:16 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			

Project No.

**S19028**

Drawing No.

**A100**



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1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020

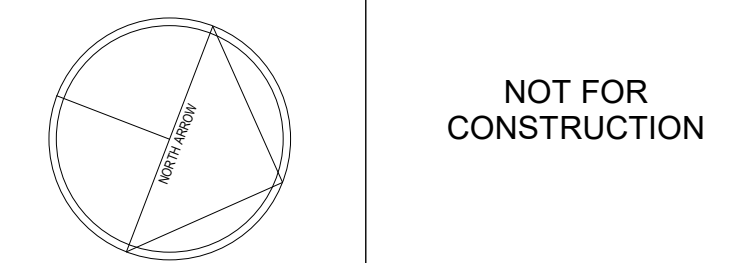
ISSUED FOR:  
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Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

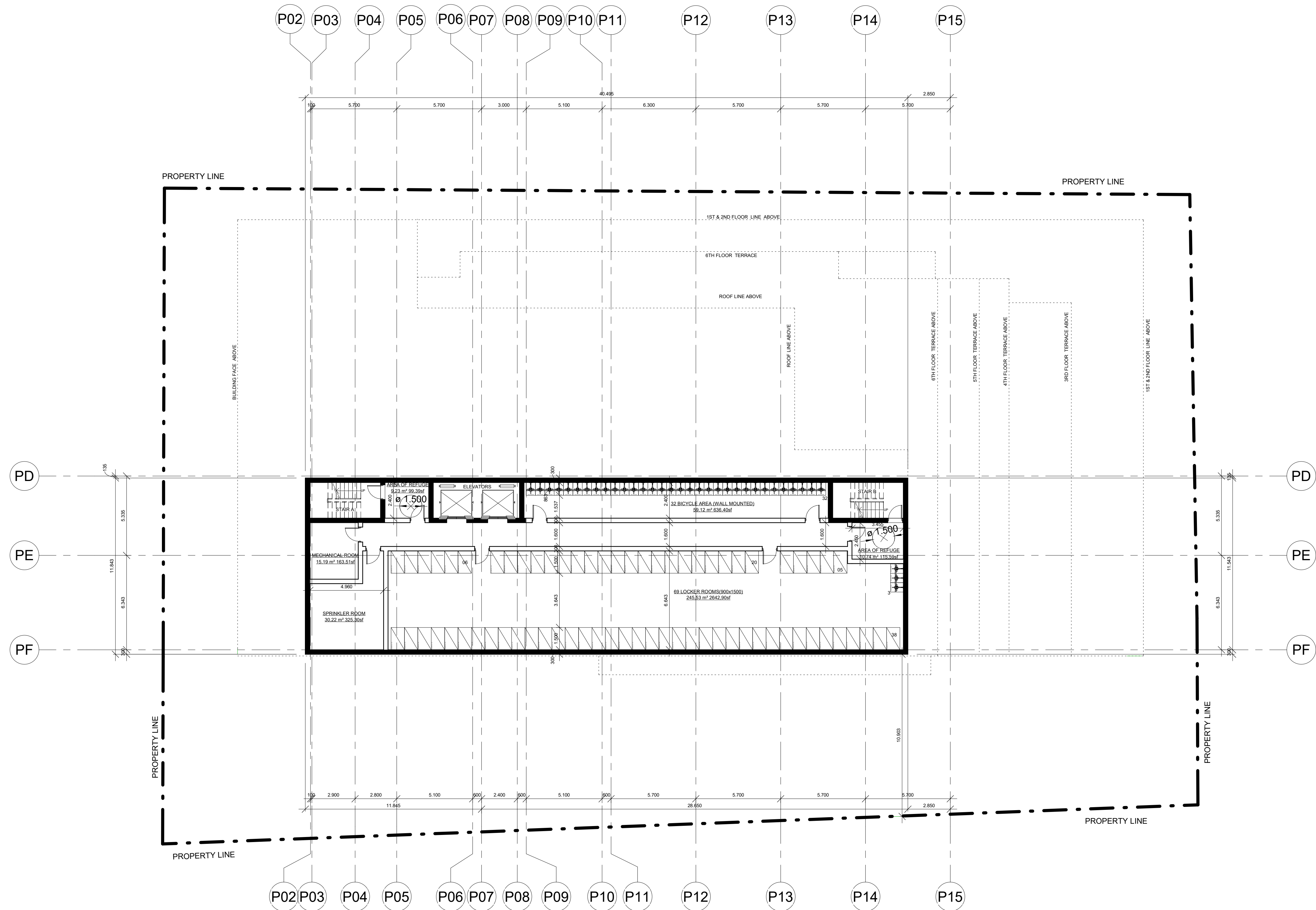
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**UNDERGROUND FLOOR PLAN**

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Orientation		Stamp			



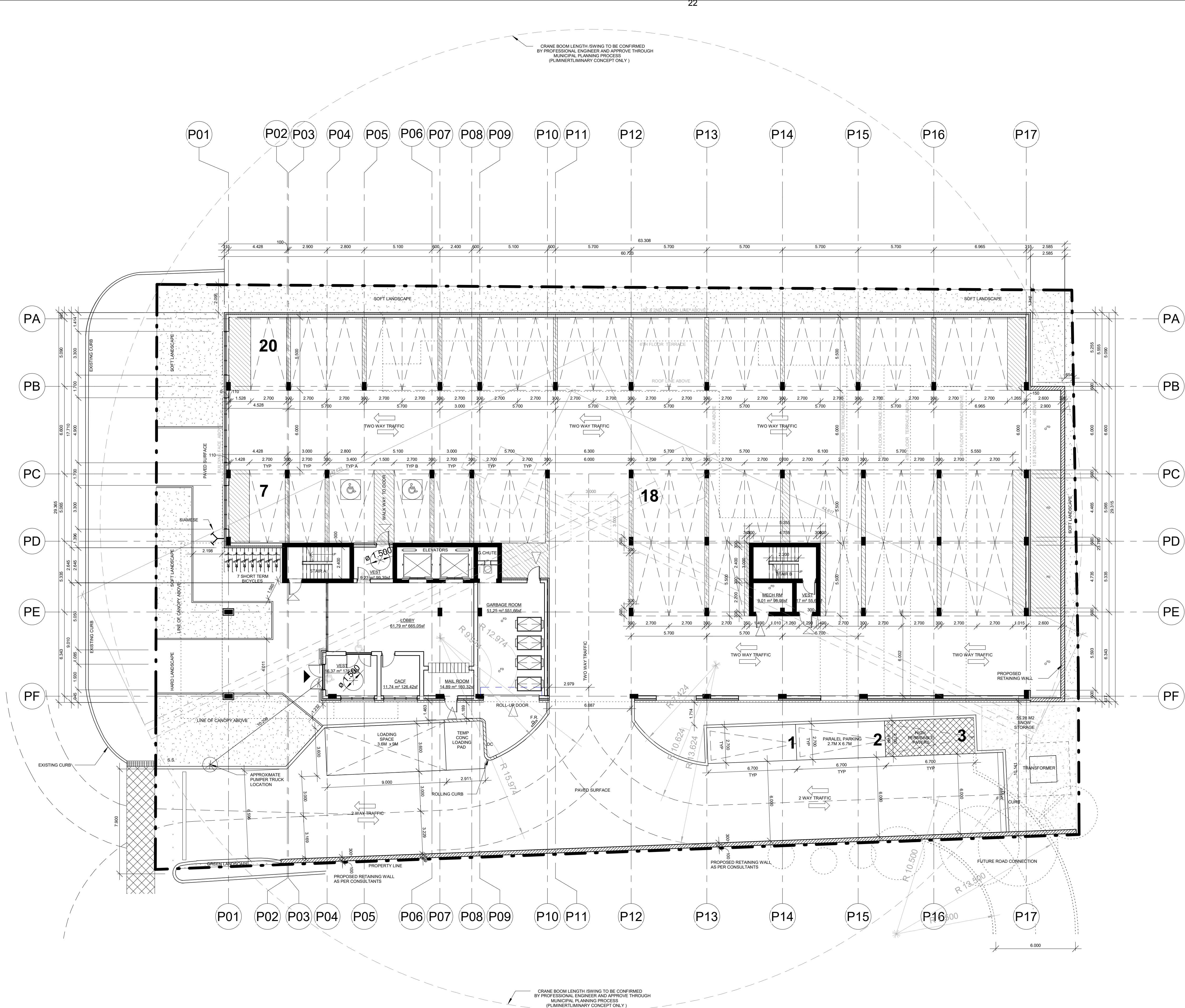
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**S19028**

Drawing No.  
**A210**



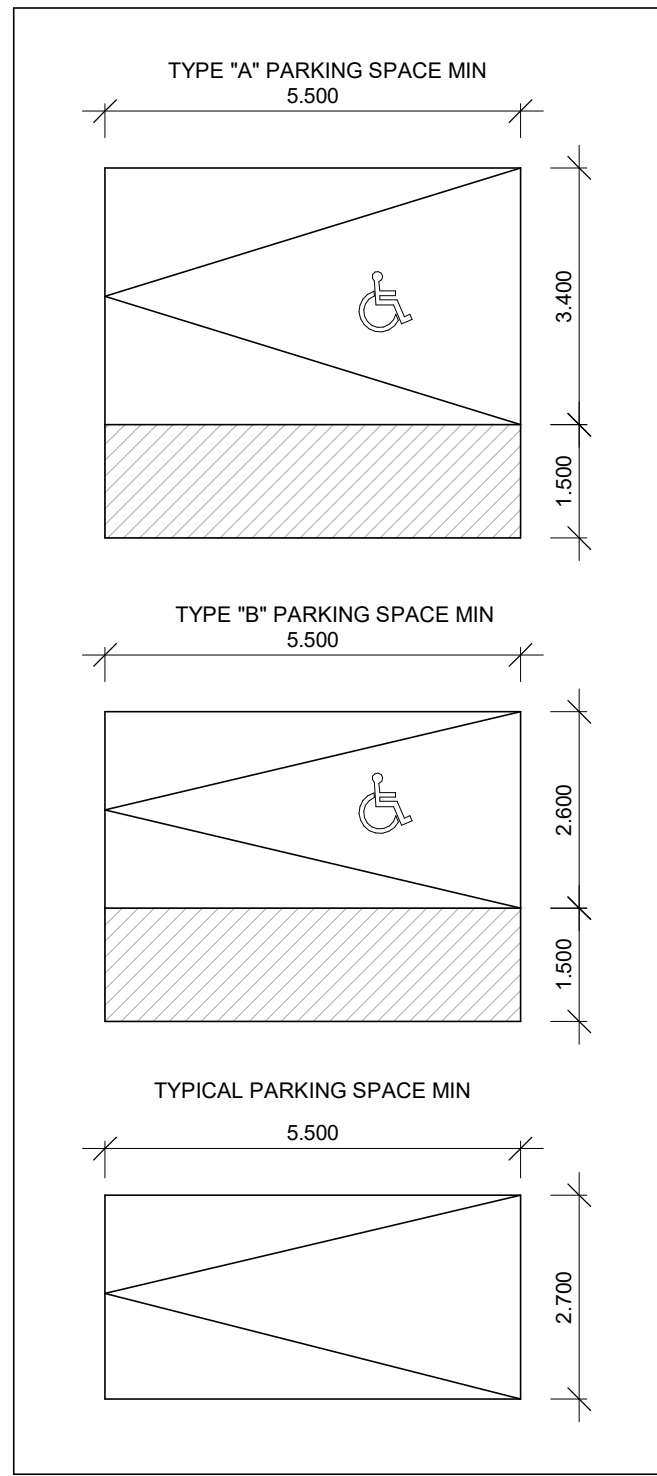
AREA OF FLOOR PLATE (NOT INCLUDING BALCONY/TERRACES)	479.58 SQM / 5162.12 SF
---------------------------------------------------------	-------------------------

