



Town of Newmarket

Agenda

Special Council Meeting - Electronic

Date: Monday, May 25, 2020
Time: 2:00 PM
Location: Streamed live from the Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

1. Notice

At this time, the Municipal Offices remain closed to the public. This meeting will be streamed live at newmarket.ca/meetings.

Deputations

Individuals who wish to address Council in relation to an item on this agenda have 2 options available.

1. Provide comments in writing no later than 2 hours prior to the start of the meeting to clerks@newmarket.ca. These comments will be read aloud by the Mayor during the live meeting, considered with the related item, and will form part of the public record; or,
2. Join the live meeting using the Town's videoconferencing software and verbally provide your comments over video or telephone. To select this option, you must notify clerks@newmarket.ca no later than end of day Sunday, May 24, 2020 and be available to test your connection Monday morning before 12PM (noon).

2. Additions & Corrections to the Agenda

3. Conflict of Interest Declarations

4. Deputations

*4.1 Written Deputation - Tara Talbot

*4.2 Written Deputation - Steven Dobson

- *4.3 Written Deputation - Edie Andrews
- *4.4 Written Deputation - Karen Adamson
- *4.5 Written Deputation - Phil Parsons
- *4.6 Written Deputation - Patricia Marlatt

5. Items

5.1 Mulock Property - Public Engagement Summary and Design Themes

*5.1.1 Presentation - Mulock Property

Note: Lisa Rapoport, PLANT Architect Inc. and Sara Udow, Process will be in attendance to provide a presentation on the following matters:

- Public Consultation Report/Goals & Objectives
 - House - Adaptive Reuse
 - Next Steps
1. That the presentation provided by Lisa Rapoport, PLANT Architects and Sara Udow, Process regarding the Mulock Property Public Engagement Summary and Design Themes be received.

5.1.2 Staff Report - Mulock Property Master Plan Phase 1 Reporting - Public Engagement Summary and Design Themes

1. That the staff report entitled Mulock Property Master Plan Phase 1 Reporting – Public Engagement Summary and Design Themes dated May 25, 2020 be received, along with the Mulock Property Master Plan Phase 1A – Technical Memo Draft prepared by PLANT Architect Inc. dated May 15, 2020, the Mulock Property Master Plan Engagement Summary Report – Phase 1B prepared by PROCESS dated May 15, 2020, and their respective appendices; and,
2. That Staff and the Consultants be directed to proceed with Phase 2 of the Mulock Property Master Plan to prepare three (3) design options based on combinations of the five (5) design principles described herein; and,
3. That the Mulock Property no longer be considered as a potential location for a full-size outdoor ice rink; and
4. That Jim Bond Park be included in the design options for the Mulock Property; and,

5. That the proposed re-use for the house consider a range of options as described herein to allow the design of the property to move forward; and,
6. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

6. Closed Session (if required)

7. Confirmatory By-law

1. That By-law 2020-27 be enacted.

8. Adjournment

Written Deputation Request Form – May 25, 2020 Special Council Meeting - Electronic

Please complete this form to provide a written deputation at the May 25, 2020 Special Electronic Council Meeting. Please return the form to clerks@newmarket.ca – completed forms must be received by **12:00 noon Monday, May 25, 2020**. These comments will be read aloud by the Mayor during the live meeting, considered with the related item, and will form part of the public record.

Name: Tara Talbot	
Organization/Group/Business represented (if applicable):	
Address: [REDACTED]	Postal Code: [REDACTED]
Phone Number: [REDACTED]	Email: [REDACTED]
Agenda Item Number and Title (your deputation must be in relation to an item on the Agenda): 1. Notice Deputations	
Please use the space below to provide your written comments: I am writing as a long-term citizen of Newmarket and a homeowner on Osler Court. While I am open to the development of the Mulock property as a community space for the town of Newmarket, I do have many concerns. Primarily, I believe that the residents of Osler Court and Jordanray Blvd that back on to the park should have a focused consultation. Our investment and our day to day lives stand to be disrupted on a permanent basis. I purchased the property my family and I live in because it was a cul-de-sac backing onto a quiet park. I was looking for a quiet, family friendly area and I paid a premium for this location. I am totally opposed to the idea of linking Jim Bond park to the new development. The park really is an extension of our backyards, noise really carries. Additionally, I own the end unit right on the cul-de-sac and would like to see parking regulations heightened. By no means would I be in favour of this becoming a parking area for people wanting to use the Mulock property. I am also very concerned about having a parking area anywhere near the residential area – the noise, the view and the possible light pollution would be a huge deterrent. Thank you for hearing my points and I would greatly appreciate a focus group for residents of the immediate area to be consulted and have their comments/perspectives heard and acknowledged by city staff, designers and the council. I believe this should take place asap prior to advancing the design to a further stage. Thank you. Tara	

Be advised that all Council and Committee of the Whole meetings (including this meeting) are audio-video recorded and live streamed online. If you make a presentation to Council or Committee of the Whole, your presentation becomes part of the public record and you will be listed as a presenter in the minutes of the meeting. We post our minutes online, so the listing of your name in connection with the agenda item may be indexed by search engines like Google.

Personal information on this form will be used for the purposes of sending correspondence relating to matters before Council. Your name, address, comments, and any other personal information, is collected and maintained for the purpose of creating a record that is available to the general public in a hard copy format and on the internet in an electronic format pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M.56, as amended. Questions about this collection should be directed to the Director of Legislative Services/Town Clerk, Town of Newmarket, 395 Mulock Drive, P.O. Box 328, STN Main, Newmarket, ON L3Y 4X7; Telephone 905-895-5193 Ext. 2211 Fax 905-953-5100

If Jim Bond park is incorporated into the design - there must be no access from Jordanray Blvd. Speeding on Austinpaul and Jordanray has been a problem for years. Please do not add more traffic to the Summerhill neighborhood - keep access via the two major streets only.

Thanks
Steven Dobson

Skating trail - opt for the shortest route with the least eliminate impact on nearby trees.

Art hub- I am enthused by all the options outlined.

Destination and Connections- To make the park a success, it needs connections. Survey shows 95% of residents drive to destinations. They will not change their habits in the short term . Riverwalk Commons, the Tom Taylor trail and Main St are all successful, largely because of the availability of free parking nearby. Remote parking with a shuttle service will be expensive to acquire and an ongoing cost to operate and maintain especially in these times of social distancing. The more obvious solution is to create parking on the hydro corridor and an access path it through the land to the north of the farm.

Eddie Andrews
Jordanray Blvd

Hello. I live on Osler Court, backing onto Jim Bond Park. After reading the Engagement Summary Report – Phase 1B, I would like to make the following comments concerning the integration of Jim Bond Park and parking.

1. At most, I would only want to see a pathway linking the 2 recreational areas. I have spoken to many of my neighbours, and we are in agreement that we wish to keep Jim Bond Park as the quiet oasis that it currently is. For those of us backing onto the park, it is like an extension of our backyards. Increased use of the park will detract from the quiet enjoyment of our personal recreational spaces. Of note, during the current pandemic, we have seen a substantial increase in the use of Jim Bond Park by individuals and families which is wonderful. However, I would not want to see larger groups of people as this would likely create noise.

2. We also have **major concerns** with regard to the provision of parking. Adequate parking must be provided onsite. If not, Osler Court, Jordanray Blvd and Menczel Crescent will be the default. I cannot imagine that local businesses at the intersection of Yonge and Mulock will want their parking lots used either, unless it happens when shops are closed. If the Mulock House is to be used as a venue, adjacent parking must be available.

The majority of my neighbours are not aware of what is being planned for the Mulock Property. They do not access the Town website or read notices in the local paper. I appreciate the effort that has been made to reach out for feedback, but I feel not enough is being done to reach the local residents adjacent to the property. The community announcement regarding today's Council meeting was only delivered to my home yesterday afternoon. That's not enough time to ensure that the announcement was read or adequate time given for reaction and comment.

Thank you.

Karen Adamson

One thing I'd like to mention is that I hope part of the plan does NOT include a skate park since we've just had a proposal to build one at Magna Centre, which to me makes much more sense ...

Phil

Have an idea about the property. Have an event and charge. The money can go towards the repairs on the house and grounds. Like maybe an afternoon tea with little treat's. Just a thought.

Pat Marlatt

PLANT

PLANT ARCHITECT INC.

PROCESS

GBCA

WALTERFEDY

DEW Inc.

MBL

A.W. Hooker

Custom Ice Inc.

Trina Moyan Bell

Eric Beck Rubin

**MULOCK
PROPERTY**

**Council Meeting
2020.05.25**

AGENDA

- Constraints Recap
- Public Consultation Reporting
- Priorities and Guiding Principles
 - Skating rationales
 - Jim Bond Park rationales
 - House adaptive reuse options
 - Parking
- Next Steps

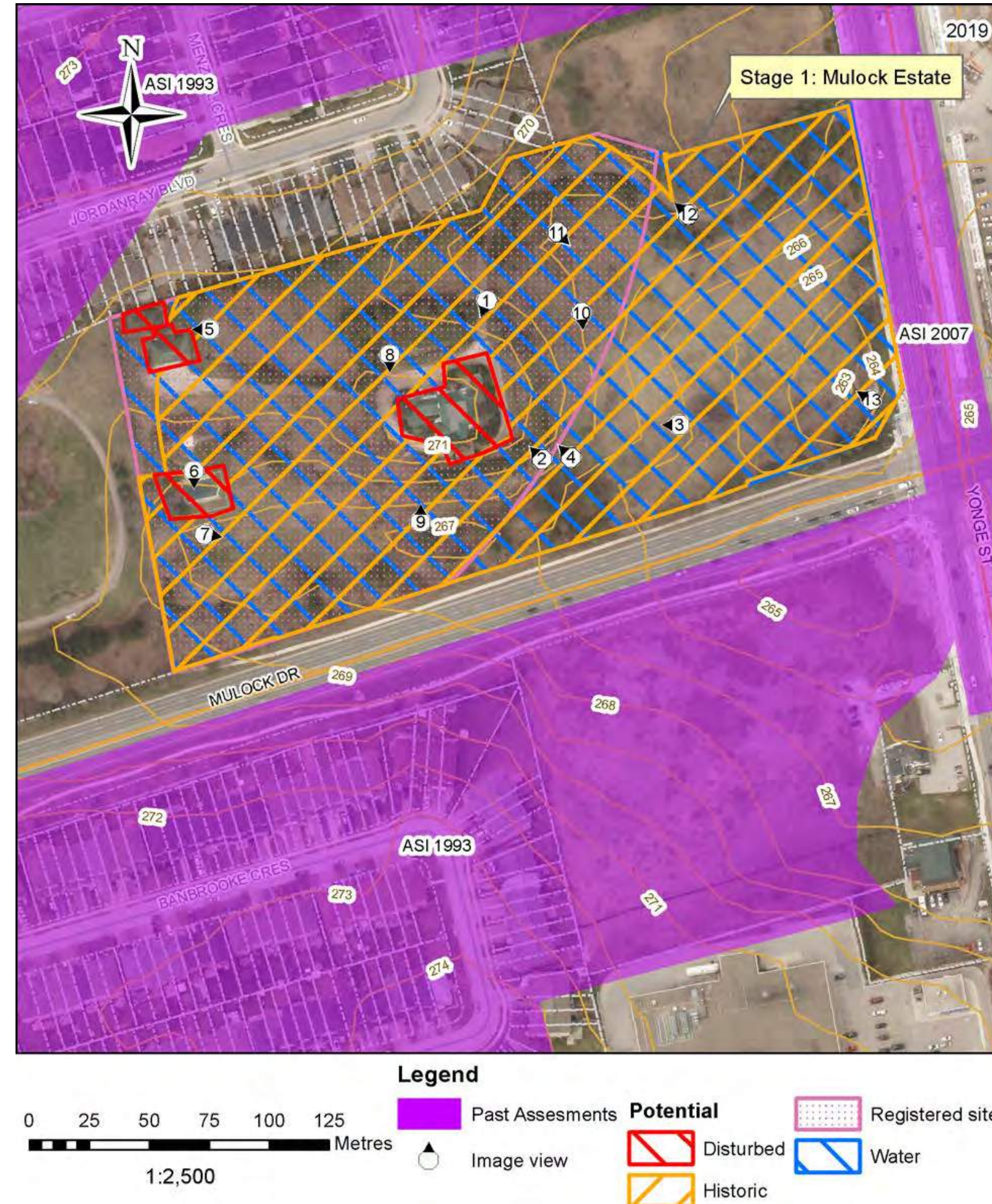


CONSTRAINTS

ARCHAEOLOGY



Map 15: Zone of archaeological potential from York Region Archaeological Master Plan mapping (York Region 2013).