**1** **Underground Floor Plan**  
1 : 150



AREA OF FLOOR PLATE (NOT INCLUDING BALCONY, TERRACES AND PARKING SPOTS AREA)	232.75 SQM / 52505.30 SF
# OF PARKINGS	48

1 Ground Floor Plan  
1 : 150



2 Parking Diagram  
1 : 100

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1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020

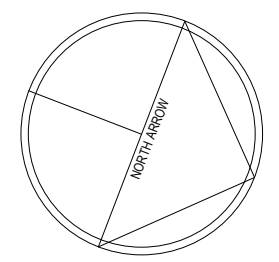
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Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**GROUND FLOOR PLAN**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:25 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			



Project No.  
**S19028**  
Drawing No.  
**A300**

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CONSTRUCTION



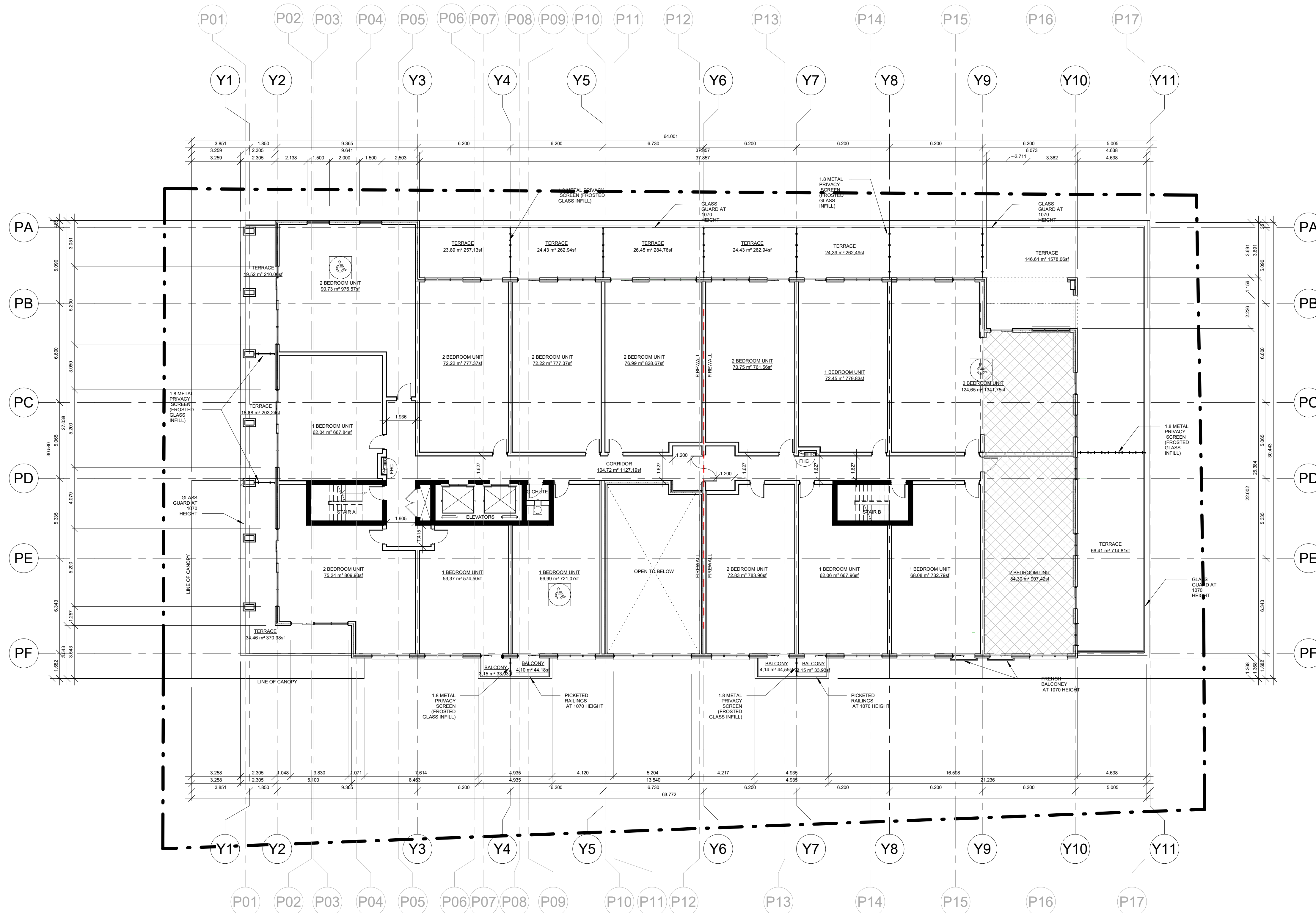
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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020



AREA OF FLOOR PLATE	1278.28 SQM / 13759.29 SF
(NOT INCLUDING BALCONY/TERRACE)	
NUMBER OF UNITS	
1 BEDROOM	6
2 BEDROOM	9
TOTAL	15

1 2nd Floor Plan  
1 : 150

ISSUED FOR:

### REVIEW

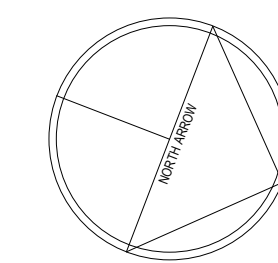
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Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**2ND FLOOR PLAN**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:29 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			



Project No.  
**S19028**

NOT FOR  
CONSTRUCTION

Drawing No.  
**A301**

ISSUED FOR:

**REVIEW**

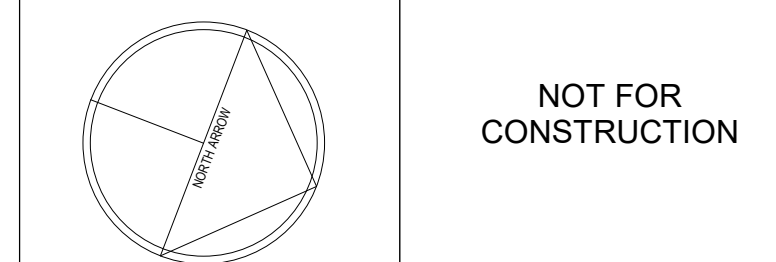
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Project

**Neuhaus Developments**

Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:32 AM	Drawn by:	EJ	Approved by:	-
Orientation	Stamp				



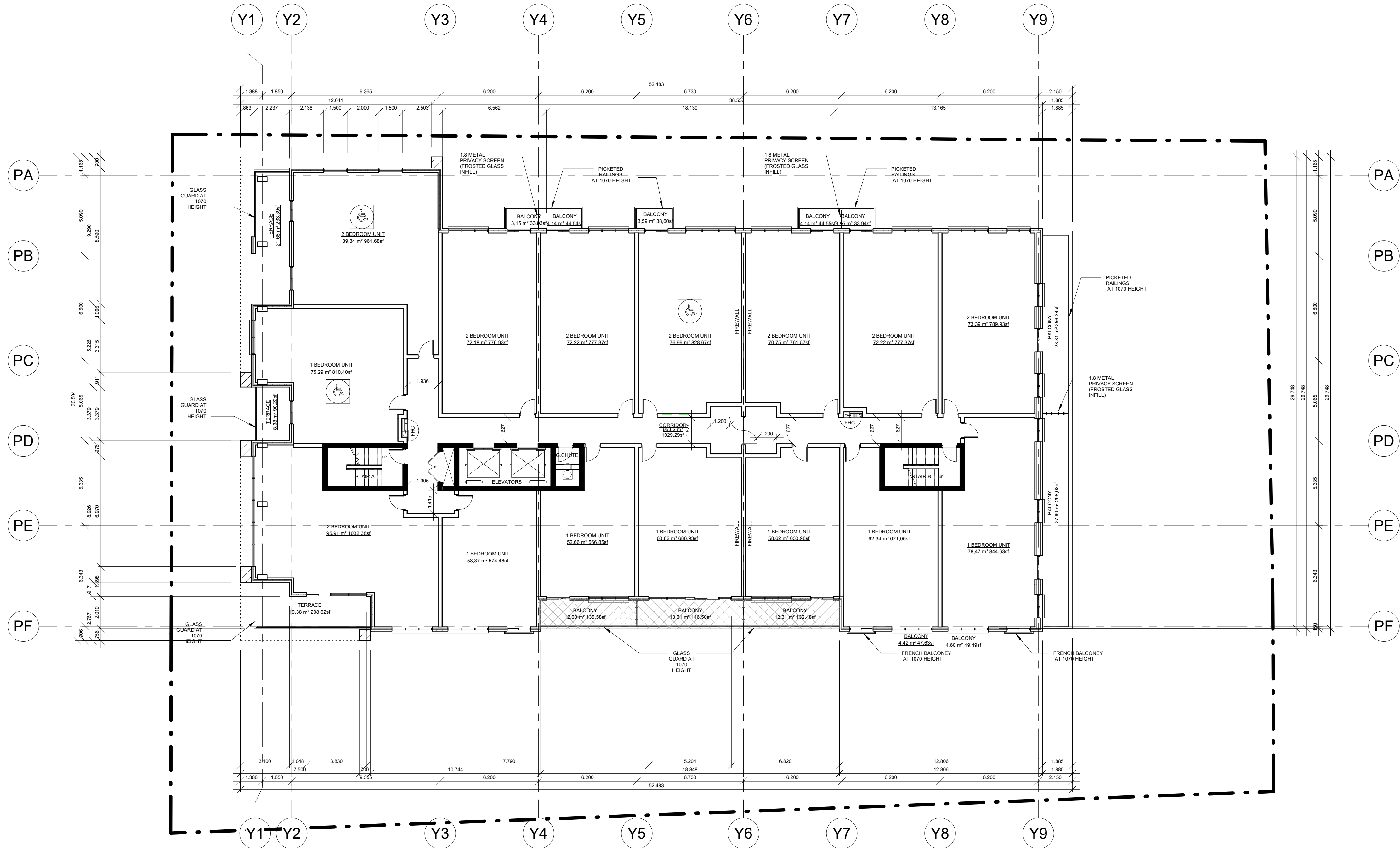
AREA OF FLOOR PLATE (NOT INCLUDING BALCONY / TERRACES)	1250.76 SQM / 13463.07 SF
NUMBER OF UNITS	
1 BEDROOM	6
2 BEDROOM	9
TOTAL:	15

1 3rd Floor Plan  
1 : 150



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2	ISSUED TO CLIENT REVIEW	17.03.2020



AREA OF FLOOR PLATE (NOT INCLUDING BALCONY/TERRACES)	1211.82SQM / 13043.92 SF
NUMBER OF UNITS	
1 BEDROOM	7
2 BEDROOM	8
TOTAL:	15

1 4th Floor Plan  
1 : 150

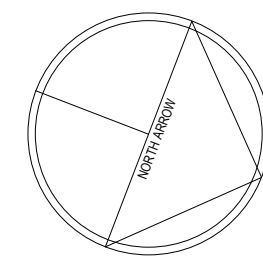
ISSUED FOR:  
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Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**4TH FLOOR PLAN**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:35 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			



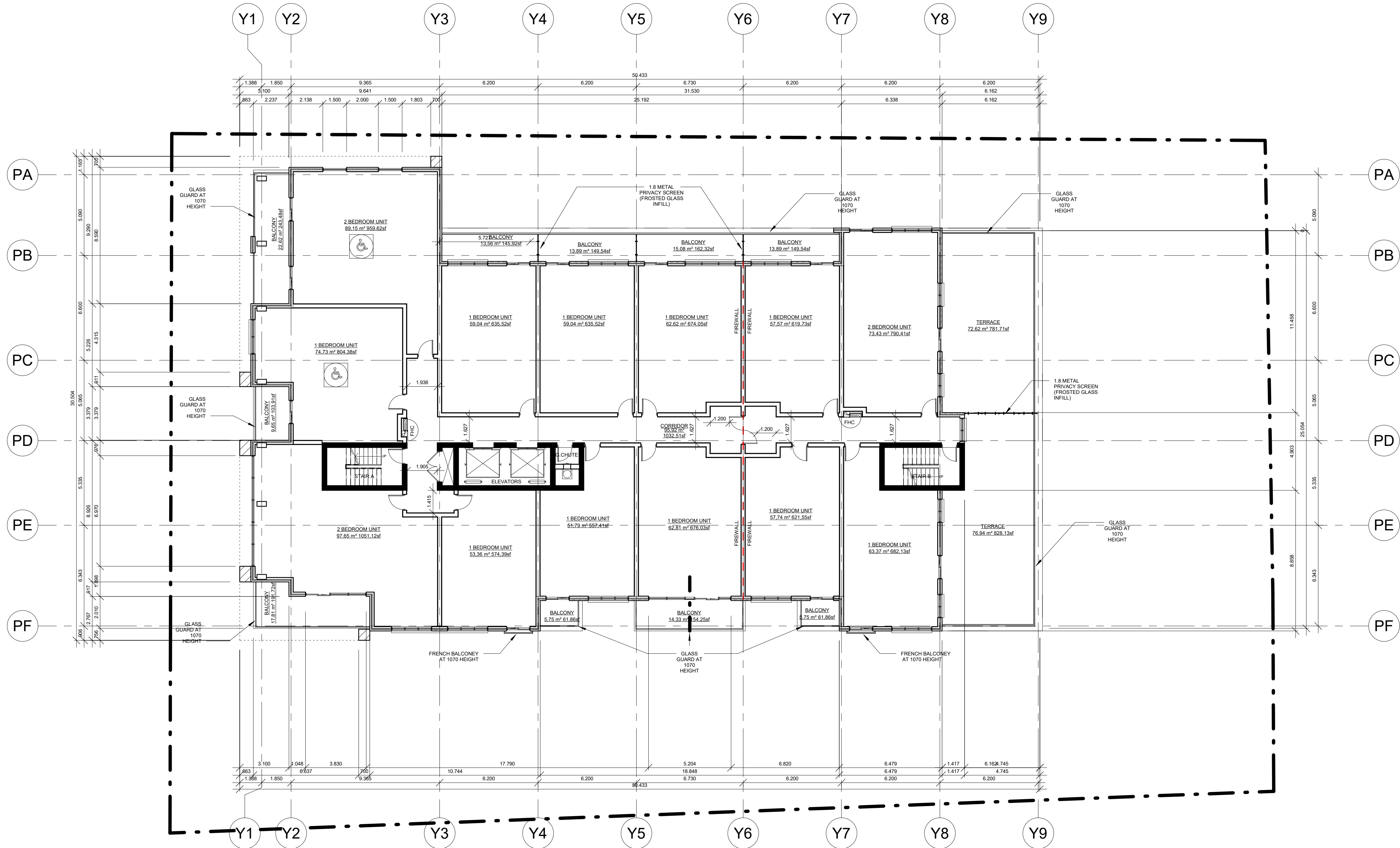
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Project No.  
**S19028**  
Drawing No.  
**A303**



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2	ISSUED TO CLIENT REVIEW	17.03.2020



AREA OF FLOOR PLATE (NOT INCLUDING BALCONY/TERRACES)	1007.27 SQM / 10842.16 SF
NUMBER OF UNITS	
1 BEDROOM	10
2 BEDROOM	3
TOTAL:	13

1 5th Floor Plan  
1 : 150

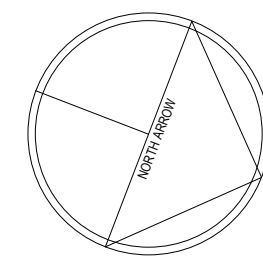
ISSUED FOR:  
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Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

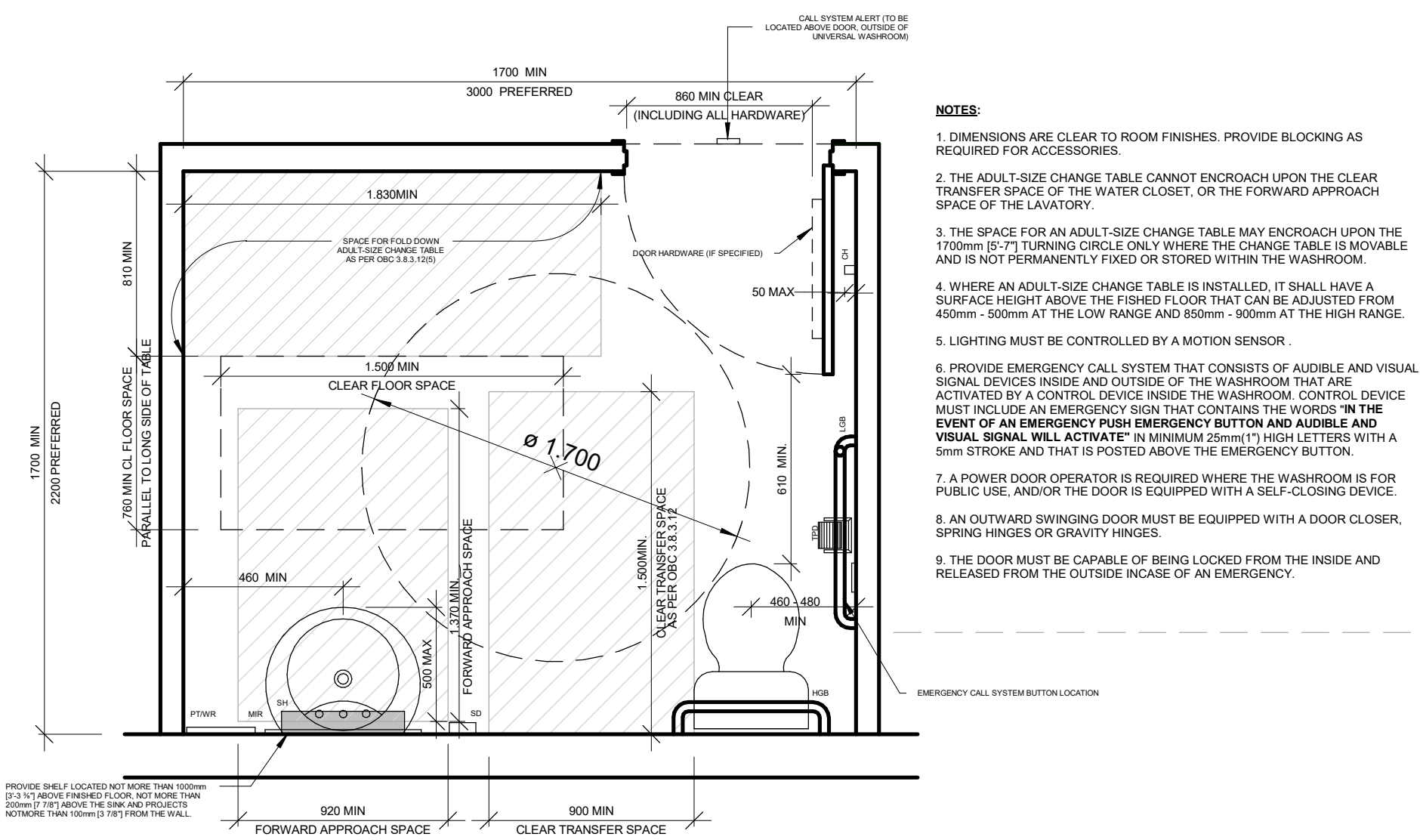
Drawing:  
**5TH FLOOR PLAN**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:39 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			