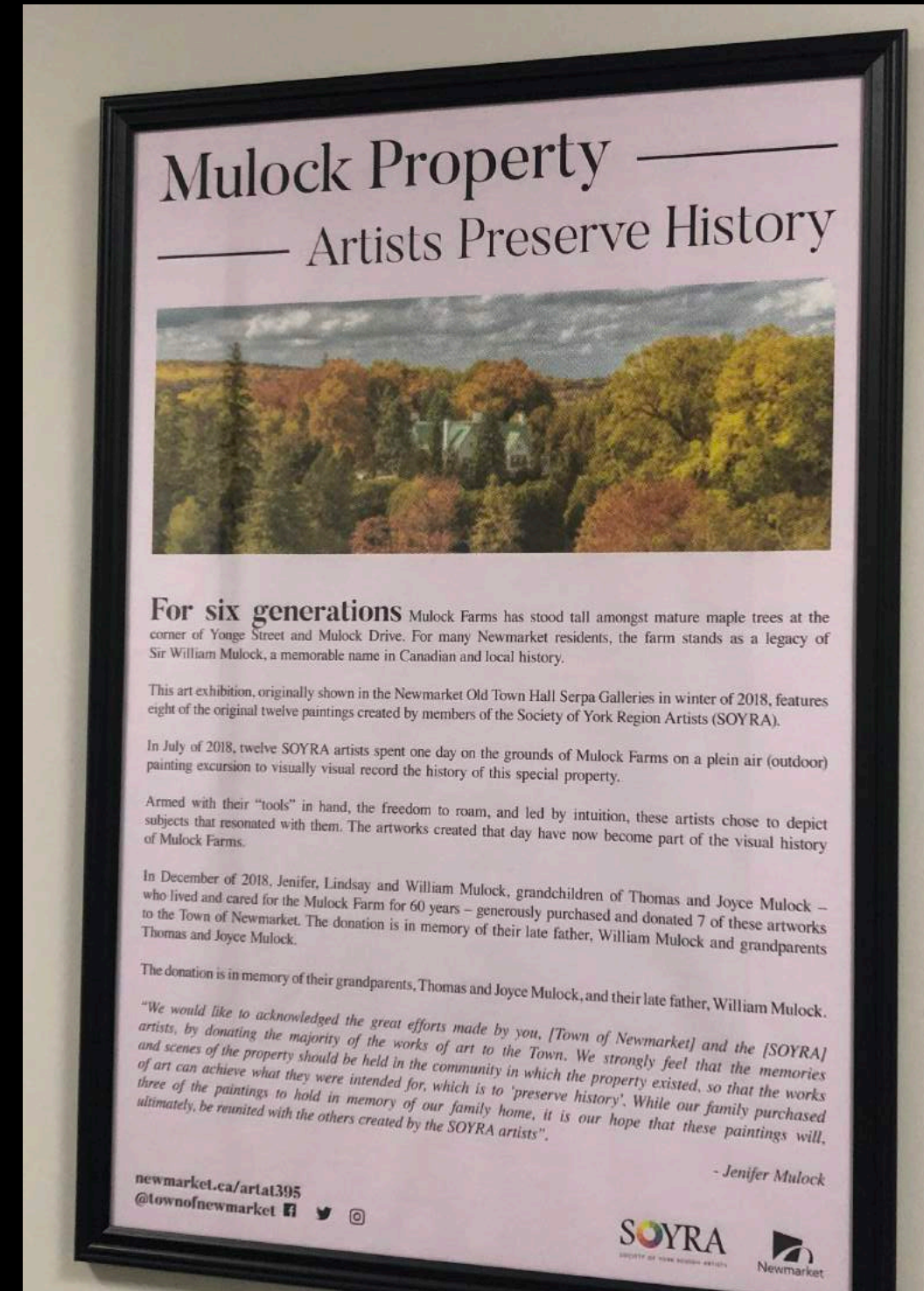
Map 16: Current study area showing archaeological potential zones and areas of disturbance with contours and water sources (York Region 2019; MNR 2004).



Map 17: Current study area showing Stage 2 recommendation methods (York Region 2019; MNR 2004).

PUBLIC CONSULTATION & RESEARCH

Understanding diverse experience and perspectives



PUBLIC CONSULTATION⁶

OBJECTIVES AND PROCESS (FOR PHASE 1)

- ENGAGE a diversity of Newmarket residents and potential partners;
- EDUCATE the public about the Plan project and process;
- COLLECT a range of ideas and feedback;
- COMMUNICATE design decisions to the public; and
- BUILD CAPACITY, excitement and ownership for the Mulock Property vision!

PUBLIC CONSULTATION ⁷

OBJECTIVES AND PROCESS (FOR PHASE 1)

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graph LR; A[Initial Learnings] --> B[Priority Setting]; B --> C[Continued Engagement];
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Initial Learnings

Priority Setting

Continued Engagement

WHO WE SPOKE TO

	Group	# of participants
Internal	Task Force	12
	York Region + LSCRA	8
	Council + Mayor	9
	Employee Survey	60
Public	Heritage Focus Group	6
	Diverse Thinkers	15
	Public Meeting	Approx. 100
	Survey	1,109
	Schools	Approx. 50
	Pop-ups	Approx. 700
Total		Approx. 3,000

WHO ENGAGED

To understand where perspectives align and diverge, we wanted to understand who provided feedback. Those engaged are categorized as follows:

Internal:

- Council
- Newmarket and York Region Staff

Public

- Local neighbours
- Interested folks (Diverse thinkers, artists, etc.)
- Heritage enthusiasts
- Youth



WHO'S MISSING?

WHAT WE HEARD TO DATE



EXPERIENCES AND FUTURE



EXPERIENCES

CONTEXT TODAY

An area in transition, connected to communities and natural features.

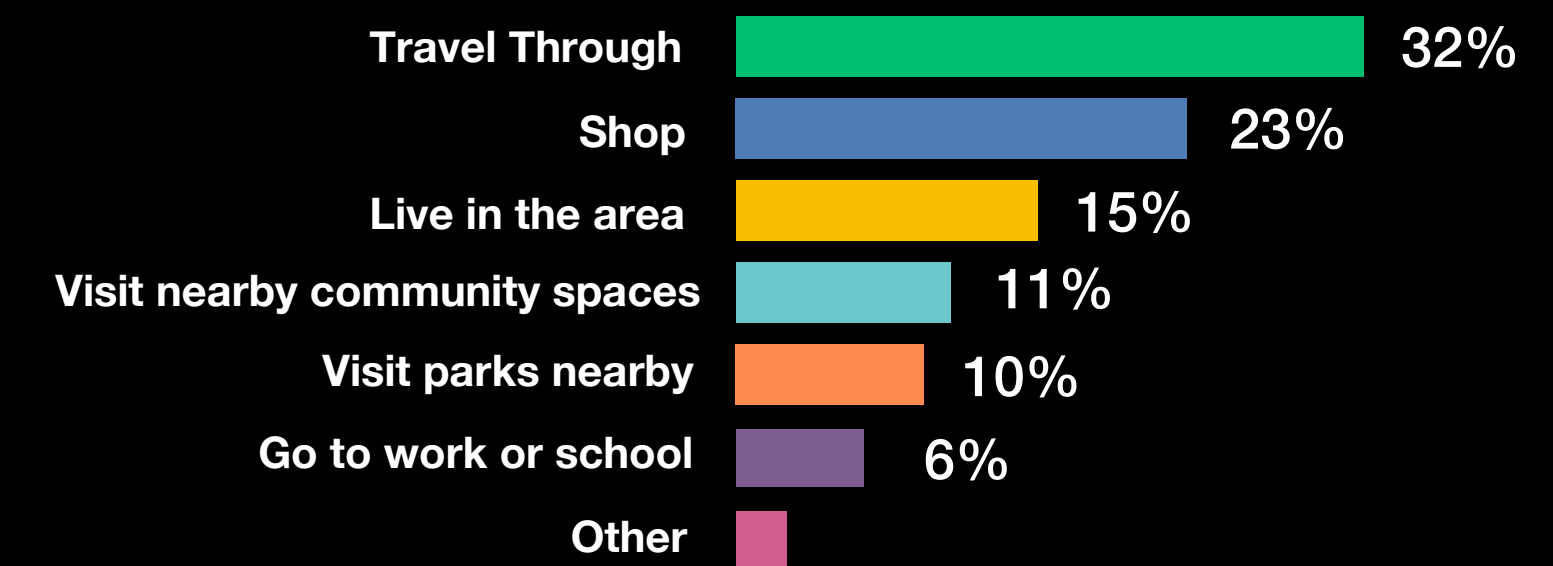
- Most people pass through the area.
- Most people feel that natural features and passive gathering spaces are needed in the area.
- Many see it as an area in transition.

“This area is transforming and there are exciting visions.” - York Region Focus Group participant

“This area is prone to being a bedroom community. We want to get rid of the idea that you have to go to the city to experience everything.” - Heritage Focus Group participant

SNAPSHOT FROM SURVEY

How do you currently experience the area around the Mullock Property?



What community amenities are missing in the area? Select all that apply.