NOT FOR  
CONSTRUCTION

Project No.  
**S19028**  
Drawing No.  
**A304**

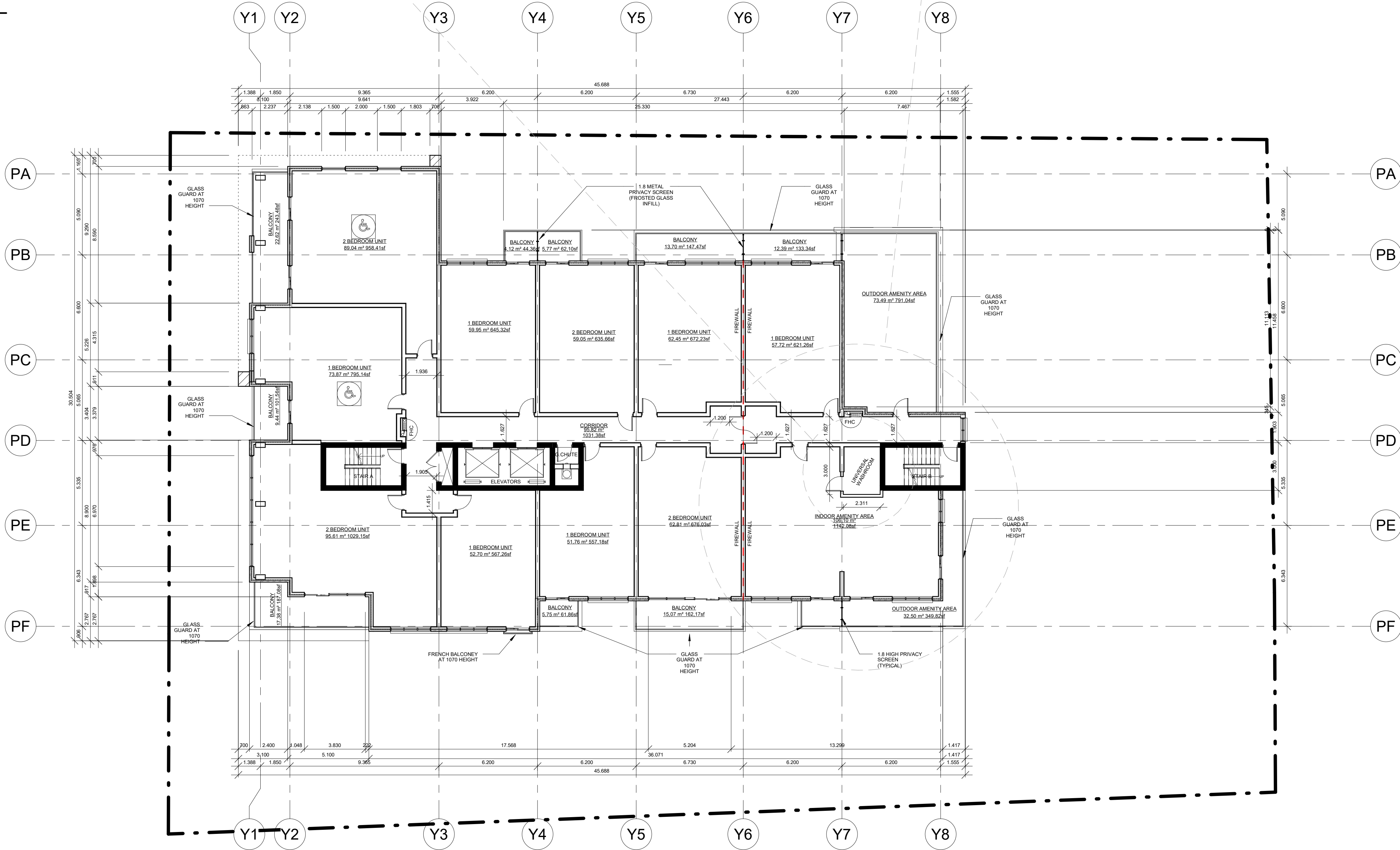


WASHROOM LEGEND	
WALL	WALL
FLOOR	FLOOR
CEILING	CEILING
DOOR	DOOR
TOILET	TOILET
VANITY	VANITY
SHOWER	SHOWER
STAIR	STAIR
ENTRY	ENTRY
EXIT	EXIT
ENTRY	ENTRY
EXIT	EXIT

PRIVATE AMENITY SPACE	AS PER BY-LAW 2018-48	
	REQUIRED	PROVIDED
INDOOR		
2 SQM PER UNIT	68 x 2 = 136 SQM	107.57 SQM
OUTDOOR		
2 SQM PER UNIT	68 x 2 = 136 SQM	105.99 SQM
TOTAL:	272 SQM	213.56 SQM

### 3 Universal Washroom

N.T.S



AREA OF FLOOR PLATE (NOT INCLUDING BALCONY/TERRACE)	916.15 SQM / 1128.59 SF
NUMBER OF UNITS	6
1 BEDROOM	4
2 BEDROOM	10
TOTAL:	

### 1 6th Floor Plan

1 : 150



This drawing has been created electronically.

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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020

ISSUED FOR:

### REVIEW

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Client

**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

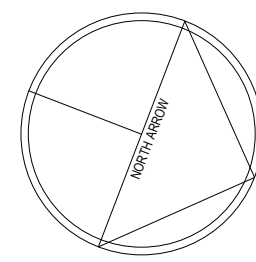
Project

**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:

**6TH FLOOR PLAN**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:42 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			



Project No.

**S19028**

NOT FOR CONSTRUCTION

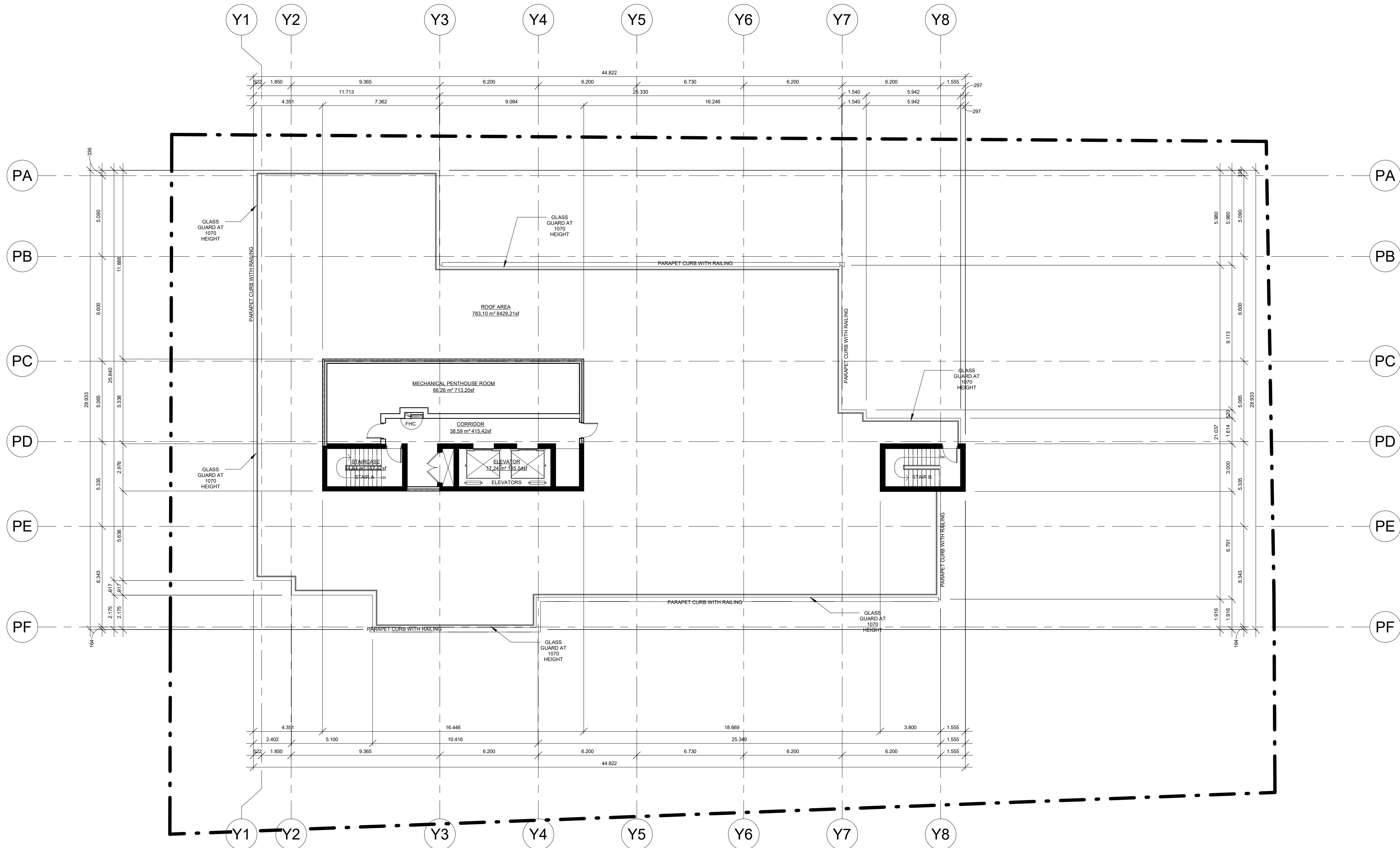
Drawing No.

**A305**



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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020



AREA OF FLOOR PLATE	104.85 SQM / 1128.59 SF
---------------------	-------------------------

1 Mechanical Penthouse  
1 : 150

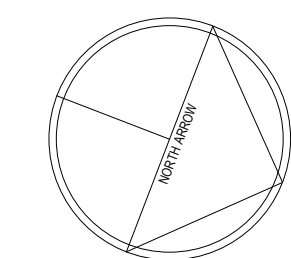
ISSUED FOR:  
**REVIEW**  
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Client  
**Neuhaus Developmens-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**Mechanical Penthouse**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:07:45 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			



NOT FOR  
CONSTRUCTION

Project No.  
**S19028**  
Drawing No.  
**A306**



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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020



**1 West Elevation**  
1 : 100

ISSUED FOR:

### REVIEW

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Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**WEST ELEVATIONS**

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:08:02 AM	Drawn by:	EJ	Approved by:	-
Orientation		Stamp			

NOT FOR  
CONSTRUCTION

Project No.  
**S19028**

Drawing No.  
**A400**

No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020

ISSUED FOR

## REVIEW

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Client Neuhaus Developmens-108  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project

# Neuhaus Developments

Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

SOUTH ELEVATIONS

Project No.	S19028	Designed by:	GR	Checked by:	GR
Time Stamp:	2020-04-02 9:08:18 AM	Drawn by:	EJ	Approved by:	-
Orientation	Stamp				

NOT FOR  
CONSTRUCTION

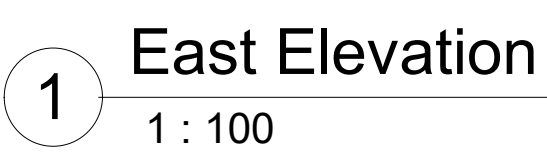
Project No.	Drawing No.
<b>S19028</b>	<b>A40</b>