SITE TODAY

UNKNOWN

“There was a rumour that a band member from Rush lived on the property.” - Diverse Thinkers Workshop member

HISTORICAL SIGNIFICANCE

“It is one of the few if not only property somewhat untouched from the original period, from the Rogers family.” – Heritage Focus Group member

“[The property] is a survivor; a place that has survived change and development in Newmarket.” - Diverse Thinkers Workshop member

ISOLATED

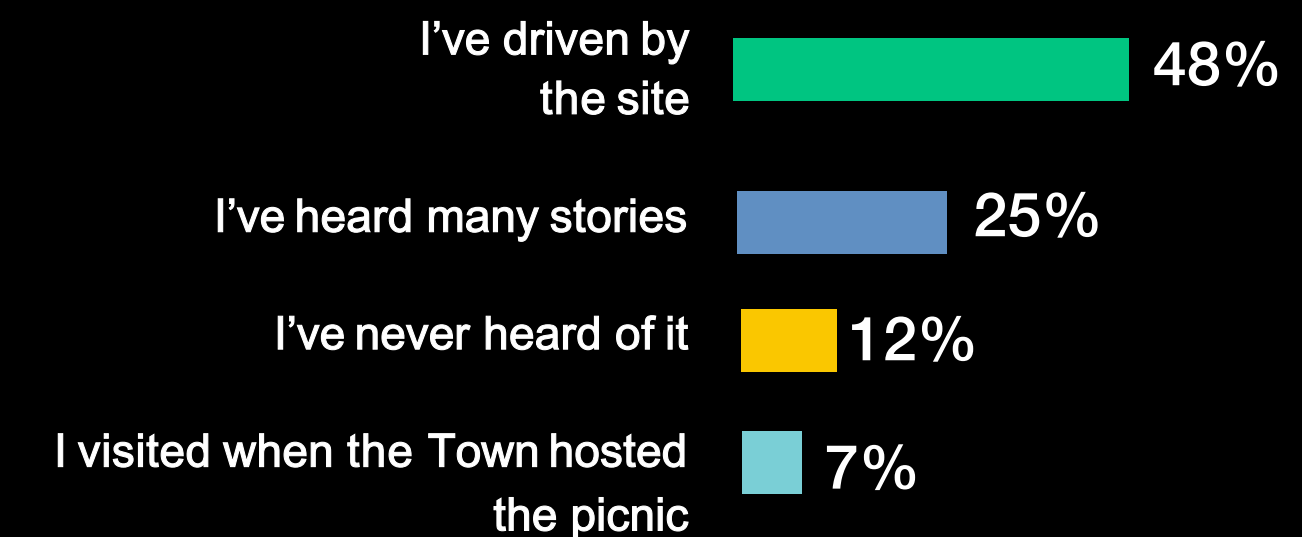
“It’s an oasis prison.” - Diverse Thinkers Workshop member

MEDITATIVE, GREEN, UNTOUCHED

“The sense of enclosure and shape of the space is so intimate. It is not a trail, but a place to gather and enjoy the acres of space around (very different than the rest of experience in Newmarket).” - Mayor Taylor

SNAPSHOT FROM SURVEY

What is your experience/understanding of the Mulock Property?



*“It will be a huge park for people in the highrises.”
- Heritage Focus Group participant*

MULOCK SITE + CONTEXT

Visions for the future...

Maintain natural features

Passive gathering spaces (picnic areas, etc.)

Active recreation uses (walking and running trails)

Programmed activities and events

Opportunities for education



MULOCK HOUSE

Visions for the future...

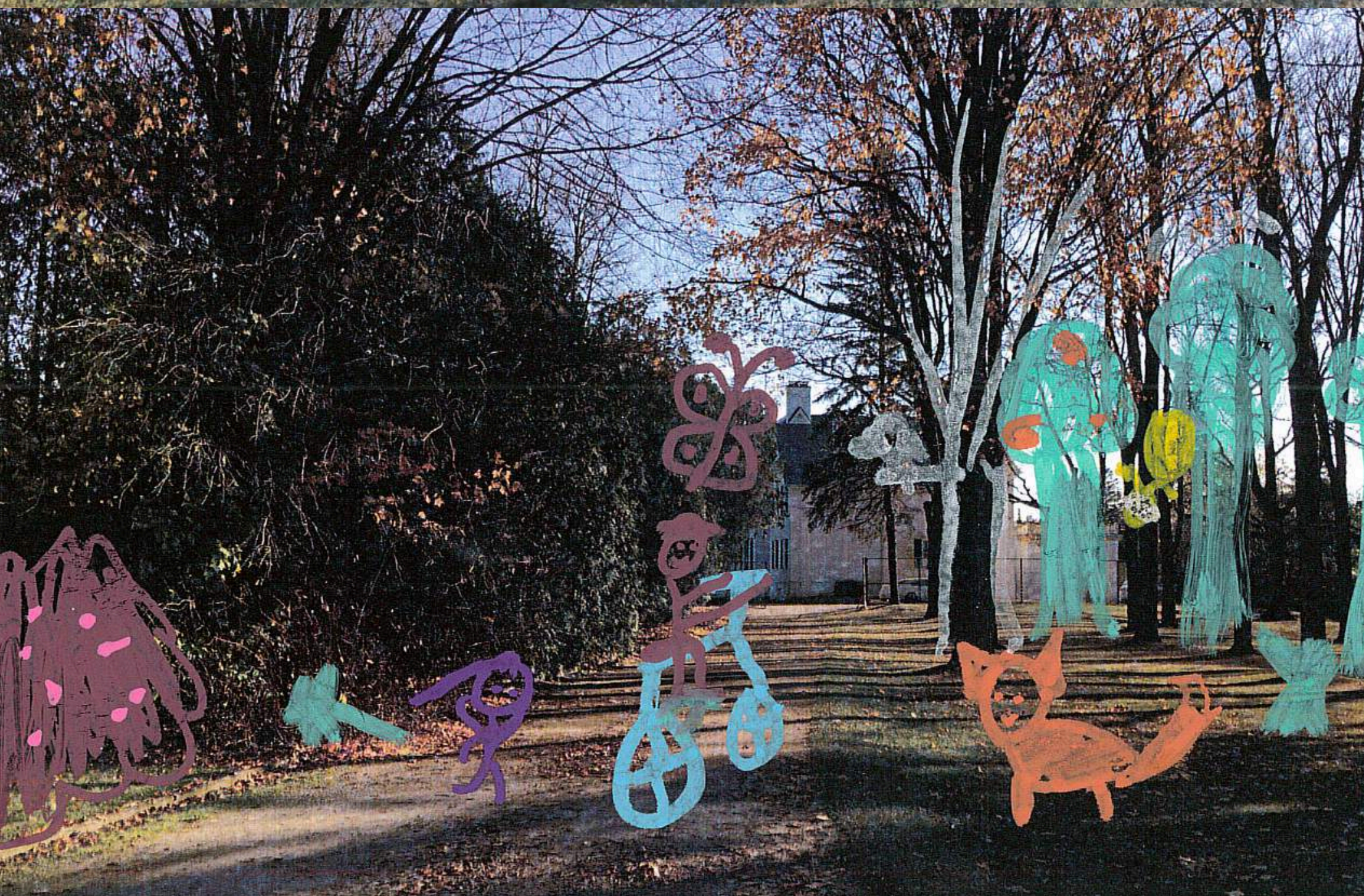
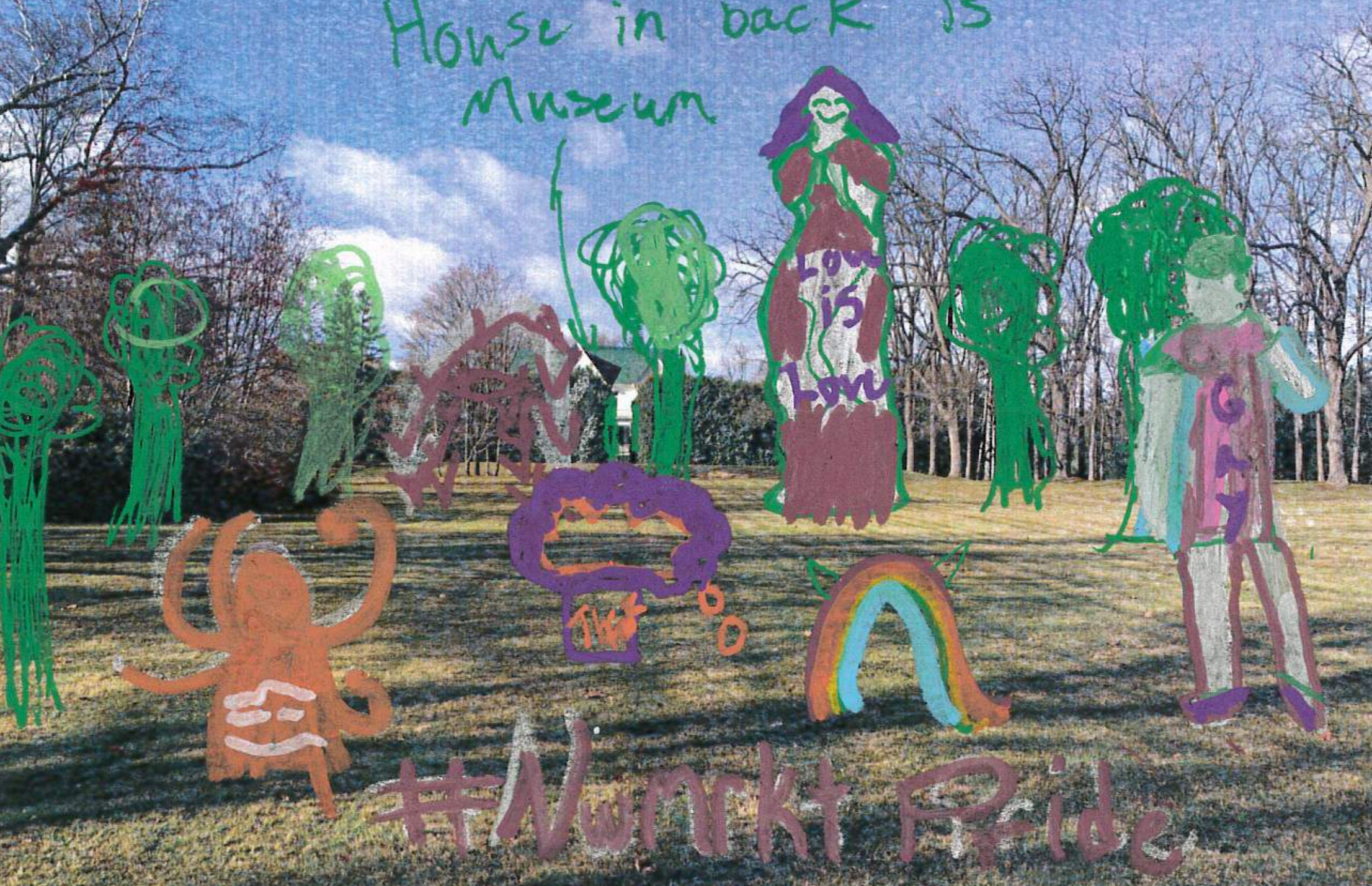
Affordable food and dining

Flexible events

Venue rentals

Art Gallery

Interactive Historical Features



FUTURE

PRIORITIES / PRINCIPLES

Based on Consultation

Priorities/Guiding Principles (based on consultation)

A Destination	<i>Ensure this site becomes a significant place to visit in Newmarket.</i>
Rooted in History & Forward Looking	<i>Share the multiple layers of history on site.</i>
Connected	<i>Connect the site with the neighbouring areas (such as Jim Bond Park), to ensure it is integrated within the Town of Newmarket.</i>
Natural	<i>Maintain and enhance the natural features of the landscape.</i>
Inclusive and Accessible	<i>Create an inclusive and accessible site for all residents and visitors.</i>

PUBLIC CONSULTATION

Any Consultation Questions?

DESTINATION

MANY IDEAS!

Unique

“Embody slogan: Well Beyond the Ordinary”

- Diverse Thinker Focus Group member

Daily Uses

“A place for everyday enjoyment, weaved into your weekly routine and not simply a place to visit on special occasions.”