2 South Elevation  
1 : 100



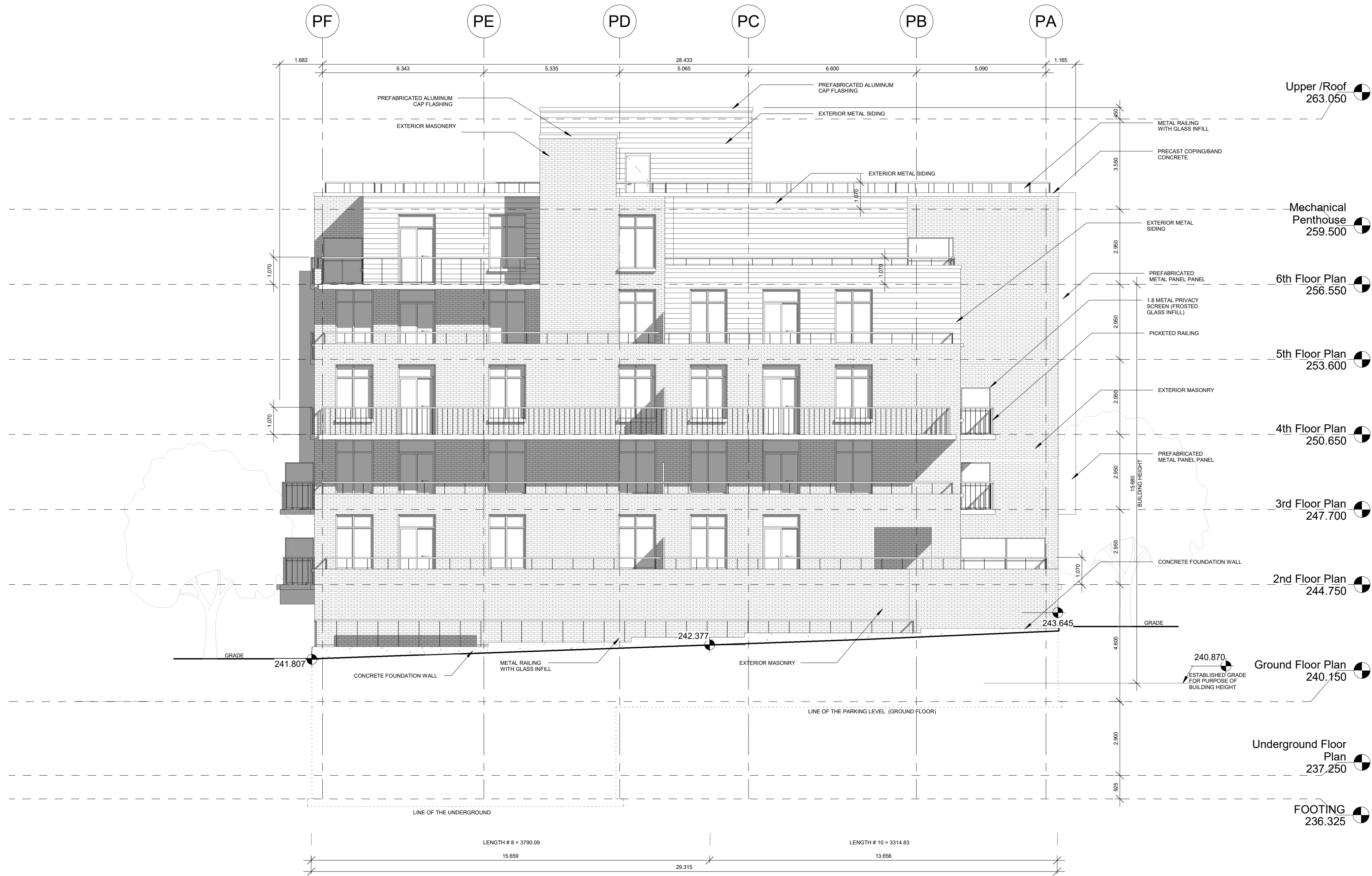
No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020



Project No.	Drawing No.
<b>S19028</b>	<b>A402</b>

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No.	Issuance Description	YY/MM/DD
1	ISSUED TO SPA	03.02.2020
2	ISSUED TO CLIENT REVIEW	17.03.2020



ISSUED FOR:  
**REVIEW**  
DRAWINGS "REVIEW" ARE NOT TO BE USED FOR PERMIT APPLICATIONS OR CONSTRUCTION UNTIL SO AUTHORIZED BY THE CONSULTANT.

Client  
**Neuhaus Developments-108**  
Stouffville Rd, Richmond Hill, ON,  
L4E 3P3

Project  
**Neuhaus Developments**  
Mid-Rise Condo  
345 & 351 Davis Dr, Newmarket  
Ontario

Drawing:  
**NORTH ELEVATION**

Project No.	S19028	Designed by Designer	Checked by Checker
Time Stamp:	2020-04-02 9:08:43 AM	Drawn by: Author	Approved: Approver
Orientation		Stamp	

NOT FOR  
CONSTRUCTION

Project No.  
**S19028**

Drawing No.  
**A403**



Suggested Plant Material List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
AXF	1	Acer x freemanii "Jeffersred"	Jeffersred Freeman Maple	70 mm		B.&B.	High	Yes	Full Form
GSS	2	Gleditsia triacanthos "Shademaster"	Shademaster Honey-Locust	70 mm		B.&B.	High	Cultivar	Full Form
DECIDUOUS MULTI-STEM SHRUBS									
ACB	3	Amelancier canadensis "Ballerina"	Ballerina Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
DECIDUOUS SHRUBS									
CNS	32	Cornus sericea	Red Osier Dogwood	80 cm		C.G.	High	Yes	Full Form
SJL	48	Spirea japonica "Little Princess"	Dwarf Red Spirea	60 cm		C.G.	High	No	Full Form
CONIFEROUS SHRUBS									
TCF	17	Taxus x media "Fairview"	Fairview Yew		65 cm	C.G.	Med.	No	Full Form
ORNAMENTAL GRASSES									
CAC	72	Calamagrostis acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass			5 Gal.	High	Cultivar	Full Form
PAL	16	Pennisetum alopecuroides "Hameln"	Hameln Dwarf Fountain Grass			1 Gal.	High	No	Full Form
PERENNIALS									
GER	40	Geranium "Rozanne"	Hardy Cranesbill Geranium			1 Gal.	High	Yes	Full Form
HSD	20	Hemerocallis "Stella D'oro"	Stella D'oro (Yellow) Daylilies			1 Gal.	High	No	Full Form

Legend

Property Line

Proposed Deciduous Tree

Proposed Coniferous Tree

Proposed Shrub/Perennial

Prop. Sodded Area Typ.

Coloured & Textured Concrete Paving Typ.

Prop. Unit Paving Type 2

Detail Reference Key

Plant Material Reference Key

Proposed Bike Ring

Key Map

msla

MARTON SMITH LANDSCAPE ARCHITECTS

170 The Donway W Suite 206,  
Toronto, Ontario, Canada. M3C 2G3  
tel. 416.492.9966 | email: info@msla.ca

Architect:

S&N

ARCHITECTS

8395 Jane St. Suite 202 | Vaughan, ON L4K 5Y2  
tel. 905.417.5515 | info@srnarchitects.com

Client/Owner:

Municipality:

Notes:

02	Issued for Review	04/15/20
01	Issued for Review	03/06/20
No.	Revision	Date

North:

Stamp:

ASSOCIATION OF LANDSCAPE ARCHITECTS  
ONL  
MEMBER SINCE 2015

Project:  
**Proposed Residential Development**  
345-351 Davis Drive  
Newmarket, Ontario

Scale: **1:150** Date: **Feb 2020**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:

**Landscape Plan**

Project No. **20118** Sheet No. **L1-01**

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Client/Owner:

Municipality:



Notes:

REFER TO PLAN FOR LOCATION

LANDSCAPE SPECIFICATIONS

CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.

**ROUGH GRADING**

ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTHLY ALL TOPS AND TOES OF SLOPES. COMPACT ALL AREAS TO 95% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAIL.

**FINE GRADING**

FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 33 1/3% (3:1).

**SPREADING OF TOPSOIL**

SCARIFY THE SUBSOIL PRIOR TO THE SPREADING OF THE TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE-TEXTURED EVEN SURFACE. ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE. TOPSOIL IS TO BE COMPACTED TO CREATE A FIRM AND EVEN SURFACE.

**SOD**

USE NO. 1 GRADE TURFGRASS NURSERY SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF COMPACTED TOPSOIL, AND SHALL BE SODDED WITH #1 KENTUCKY BLUEGRASS - FESCUE. NO SOD SLOPES ARE TO EXCEED 3:1. SLOPE IN EXCESS OF 4:1 TO BE PEGGED.

**MINERAL FERTILIZER**

APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER REQUIREMENTS.

1. SODDED AREAS - 11% NITROGEN, 8% PHOSPHORUS AND 4% POTASH (1:1-8-4) AT THE RATE OF 4.5 KG OVER M2 (10 LBS OVER 1000 SQ. FT.).

2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (4 OZ.) FOR EVERY BUSHEL OF TOPSOIL.

**PREPARATION OF PLANTING BEDS**

ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. MIN 450mm (18"). BACKFILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTING OF SIX (6) PARTS OF SAND LOAM, ONE (1) PART OF FINELY PULVERIZED PEAT MOSS, TWO (2) PARTS OF WELL-ROTTED MANURE AND THE MINERAL FERTILIZER AS SPECIFIED ABOVE. ALSO ADD 18 KILOS (BONEMEAL) CUBIC METER OF PLANTING SOIL (1 LB. CUBIC YARD). PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE JOB SITE.

NOTE: IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

**PLANT MATERIALS**

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND SPECIES.

ALL SHRUB AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, 3/8" OR 5/8" UNLESS OTHERWISE NOTED. BARE ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OR LATE FALL PLANTING SEASON. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

REFER TO PLAN FOR LOCATION

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE PLANTED AS DETAILED & AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 75mm (3"). FOR GUYING AND STAKING TREES, REFER TO PLANTING DETAILS. WRAP ALL DECIDUOUS TREES UNDER EXPERIENCED SUPERVISION ONLY TO THE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION.

PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING.

THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.

\* MULCH - SHREDDED PINE MULCH BY "GRO BARK" OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE INSTALLATION.

**GENERAL MAINTENANCE**

PROPER MAINTENANCE PROCEDURES ARE TO BE FULLY ADMINISTERED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK, IN ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS (SECTION 1E - MAINTENANCE WORK). THIS SHALL APPLY ONLY DURING THE CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOD AND PLANTINGS UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

**RODENT PROTECTION**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM RODENT INJURY FOR THE DURATION OF GUARANTEE PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS TO BE 150MM DIA. P.V.C PIPE OR AS MUNICIPAL GUIDELINES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 50MM (2") OUT FROM THE TREE TRUNK ON ALL SIDES.

ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

**GENERAL REQUIREMENTS**

USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION, THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO AND WITH THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIAL TRUE TO NAME, SIZE AND GRADE AS SPECIFIED ON PLANTING PLAN. PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN OR BUNDLE.

OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VIABLE, FREE FROM PEST AND DISEASE AND UNDAMAGED. CHECK LOCATIONS AND OBTAIN STAKEOUTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF CONSTRUCTION. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PROCESS AND COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERCEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO REVIEW ALL DOCUMENTS.

**GUARANTEE PERIOD**

PROVIDE ONE FULL YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS DEPENDING ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

REFER TO PLAN FOR LOCATION

NEWMARKET DECIDUOUS TREE PLANTING DETAIL

REMOVE BROKEN, DEAD OR ANY DISEASED BRANCHES ACCORDING TO STANDARD HORTICULTURAL PRACTICES. DO NOT CUT LEADER.