- School Group member; local neighbour

Visionary/Ambitious

“Think 50 years into the future”

“Be ambitious!”

- Diverse Thinker Focus Group member

DESTINATION

Themes prioritized

- Environment
- Innovation and experimentation
- Education/Indigenous education;
- History;
- Art and creativity;
- Meditative (quiet oasis)

“I pay money to take a break from my phone... Can this be a place to disconnect?”

- Diverse Thinkers Focus Group Member

“Can we use the site to address future social issues?”

- Diverse Thinkers Focus Group Member

DESTINATION

Uses

- Maintain landscape
- Passive Gathering
- Active Recreation
- Programming/Events
- Public Art
- Education
- Affordable Dining

“Use the topography of the land to create a music venue or outdoor performances”

- Visioning Workshop Participant

*“Consider flagship opportunities”...
whether its a site for art, creativity,
innovation, etc...*

-Diverse Thinkers Focus Group

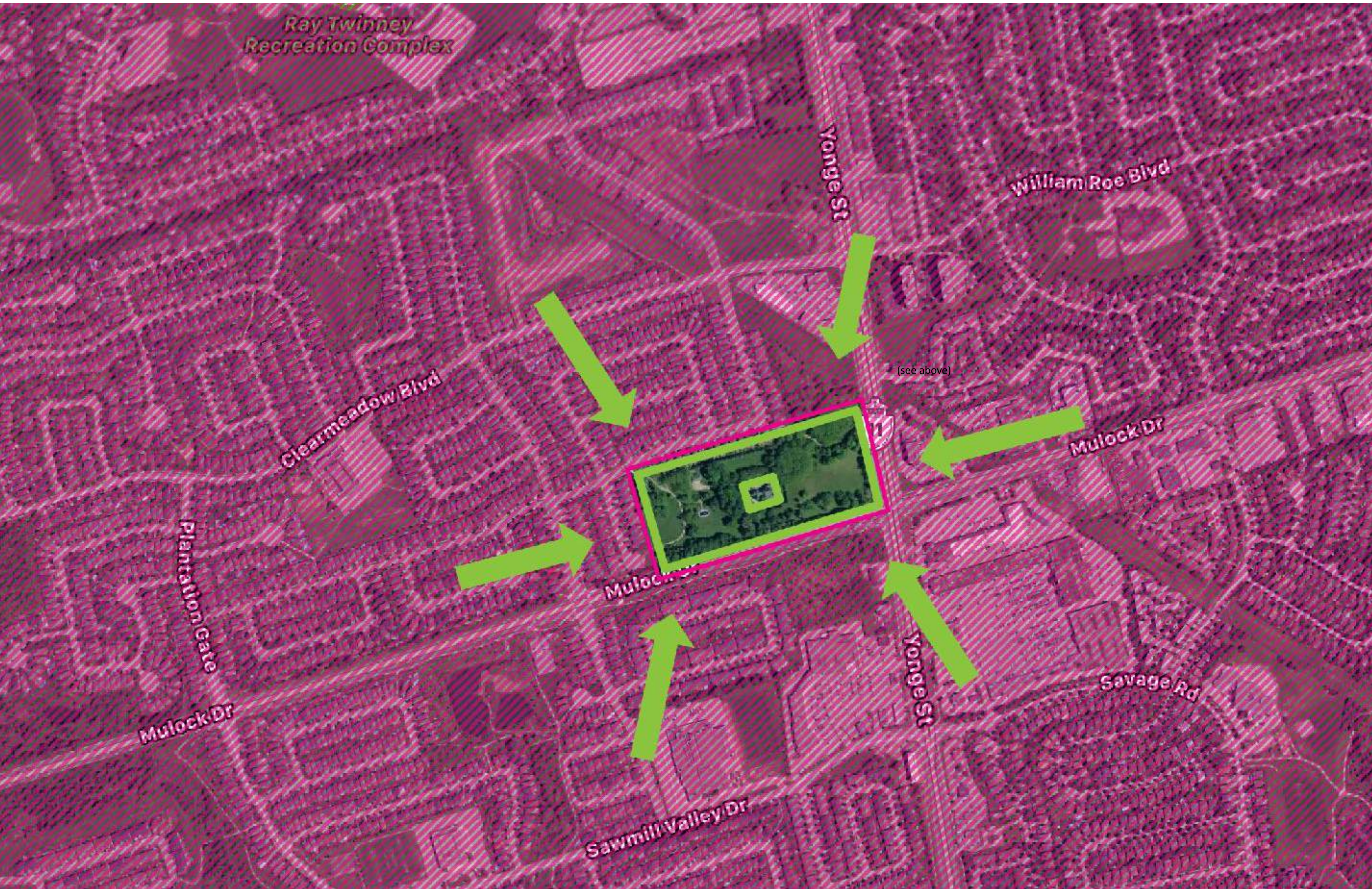
DESTINATION

Testing key issues:

Programmed activities and art

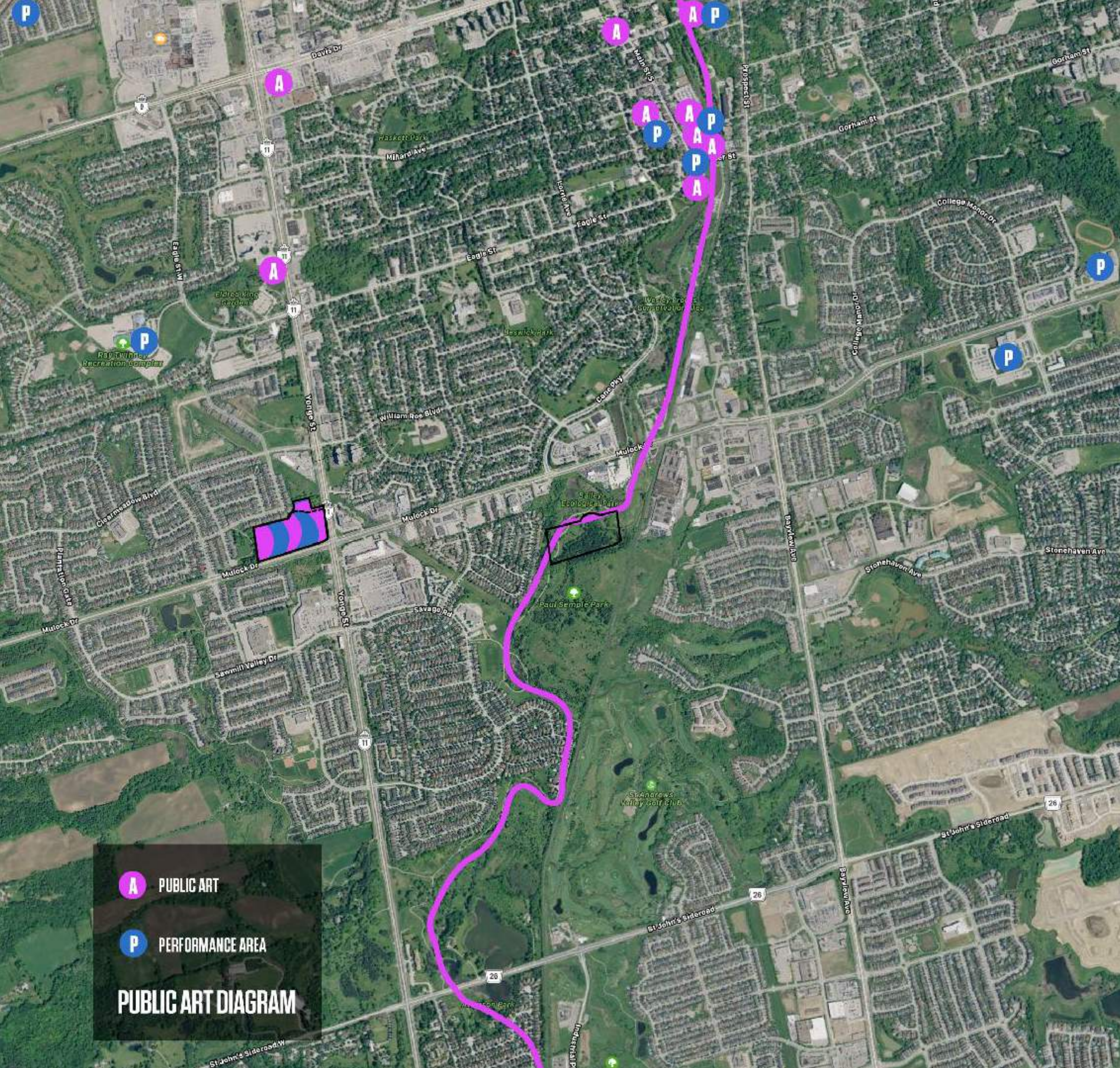
- Survey Results: 62% want to see programmed activities (markets, festivals and community events) on site. 36% of respondents specifically indicated they would like to see public art on the site.
- Many artists and interested folks reached out to discuss including an arts hub, art gallery and/or public art on the site (temporary or permanent).

A DESTINATION



Hubs+Park Themes/Uses:

- Nature
- History
- Art
- Recreation
- Education



ART HUB

from York Region Arts Council Creative Space Feasibility Study:

Actions Recommended to provide support to the creative industry:

- Brand York Region as art and cultural hub
- Build stronger emerging artist 'seed-funding'
- Animate York with art and culture
- Develop skill building and mentorship

"The economic impact of cultural industries is impressive. In 2016, in Canada: the direct economic impact of cultural industries was \$59.3 billion or 3.1% of the country's GDP (almost twice that of agriculture, forestry, fishing and hunting (\$31 billion) and 8 times that of sports (\$7.2 billion)

Statistics Canada. National estimates from Provincial and Territorial Culture Indicators. (2016).