BEST SIDE TOWARD VIEW

3mm (NO. 11 GA) GALVANIZED WIRE ENCASED IN REINFORCED RUBBER HOSE AT POINTS OF CONTACT WITH TREE

400X100, FLEXIBLE PLASTIC RODENT COLLAR

2400mm (8 FEET) 1" RAIL, MIN. 1500mm ABOVE GRADE AND CLEAR OF ALL BRANCHES. MIN. 2" RAIL PER TREE TO BE ALIGNED WITH PREVAILING WINDS

100mm (4 INCHES) SHREDDED CEDAR GRO-BARK MULCH KEEP MULCH 150MM AWAY FROM TRUNK. CUT AND REMOVE ALL WIRE, ROPE AND BURLAP FROM AROUND THE TRUNK AND TOP 1/3 OF THE ROOTBALL. REMOVE ALL CUT WIRE AND NYLON ROPE FROM SITE.

100mm (4 INCHES) HIGH TEMPORARY TOPSOIL SAUCER

FINISHED GRADE

PREPARED TOPSOIL TO BE 100% NATIVE TOPSOIL, FREE OF STONES, LUMPS OF CLAY GREATER THAN 25mm (1 INCH) AND ALL ROOTS OR OTHER EXTRANEOUS MATERIAL

SCARIFY PIT SIDES

TOPSOIL TO BE TAMPED TO MINIMIZE SETTLEMENT

UNDISTURBED SUBGRADE

NOTES:

1. PLANT TREE PLUMB AND KEEP PLUMB THROUGHOUT WARRANTY / MAINTENANCE PERIOD. SPECIMEN TREES TO BE THE ORIGINAL UPHILL. GRADE MEASURED OPPOSITE THE TRUNK.
2. NO WEAK GRAFT UNIONS WILL BE ACCEPTED.
3. NO TREE PIT SHALL BE LEFT OPEN OVERNIGHT.
4. ROOT BALL CROWN SHALL BE POSITIONED GENERALLY 50mm ABOVE THE ORIGINAL UPHILL. GRADE MEASURED OPPOSITE THE TRUNK.

REFER TO PLAN FOR LOCATION

NEWMARKET TREE PLANTING ON A SLOPE

ONE UNPRUNED SINGLE CENTRAL LEADER (UNLESS MULTISTEM SPECIES IS SPECIFIED) PREVIOUS 2 YEAR ELONGATION TO BE TYPICAL FOR SPECIES

15mm NON-ABRASIVE PLIABLE RUBBER OR SYNTHETIC HOSE

2400mm (8 FEET) 1" RAIL, MIN. 1500mm ABOVE GRADE AND CLEAR OF ALL BRANCHES. MIN. 2" RAIL PER TREE TO BE ALIGNED WITH PREVAILING WINDS

BURLAP STRIP WRAPPING - TREES TO BE WRAPPED. REMOVE UPON COMPLETION OF PLANTING OR WHEN DIRECTED BY LANDSCAPE ARCHITECT

400mm X 100mm FLEXIBLE PLASTIC RODENT COLLAR

150mm SPACE BETWEEN BASE OF TRUNK AND EDGE OF MULCHING

75mm SHREDDED BARK MULCH UNLESS OTHERWISE NOTED IN TENDER

TOPSOIL SAUCER EDGE OF ROOTBALL

MATCH TO EXISTING GRADE

FERTILIZE WITH TWO 21 GRAM AGRIFORM TABLETS FOR EACH 25mm (1") OF TRUNK DIAMETER. INSTALL 6-8" DEEP, PLACED 2" FROM ROOT BALL

TOP 1/3 WIRE AND BURLAP TO BE CUT & REMOVED FROM ROOTBALL OFF-SITE. DO NOT BURY. ROOTBALL TO BE FIRM AND SECURE

KERF AND LOOSEN SOIL AROUND EDGES OF PLANTING PIT. GRAZED SIDES WILL NOT BE ACCEPTED. DO NOT ALLOW AIR POCKETS WHEN BACKFILLING. PLANTING SOIL MIXTURE AS SPECIFIED. WATER SOIL WHEN PLANTING PIT IS HALF FULL

TOPSOIL TAMPED TO PREVENT SETTLEMENT

NOTES:

1. PLANT TREE PLUMB AND KEEP PLUMB THROUGHOUT WARRANTY / MAINTENANCE PERIOD. SPECIMEN TREES TO BE THE ORIGINAL UPHILL. GRADE MEASURED OPPOSITE THE TRUNK.
2. NO WEAK GRAFT UNIONS WILL BE ACCEPTED.
3. NO TREE PIT SHALL BE LEFT OPEN OVERNIGHT.
4. ROOT BALL CROWN SHALL BE POSITIONED GENERALLY 50mm ABOVE THE ORIGINAL UPHILL. GRADE MEASURED OPPOSITE THE TRUNK.

REFER TO PLAN FOR LOCATION

NEWMARKET CONIFEROUS TREE PLANTING DETAIL

REMOVE ANY BROKEN, DEAD, OR DISEASED BRANCHES ACCORDING TO STANDARD HORTICULTURAL PRACTICES

BEST SIDE TOWARD VIEW

3mm (NO. 11 GA) GALVANIZED WIRE ENCASED IN REINFORCED RUBBER HOSE AT POINTS OF CONTACT WITH TREE

2400mm (8 FEET) 1" RAIL, MIN. 1500mm ABOVE GRADE AND CLEAR OF ALL BRANCHES. 2" RAIL PER TREE TO BE ALIGNED WITH PREVAILING WINDS

100mm (4 INCHES) SHREDDED CEDAR GRO-BARK MULCH KEEP MULCH 150MM AWAY FROM TRUNK. CUT AND REMOVE ALL WIRE, ROPE AND BURLAP FROM AROUND THE TRUNK AND TOP 1/3 OF THE ROOTBALL. REMOVE ALL CUT WIRE AND NYLON ROPE FROM SITE.

150mm (4 INCHES) HIGH TEMPORARY TOPSOIL SAUCER

FINISHED GRADE

PREPARED TOPSOIL TO BE 100% NATIVE TOPSOIL, FREE OF STONES, LUMPS OF CLAY GREATER THAN 25mm (1 INCH) AND ALL ROOTS OR OTHER EXTRANEOUS MATERIAL

SCARIFY PIT BOTTOM TO A DEPTH OF 150mm (2 INCHES). TOPSOIL TO BE TAMPED TO MINIMIZE SETTLEMENT

UNDISTURBED SUBGRADE

NOTES:

1. SAUCER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING
2. PLANT STOCK MOVED WHILE IN LEAF SHALL BE COVERED WHILE IN TRANSIT OR IN TEMPORARY STORAGE
3. PLANT TREE SO THAT NURSERY SOIL LINE MATCHES FINISHED GRADE AFTER SETTLING
4. TAMP TOPSOIL WHEN BACKFILLING TO REMOVE AIR POCKETS
5. REMOVE ALL NURSERY TAGS, METAL OR PLASTIC
6. IN HEAVY CLAY OR POORLY DRAINED SOIL, ALL WOODY PLANTS TO BE PLACED SO THAT THE ROOT COLLAR IS POSITIONED 75MM-100MM HIGHER THAN SURROUNDING GRADE

REFER TO PLAN FOR LOCATION

STANDARD SHRUB PLANTING DETAIL

WINTER PROTECTION: Shrubs to be wrapped with burlap or approved equal during guarantee period.

PRUNING: (To suit species) Prune to remove damaged or objectionable branches following proper horticultural practice. DO NOT PRUNE LEADERS.

GUYING: As directed, appropriate to species and size of shrub

MULCHING: 102 (4") shredded bark mulch be "All Treat" or equal. Provide 102 (4") saucer.

CUT AND REMOVE: burlap from top 1/3 of ball as shown. (B.B. as per plant list)

FERTILIZER: Two (2) 21 gram Agriform tablets or approved equivalent for each shrub in bed.

PLANTING SOIL MIXTURE: (Mix thoroughly)

A. For ideal situations mix:

- 5 parts good quality topsoil
- 2 parts well rotted cow manure
- 1 part peat moss

B. For clay or wet situations:

- Contact consultants for proper soil mixture, before proceeding with work
- Add 0.58 kg (1 lb) of bonemeal per cubic yard of soil
- Soil mixture should be firmly compacted to eliminate air pockets and prevent settlement.

PREPARATION OF BED: Excavate shrub bed to size outlined on drawings, minimum 457 (18") depth. Remove any subsoil or rubbish off site unless otherwise directed.

SPACING: As directed.

FOR RODENT CONTROL: See landscape specifications or apply "Skoot" at the end of October. Note: All tree stakes, ties and guards are to be removed one year after installation by the landscape contractor.

REFER TO PLAN FOR LOCATION

COLOUR AND TEXTURED CONCRETE SPECIFICATIONS

PRODUCT: TEXTURED & COLOURED CONCRETE

4.1 TEXTURED CONCRETE PEDESTRIAN WALKWAYS PROFILE

1 Pour 5in thick slabs of air-entrained (7% + 1%), 4000 PSI, 21n slump concrete within wood or metal edge forms.

2 Compacted Base to be 6" deep Granular 'A' at 95% S.P.D. on undisturbed soil.

3 Reinforce conc. with wire mesh 6 x 6 - WALKWAY, lapped 6in between panels and with a min. of 2" of concrete to cover.

4 Screed slabs to provide drainage of min slope of 1/4in in 4ft unless indicated otherwise, refer to Engineer's Grading plan.

5 Patterns and colours to be approved prior to construction, refer to layout plan.

4.2 TEXTURED CONCRETE HEAVY DUTY PROFILE FOR VEHICULAR ROADWAYS

1 Pour 6 in. thick slabs of air-entrained (7% + 1%), 4000 PSI, 2in slump concrete within wood or metal edge forms.

2 Compacted Base to be 6 in. deep Granular 'A' at 95% S.P.D. on a Sub-Base of 8 in. deep Granular 'B' at 95% S.P.D. on undisturbed soil.

3 Reinforce conc. with: 3/8 inch diameter reinforcing bars at 24 inches on center each way with a min. of 2" of concrete to cover.

4 Screed slabs to provide drainage of min slope of 1/4in in 4ft unless indicated otherwise, refer to Engineer's Grading plan.

5 Patterns and colours to be approved prior to construction, refer to layout plan.

4.3 SUBMITTALS

1. Provide sufficient samples 8-10" sq. min. of TEXTURED CONCRETE specified to demonstrate the colour range and full pattern for each required pattern and colour.

2. Retain marked, approved samples on site for Consultants reference.

3. All colour and texture choices are at the discretion of the Landscape Architect.

All work in this section shall be TEXTURED CONCRETE or equal as designated in the plans. The work shall include all labor, materials, equipment and transportation required to install TEXTURED CONCRETE.

4.4 Related Work

A. Preparation work, including fine grading, setting forms and screeds, and furnishing and installing of reinforcing steel shall also be done by the Contractor.