CULTURE

ART HUB



TREE MUSEUM

JANET CARDIFF + GEORGE BURES
MILLER - AUDIO WALK



LOUISIANA MUSEUM



MAXI MUSEUM

An art hub can link house & park

- permanent art
- winter art festivals
- summer art festivals
- residencies
- nature and history inspired

ART HUB



ENTRE LES RANGS, LUMIERE LONDON



DEER VALLEY PERFORMANCES



WINTER STATIONS



PATRICK DOHERTY



WINTER STATIONS



WARMING HUTS

SEASONAL

ART HUB



ART HUB



EASTERN HOUSE/RESTAURANT/MUSEUM/GOLF

LE JARDIN DE METIS AND ANNUAL INTERNATIONAL GARDEN FESTIVAL, QC

ART HUB



THE SERPENTINE MUSEUM AND ANNUAL TEMPORARY PAVILION, London, UK

ART HUB

Critical Mass Artist-in-Residence Program 2020: Environment PROGRAM OVERVIEW



Submission Deadline Friday, February 28, 2020 by 11:59 p.m.
 Residencies Announced Friday, March 13, 2020
 # of Residencies Awarded up to four, 4-week residencies (or equivalent) between Apr 15, 2020 - Oct 15, 2020
 Residency Period \$3,875 (4 weeks) or \$2,125 (2 weeks)
 Honorarium Port Hope, Ontario. *Not a live-in residency.*
 Location



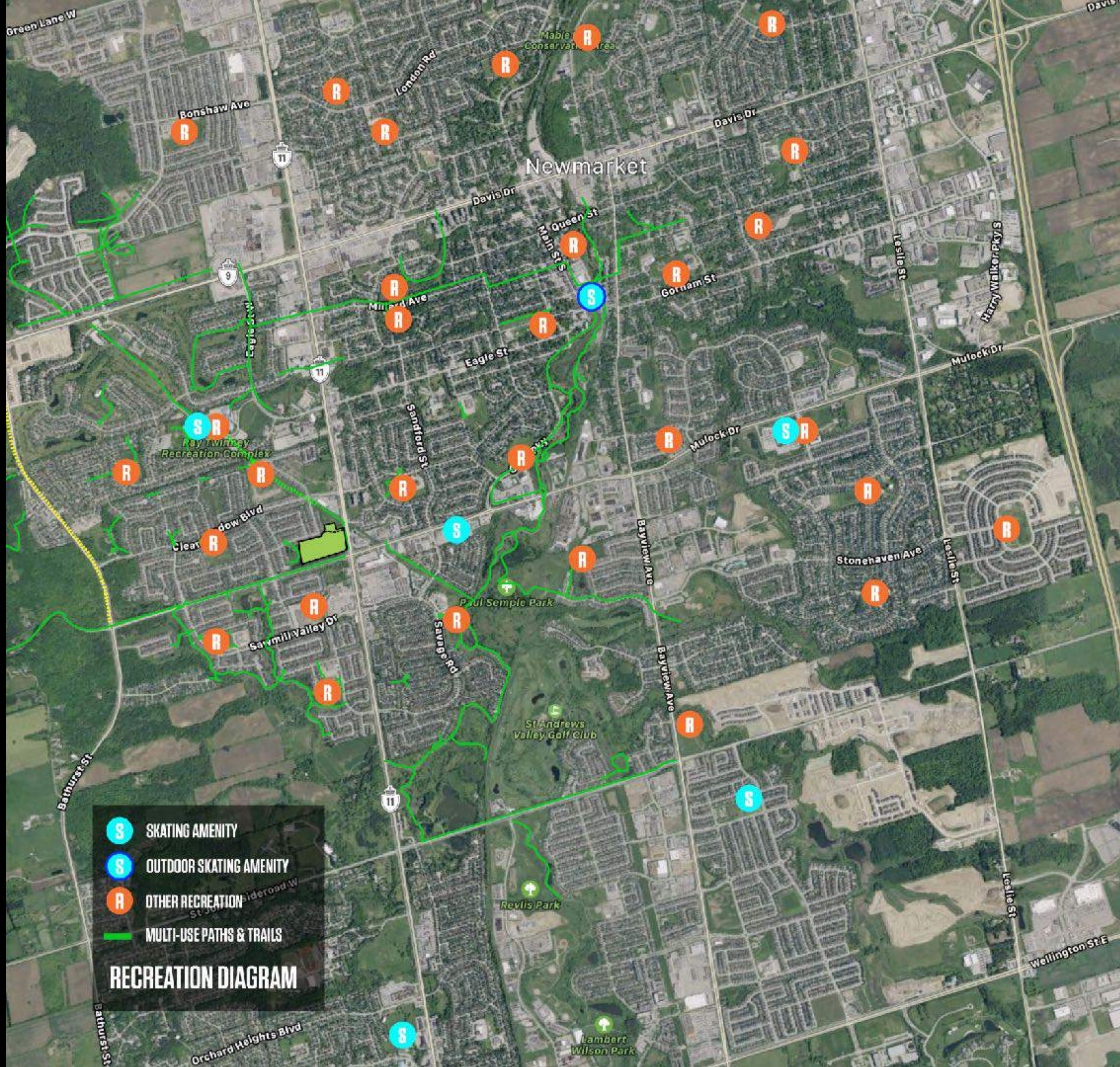
Residencies

- local
- national
- international
- short term/long term
- interaction with community:
 - project in the landscape
 - project rooms

DESTINATION

Art Hub: What do you think?

- Major or iconic artwork?
- Festival and/or temporary art?
- Artist residencies?



Active Uses in Nature

- passive while enjoying nature
- different than other offerings in Newmarket
- for all ages

RECREATION

SUMMER DESTINATION



TAVERN ON THE HILL- OTTAWA



BOSTON NECKLACE



CROWN FOUNTAIN



MILLENIUUM PARK

DESTINATION

Water Feature: What do you think?

- Active or interactive?
- Consider in all three master plan options?

WINTER DESTINATION



ARROWHEAD SKATING TRAIL, 1.3 KM



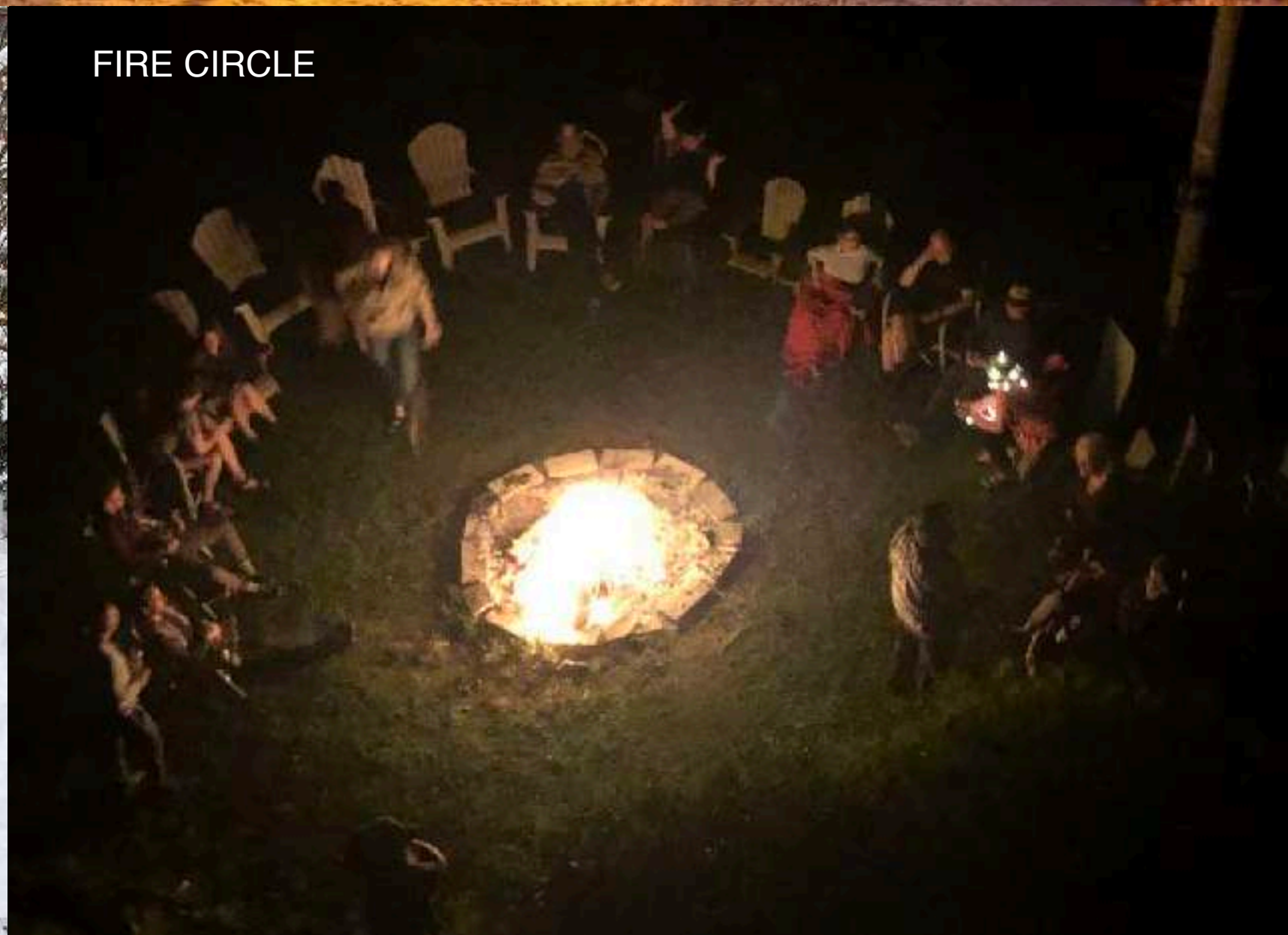
CHRISTMAS MARKET



DEVONIAN POND, RYERSON UNIVERSITY



DON VALLEY GUIDED WALKS



FIRE CIRCLE

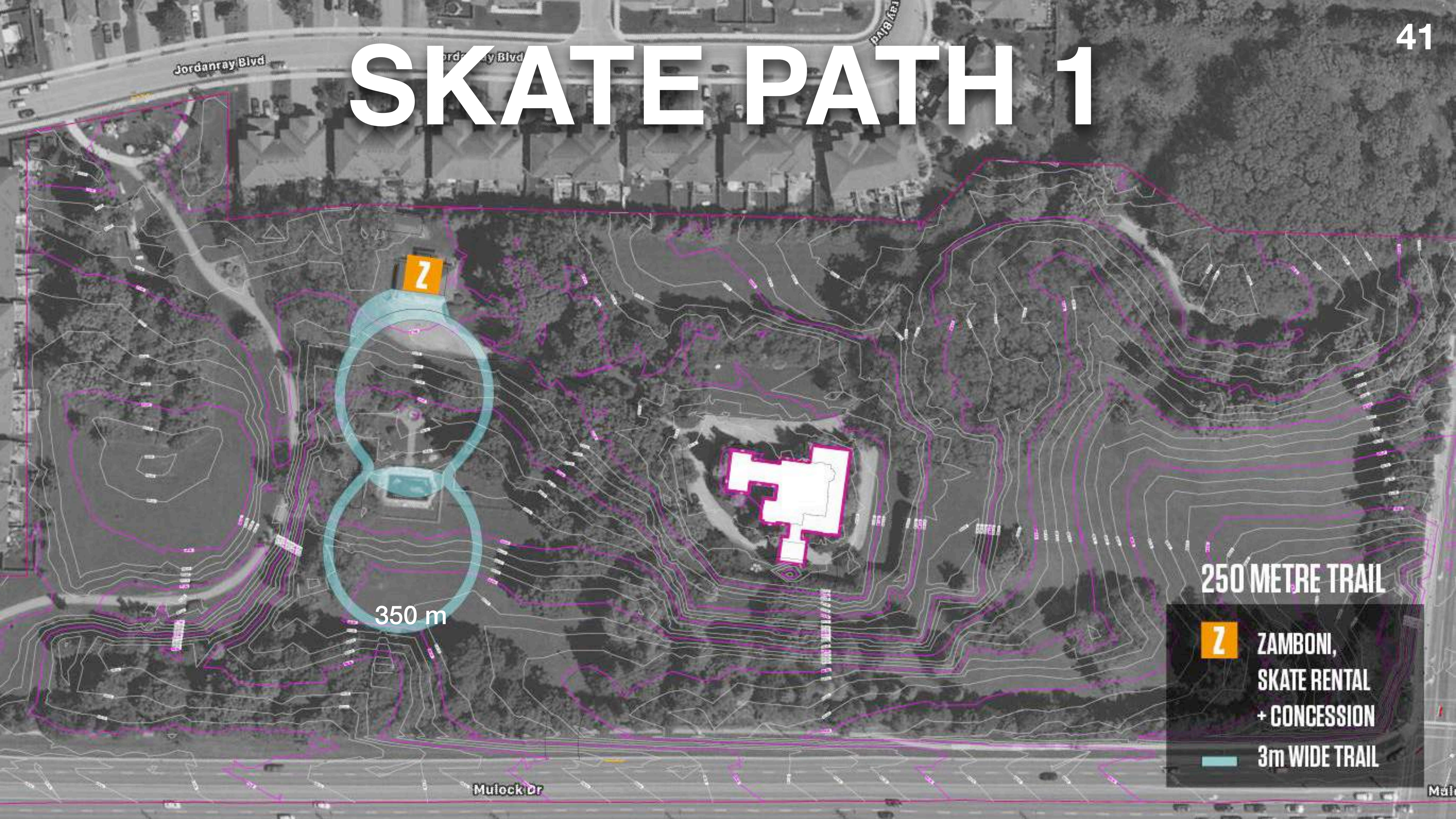
DESTINATION

Testing key issues:

Skating

- There were mixed perspectives on skating trail.
- Survey Results: 50% of respondents would like to see skating on site but most would like to see walking and running trails (89%).
- Skating Rink: Overwhelming majority at public meeting did not want skating rink.
- Skating Trail: Most participants support a skating trail if it makes sense, and does not overwhelm the site.

SKATE PATH 1



Z

350 m

250 METRE TRAIL

- Z** ZAMBONI, SKATE RENTAL + CONCESSION
-  3m WIDE TRAIL

Jordanray Blvd

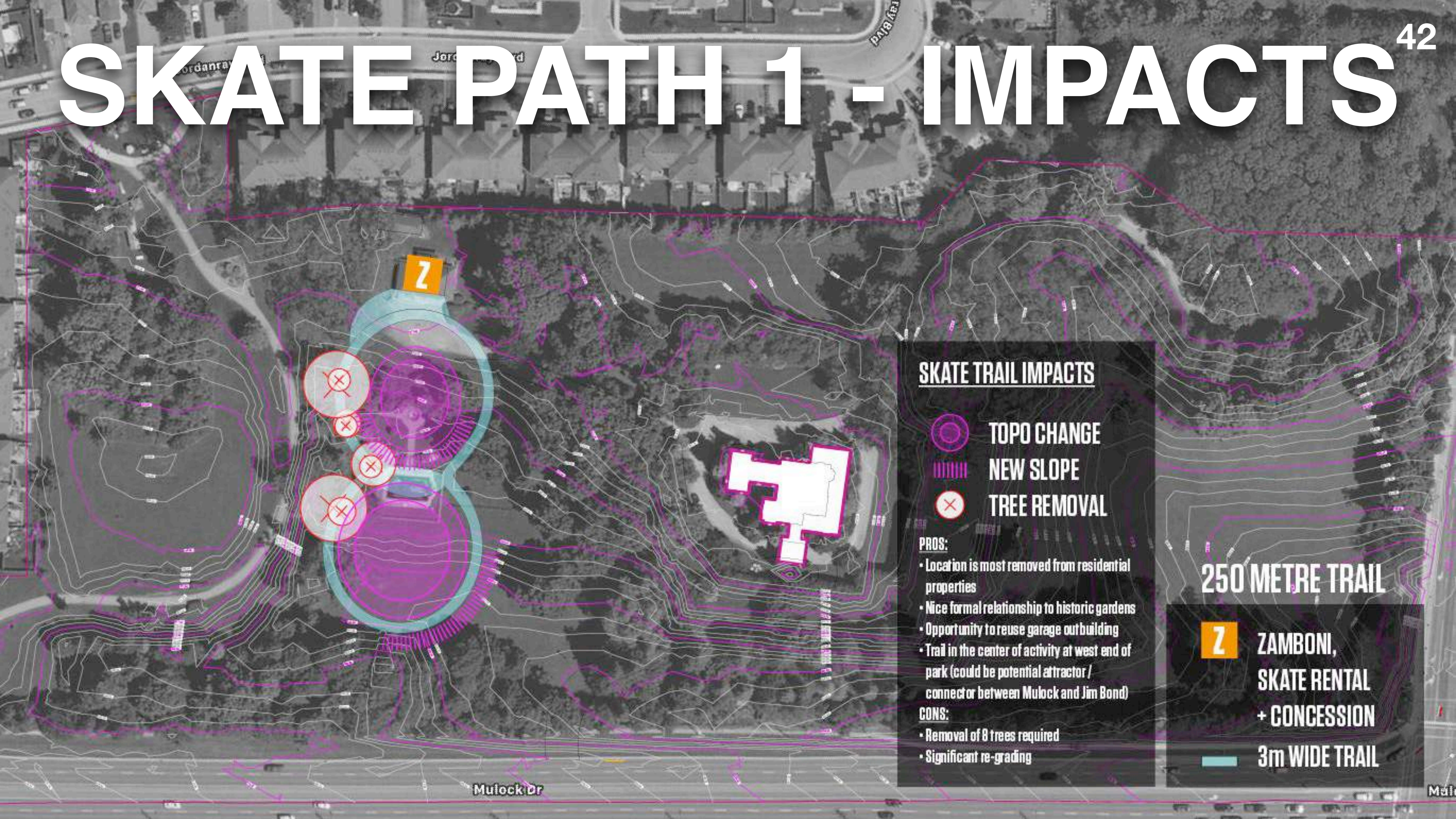
Jordanray Blvd

D119 ARL

Mulock Dr

Mal...

SKATE PATH 1 - IMPACTS ⁴²



SKATE TRAIL IMPACTS

-  TOPO CHANGE
-  NEW SLOPE
-  TREE REMOVAL

PROS:

- Location is most removed from residential properties
- Nice formal relationship to historic gardens
- Opportunity to reuse garage outbuilding
- Trail in the center of activity at west end of park (could be potential attractor / connector between Mulock and Jim Bond)

CONS:

- Removal of 8 trees required
- Significant re-grading

250 METRE TRAIL

Z ZAMBONI,
SKATE RENTAL
+ CONCESSION

 3m WIDE TRAIL

SKATE PATH 2



400 m

500 METRE TRAIL

- Z** ZAMBONI, SKATE RENTAL + CONCESSION
- 3m WIDE TRAIL

Jordanray Blvd

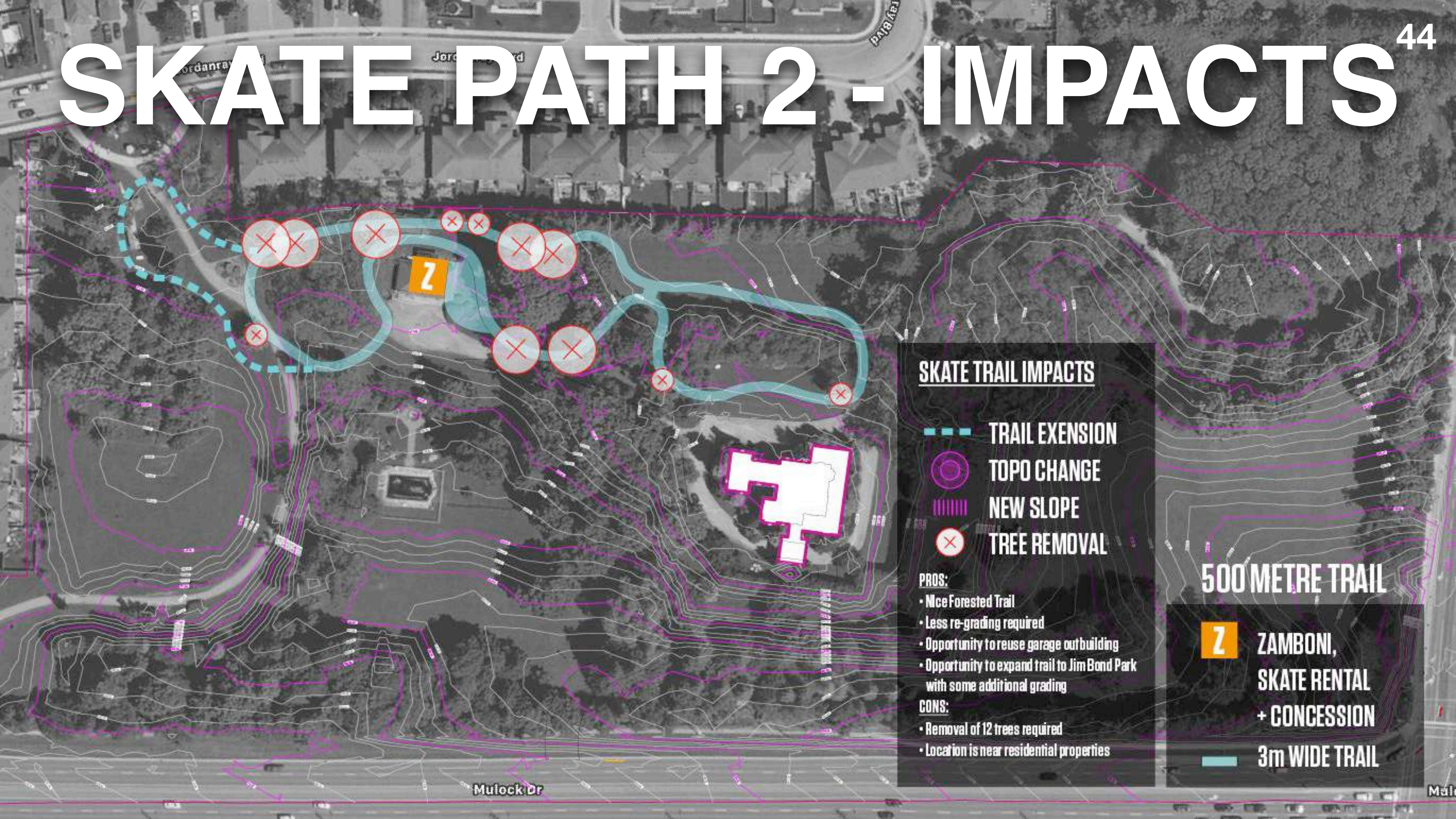
Jordanray Blvd

DANB ABL

Mulock Dr

Mal...

SKATE PATH 2 - IMPACTS ⁴⁴



SKATE TRAIL IMPACTS

- TRAIL EXTENSION
- TOPO CHANGE
- NEW SLOPE
- TREE REMOVAL

PROS:

- Nice Forested Trail
- Less re-grading required
- Opportunity to reuse garage outbuilding
- Opportunity to expand trail to Jim Bond Park with some additional grading

CONS:

- Removal of 12 trees required
- Location is near residential properties

500 METRE TRAIL

Z ZAMBONI,
SKATE RENTAL
+ CONCESSION

3m WIDE TRAIL

SKATE PATH 3



550 m

500 METRE TRAIL

Z

ZAMBONI,
SKATE RENTAL
+ CONCESSION



3m WIDE TRAIL

Mulock Dr

Jordanray Blvd

DAIRY ARL

SKATE PATH 3 - IMPACTS



SKATE TRAIL IMPACTS

- TOPO CHANGE
- NEW SLOPE
- TREE REMOVAL

PROS:

- Good location - Forest Trail
- Reuse opportunity for scenic driveway
- Less re-grading required (assumed based on coarse elevation information ONLY, to be confirmed with new survey of area)

CONS:

- Removal of 30-50 trees required
- Location is near residential properties

500 METRE TRAIL

Z ZAMBONI,
SKATE RENTAL
+ CONCESSION

3m WIDE TRAIL

DESTINATION

Skating: What do you think?