TEXTURED CONCRETE Contractor shall also:

1. Provide materials; rebar, concrete, color hardener, sealer.
2. Provide special patented forming tools.
3. Place concrete.
4. Apply color hardener. (L.M. Scofield Company or approved equal)
5. Apply release agent.
6. Apply patented forming tools.
7. Apply sealer. (Penetrating sealer or approved equal)
8. Perform final cleanup

4.5 Quality Assurance

All TEXTURED CONCRETE work shall comply with the current industry specifications and quality standards. The Contractor to be qualified for this work shall provide samples of similar workmanship of completed projects within the past five years to meet the approval of the Landscape Architect.

The TEXTURED CONCRETE Contractor shall construct a field sample according to specifications to illustrate finished appearance of imprinted concrete, for each required pattern and colour.

4.6 Materials

A. Concrete Mix Design: The concrete shall have a minimum compressive strength of 4000 PSI. Portland cement shall conform to ASTM C150, Type 1, 11, or V, depending on soil conditions. Aggregates shall comply to ASTM C33.

Mixing water shall be fresh, clean and potable. An air-entraining agent complying is ASTM C260 shall be used to achieve an entrained air content in the concrete mix used in accordance with the published recommendations of the Portland Cement Association and the American Concrete Institute (for freeze thaw climates) and/or a normal-set or retard-set water reducing mixture complying with ASTM C494 may be used. Absolutely nothing containing calcium chloride is permitted in the mix.

B. Reinforcing Steel: 3/8 inch diameter "green coated" reinforcing bars at 24 inch center each way.

REFER TO PLAN FOR LOCATION

COLOUR AND TEXTURED CONCRETE PAVING DETAIL

TEXTURED CONCRETE PAVING REINFORCED WITH WELDED WIRE MESH WITH 2" MIN. COVER, CONCRETE TO BE 4000 PSI MIN.

6" DEPTH GRANULAR 'A' - COMPACTED TO 95 % S.P.D.

6" DEPTH OF 3/4" CLEAR GRAVEL COMPACTED TO 95 % S.P.D.

GRADE

2% SLOPE MIN.

5" (125 mm) PEDESTRIAN

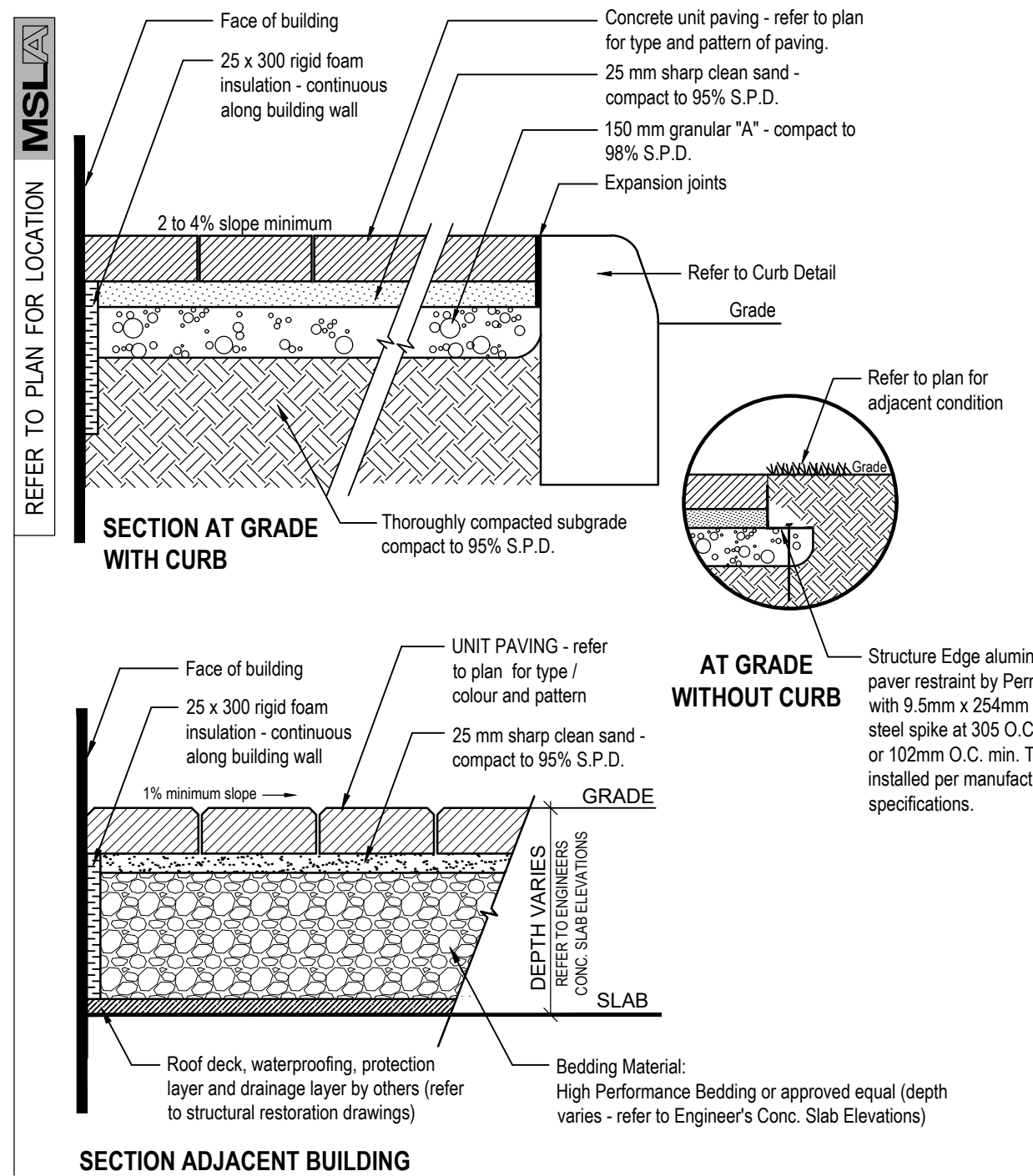
6" (150 mm) VEHICULAR

Thoroughly compacted subgrade compact to 95% S.P.D.

NOTES:

1. CONCRETE TO BE 30 MPa COMPRESSIVE STRENGTH WITH 6% + 1% PURPOSELY ENTRAINED AIR AND NOT LESS THAN 50000 M OF CEMENT. MAXIMUM SLUMP SHALL BE 75 MM
2. COLOUR AND TEXTURE TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT - PROVIDE 1000 X 1000 AREA SAMPLE TO BE CONSTRUCTED ON SITE FOR FINAL APPROVAL
3. EXPANSION JOINTS SHALL BE LOCATED ADJACENT TO EXISTING STRUCTURES (BUILDINGS, WALKS, HYDRANTS, ETC.)
4. PROVIDE CLEAN STRAIGHT EXPANSION JOINTS AT 20 FT. OC. PROVIDE CLEAN STRAIGHT CONTRACTION JOINTS AT 10 FT. OC.
5. 2% MIN AND NORMAL, SIDEWALK CROSSFALL GRADIENT IN EXCESS OF 4% SUBJECT TO APPROVAL OF THE GRADING ENGINEER.
6. ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS STRUCTURES

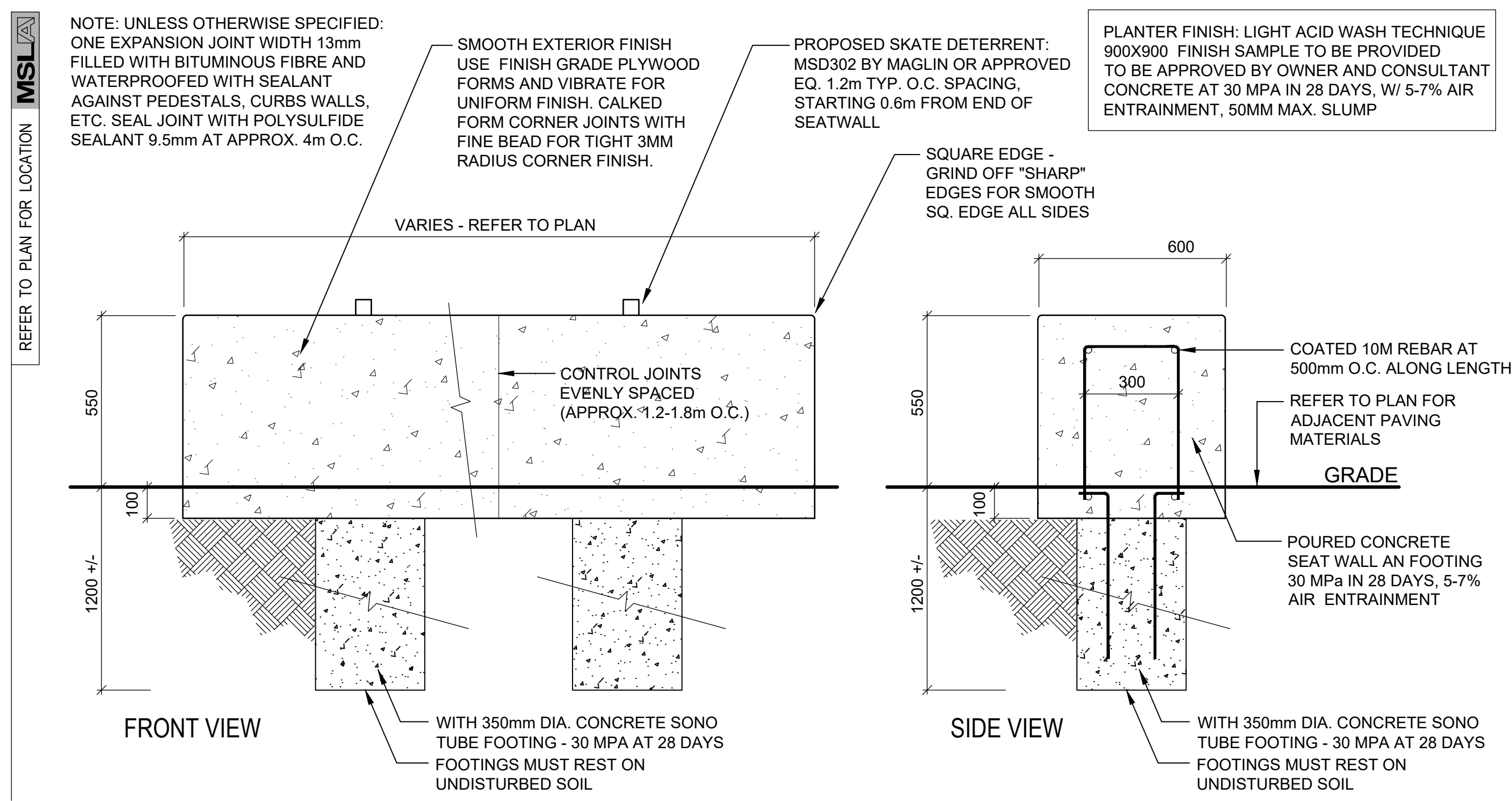




PRECAST CONCRETE PAVER INSTALLATION DETAIL

SCALE: N.T.S. SINGLE SOLDIER COURSE OPTION

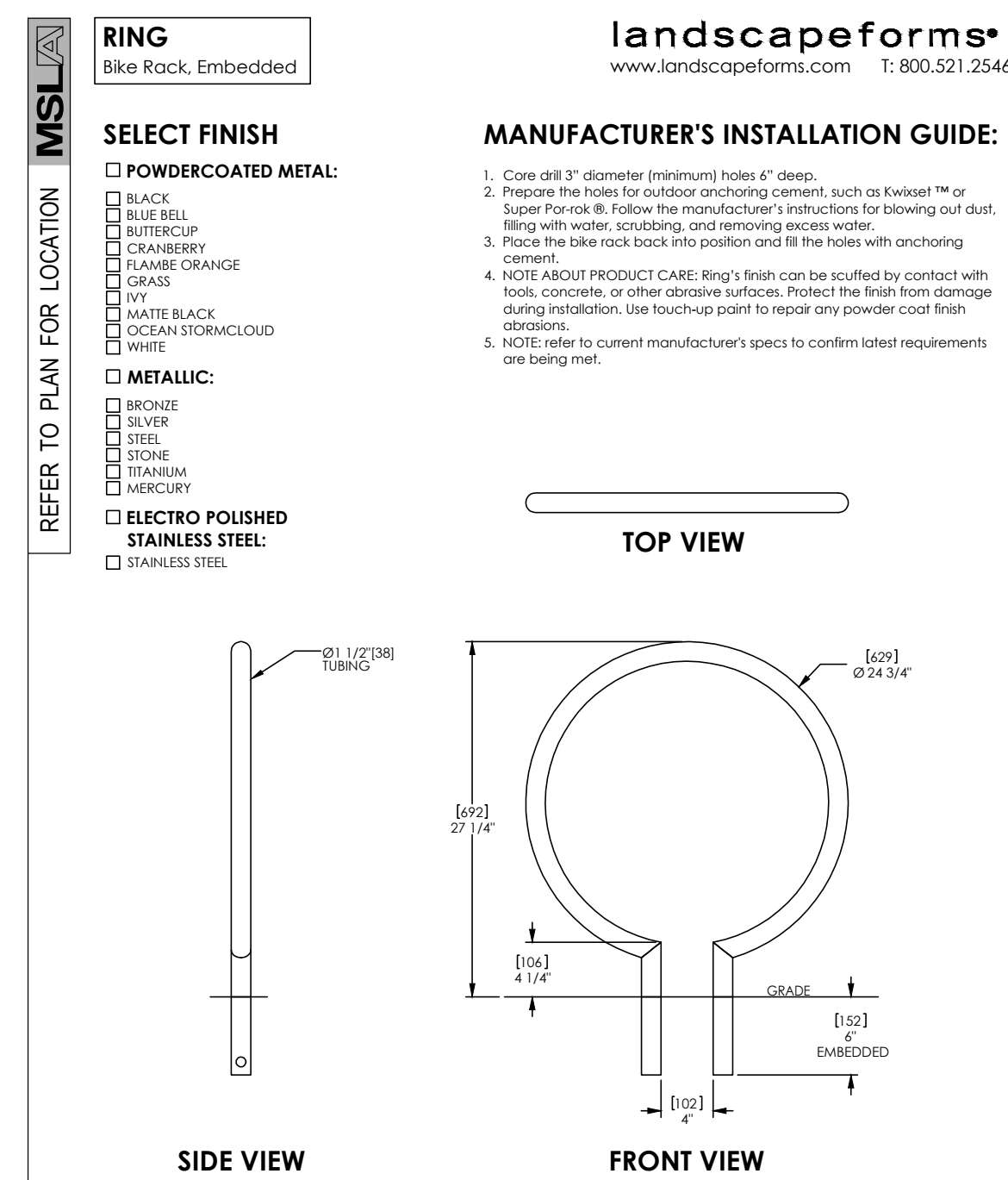
9 LD-02



550 mm HT CONCRETE SEATWALL DETAIL

SCALE: N.T.S. DATE:

10 LD-02



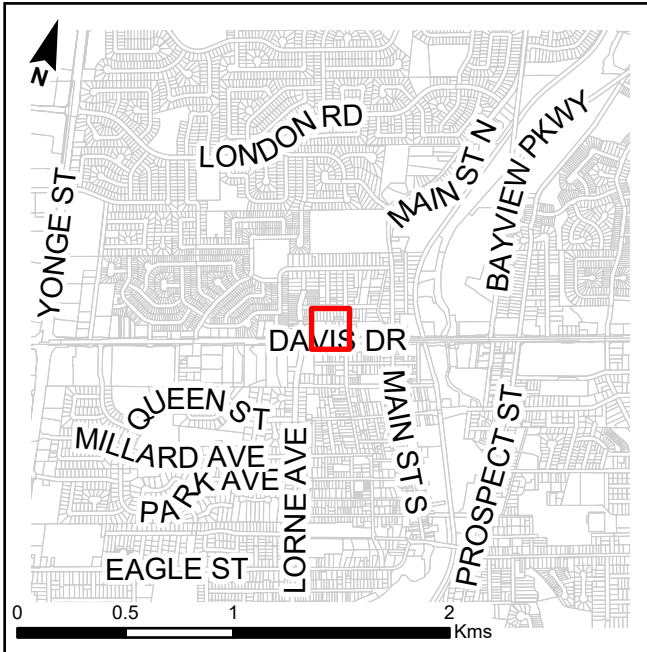
BIKE RING DETAIL - 'RING' BY LANDSCAPE FORMS

SCALE: N.T.S. DATE

11 LD-02







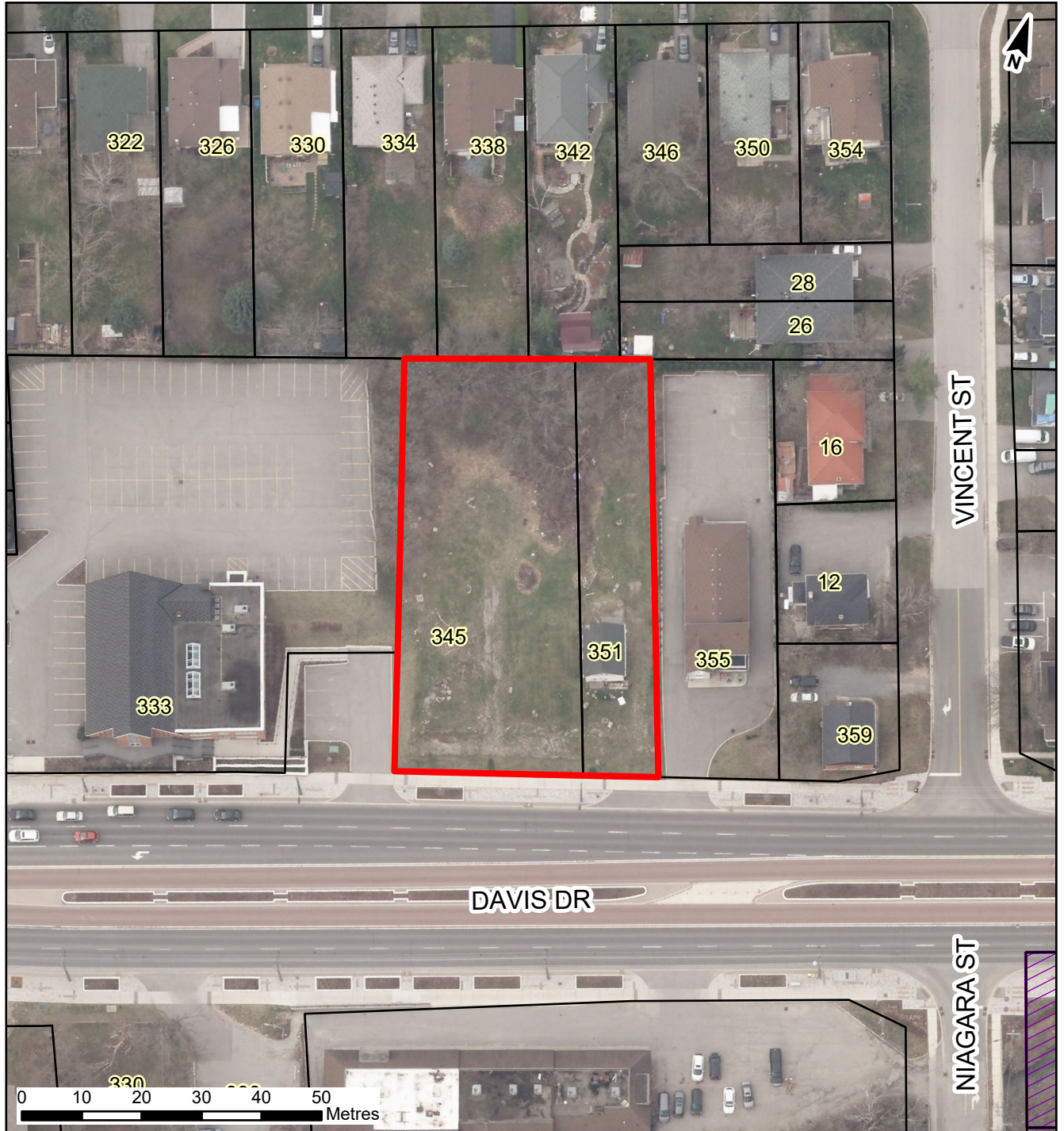


2696871 Ontario Ltd.  
345-351 Davis Drive



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Printed: 2020-09-24

-  Subject Property  
 Property Line



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## **NOTES TO COMMITTEE**

Property: 345 and 351 Davis Drive  
(north side of Davis Drive, east of Lorne Avenue)

Owner: 2696871 Ontario Ltd.

Application: Site Plan Approval to permit the development of a six-storey, 68 unit condominium apartment building on the subject lands

File Number: D11-NP-20-09

### **RECOMMENDATIONS**

1. That the presentation regarding application for Site Plan Approval for File Number D11-NP-20-09 be received;
2. That staff be directed to continue the technical review of the application to ensure conformity with the Zoning By-law, Official Plan, Secondary Plan and all other applicable policies;
3. That staff be directed to ensure full consideration is given to all comments provided by Committee;
4. That 2696871 Ontario Ltd., 108 Stouffville Road, Richmond Hill, ON L4E 3P3 be notified of this action; and
5. That Joanna Fast, Evans Planning Inc., 8481 Keele Street, Unit 12, Vaughan ON L4K 1Z7 be notified of this action.

### **Staff Comments**

- Staff are currently reviewing the applicant's first submission
- Prior to final site plan approval, servicing allocation will be required
- Approval will be required from Region of York; comments from Lake Simcoe Region Conservation Authority will need to be addressed

### **Next Steps**

The applicant will be required to provide a second submission to the Town, Region, and Lake Simcoe Region Conservation Authority for further review. The Town will require the applicant to enter into a site plan agreement.