- Shorten skate trail options or delete options due to impacts?
- Should one master plan option have no skate path?

APPRECIATING NATURE



DESTINATION

What do you think?

Any other comments or feedback?

ROOTED IN HISTORY AND FORWARD LOOKING

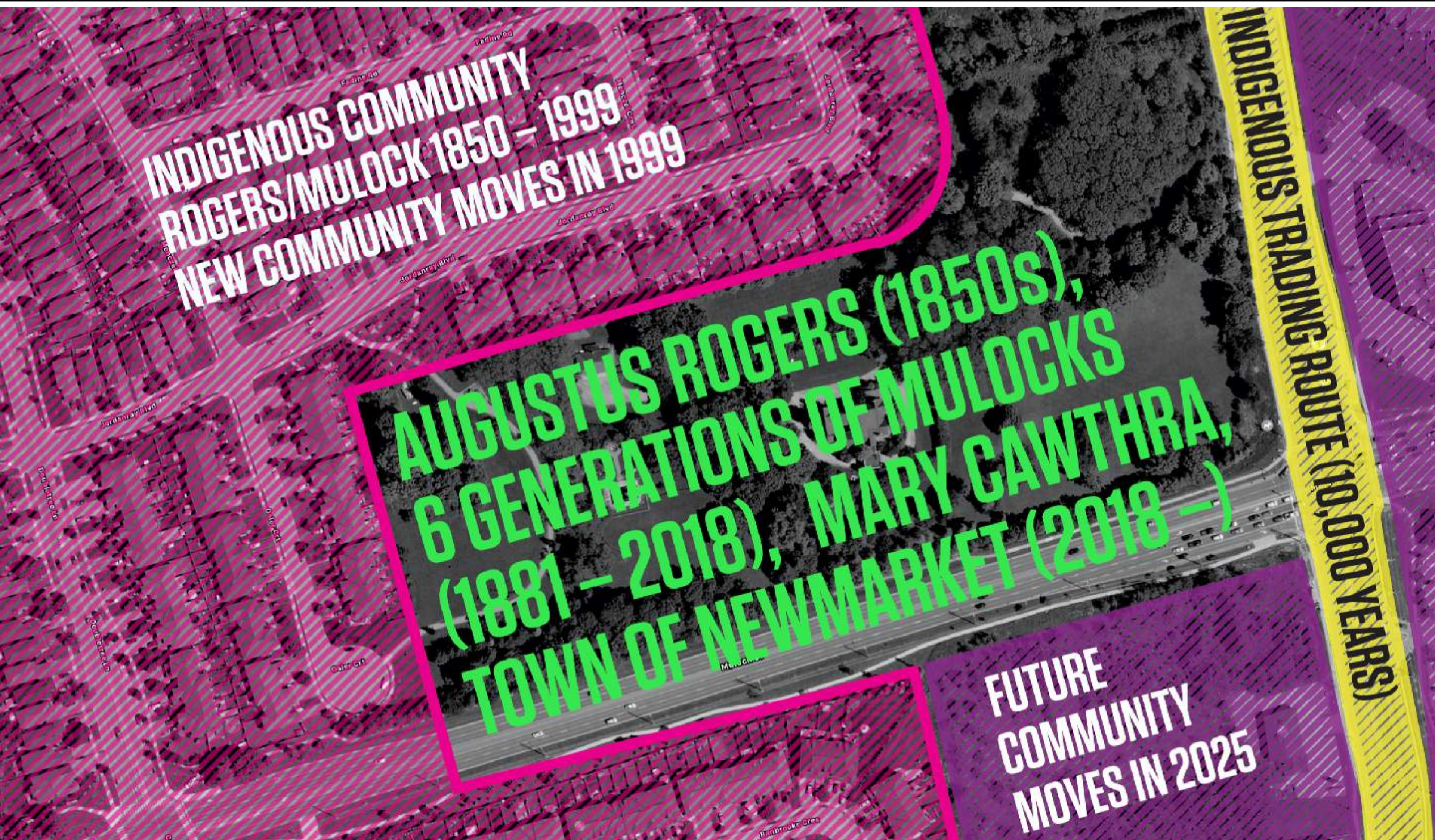
Recognize diverse histories in creative ways:

- Indigenous, Quaker, Rogers, Mulock, Black, etc.
- Incorporate educational opportunities through the landscape, programs, etc.
- Avoid static exhibits/museum
- Connect the past to the present and future

“The property should include layered gardens of peonies, Indigenous medicine, and food so that people can experience the layers of history in a shared garden space.” - Visioning Workshop Attendee

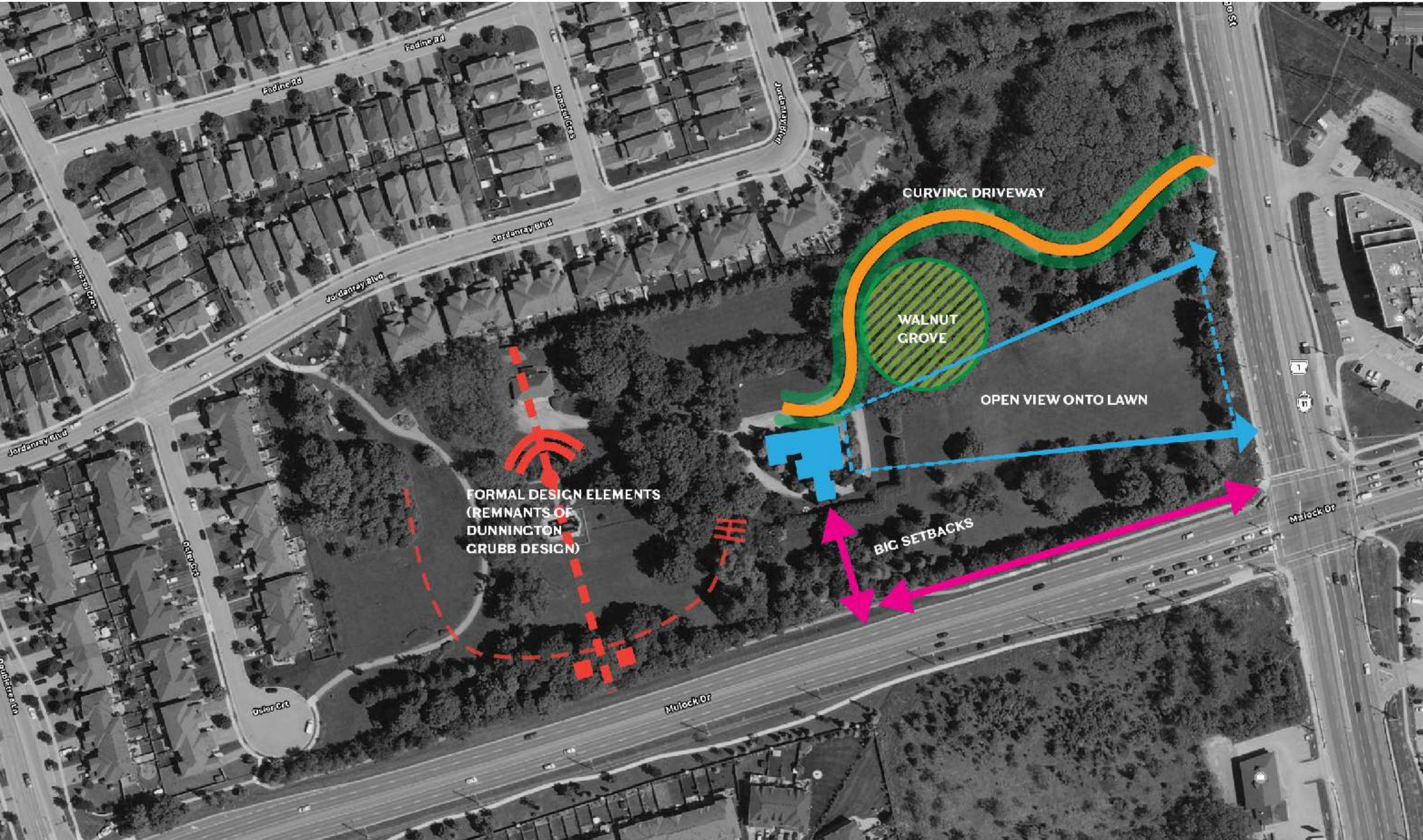
“Sometimes we forget there is a deep history in Canada [speaking to the Indigenous history]. We just aren't aware of it.” - Diverse Thinkers Focus Group Member

ROOTED IN HISTORY & FORWARD LOOKING



- Mullock the...
- The social convener – community gathering + story telling
 - The innovator – contemporary dialogue with histories, think tank/artist residency
 - The naturalist – arboretum, acknowledge water
 - The farmer – teaching, community, medicine gardens
 - The gardener – gardens and peonies
- Indigenous history imbedded in each of the historical concepts

MULOCK HISTORY



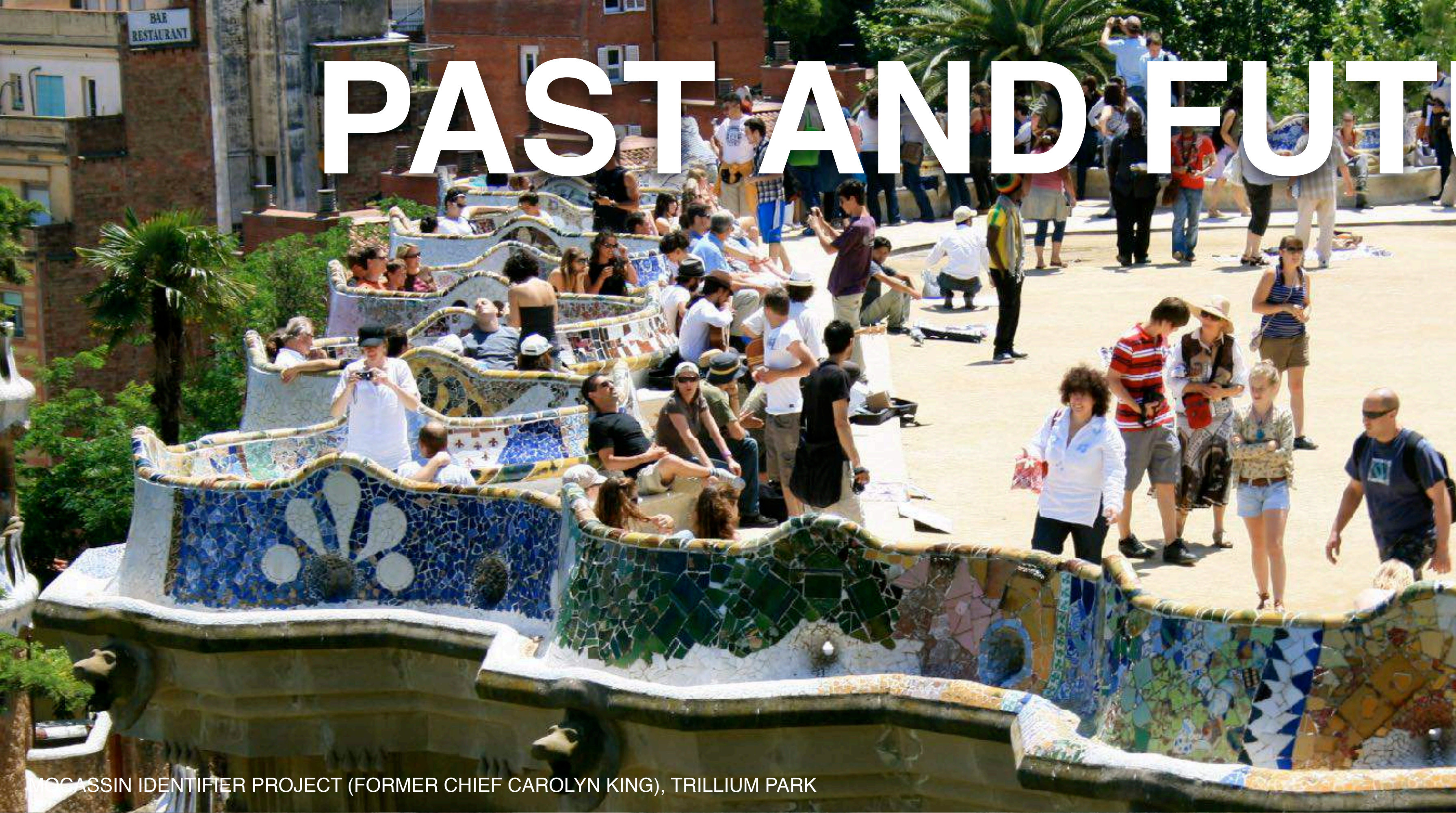
First Nations	European
Paleo-Indian	9,000 E.C.
Early Archaic	7,000 E.C.
Middle Archaic	6,000 E.C.
Late Archaic	2,500 E.C.
Early Woodland	1,000 E.C.
Middle Woodland	400 B.C.
Transitional Woodland	A.D. 500
Late Woodland	A.D. 900
Contact	A.D. 1600
Colonial	A.D. 1650
	A.D. 1700
	Present
	Historic

Figure 1 – Timeline of Human Habitation

PAST AND FUTURE



PAST AND FUTURE



MOCCASSIN IDENTIFIER PROJECT (FORMER CHIEF CAROLYN KING), TRILLIUM PARK



DINNER FOR 1201, WINNIPEG



THE SOCIAL CONVENER

PAST AND FUTURE

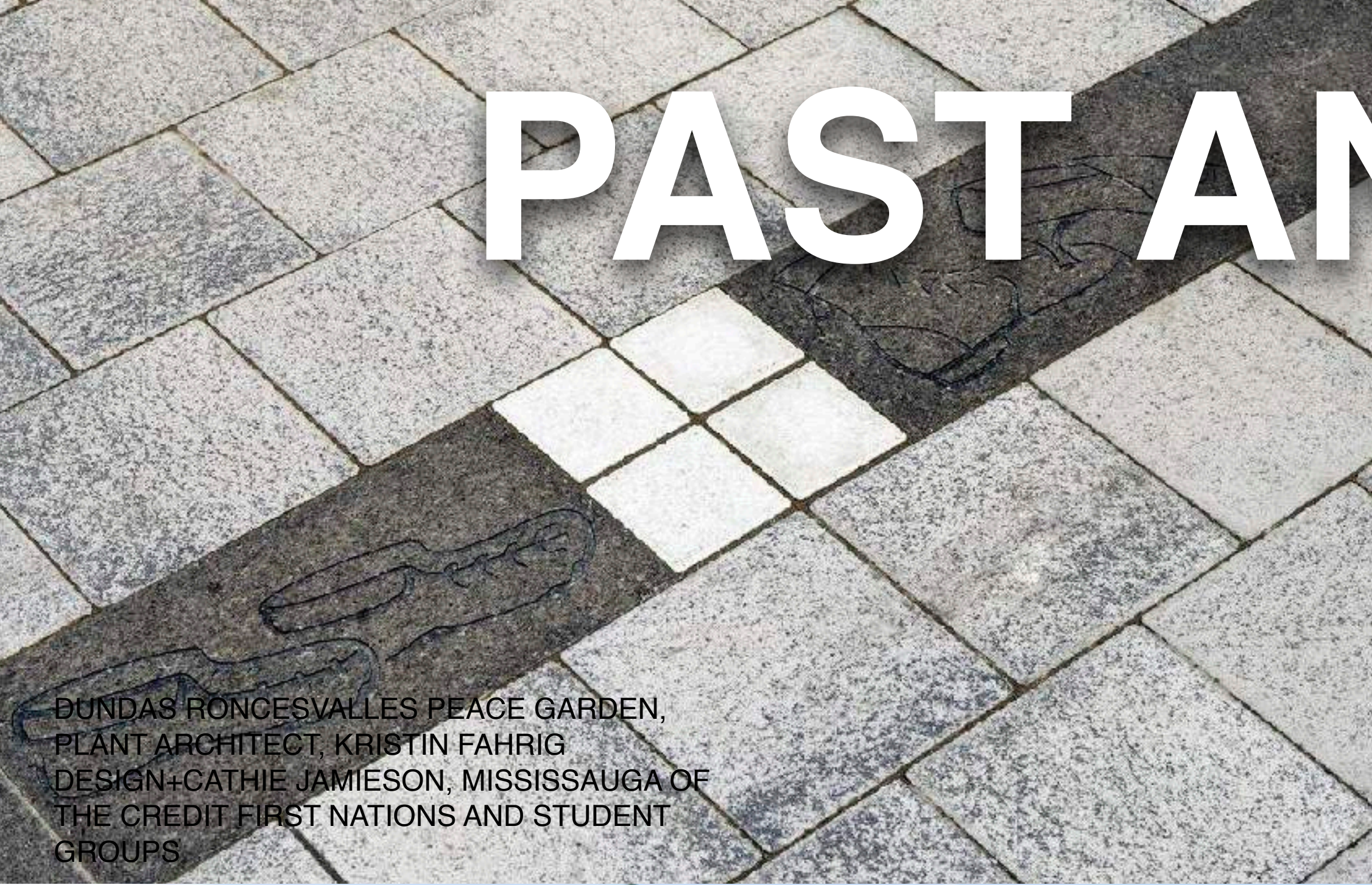


GARY COMER YOUTH CENTRE, HOERR SCHAUDT



THE FARMER

PAST AND FUTURE



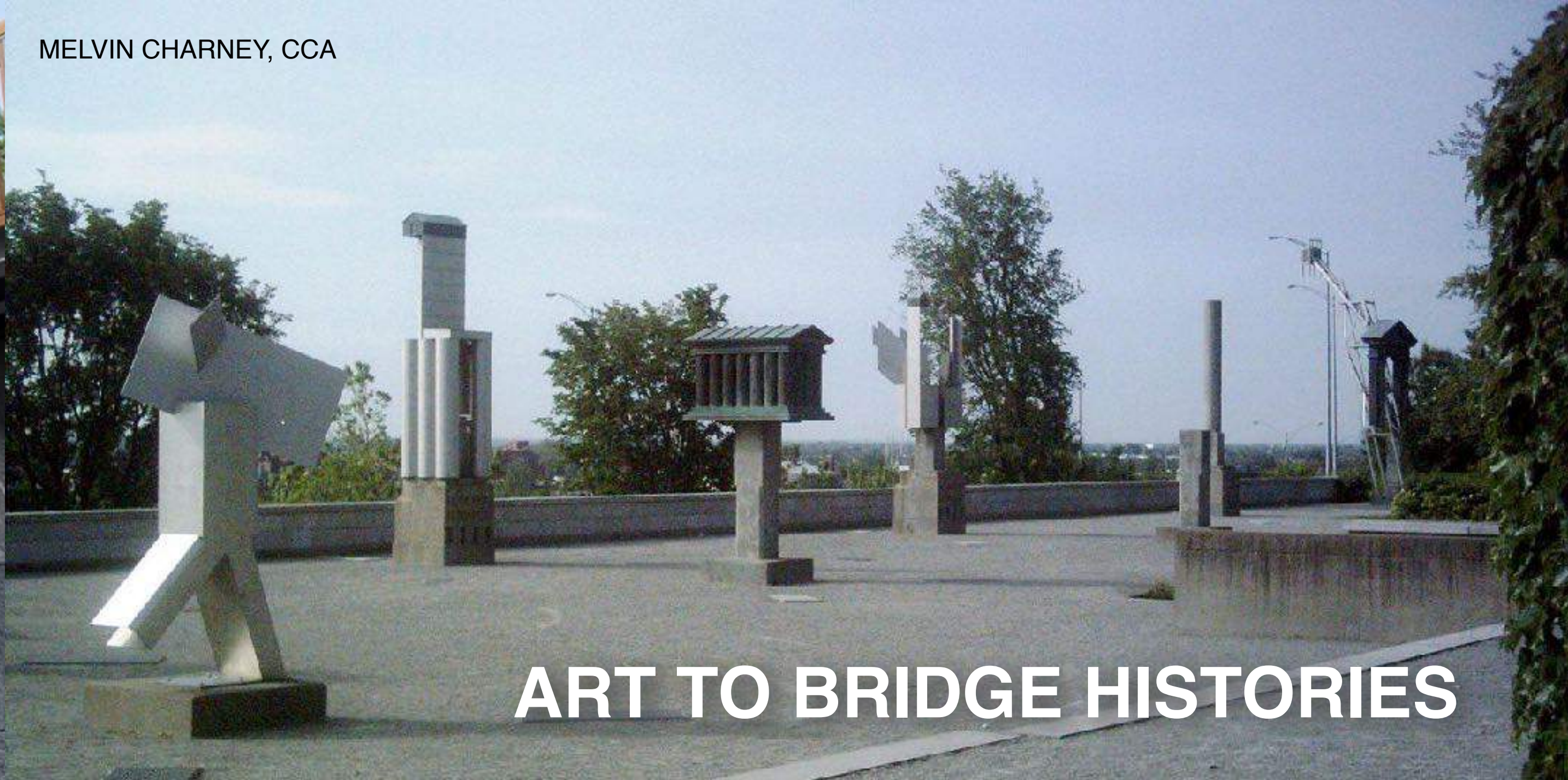
DUNDAS RONGESVALLES PEACE GARDEN,
PLANT ARCHITECT, KRISTIN FAHRIG
DESIGN+CATHIE JAMIESON, MISSISSAUGA OF
THE CREDIT FIRST NATIONS AND STUDENT
GROUPS



RACHEL WHITEREAD BOOKCASE



MOCASSIN IDENTIFIER PROJECT
(FORMER CHIEF CAROLYN KING), TRILLIUM PARK



MELVIN CHARNEY, CCA

ART TO BRIDGE HISTORIES

ROOTED IN HISTORY

What do you think?

Any other comments or feedback?

NATURAL

- Maintain natural features (minimize hardscaping)
- Trees
- Gardens (community, botanical, Indigenous, teaching medicine, etc.)
- Mulock as the farmer and naturalist
- Wildlife
- Water and wetlands
- Strong focus on environmental education, sustainability and stewardship

“Keep everything natural - no hard-scaping!”

“Save the trees!”

“The swamp should be built into a natural water feature”

- Residents Visioning Workshop Attendees

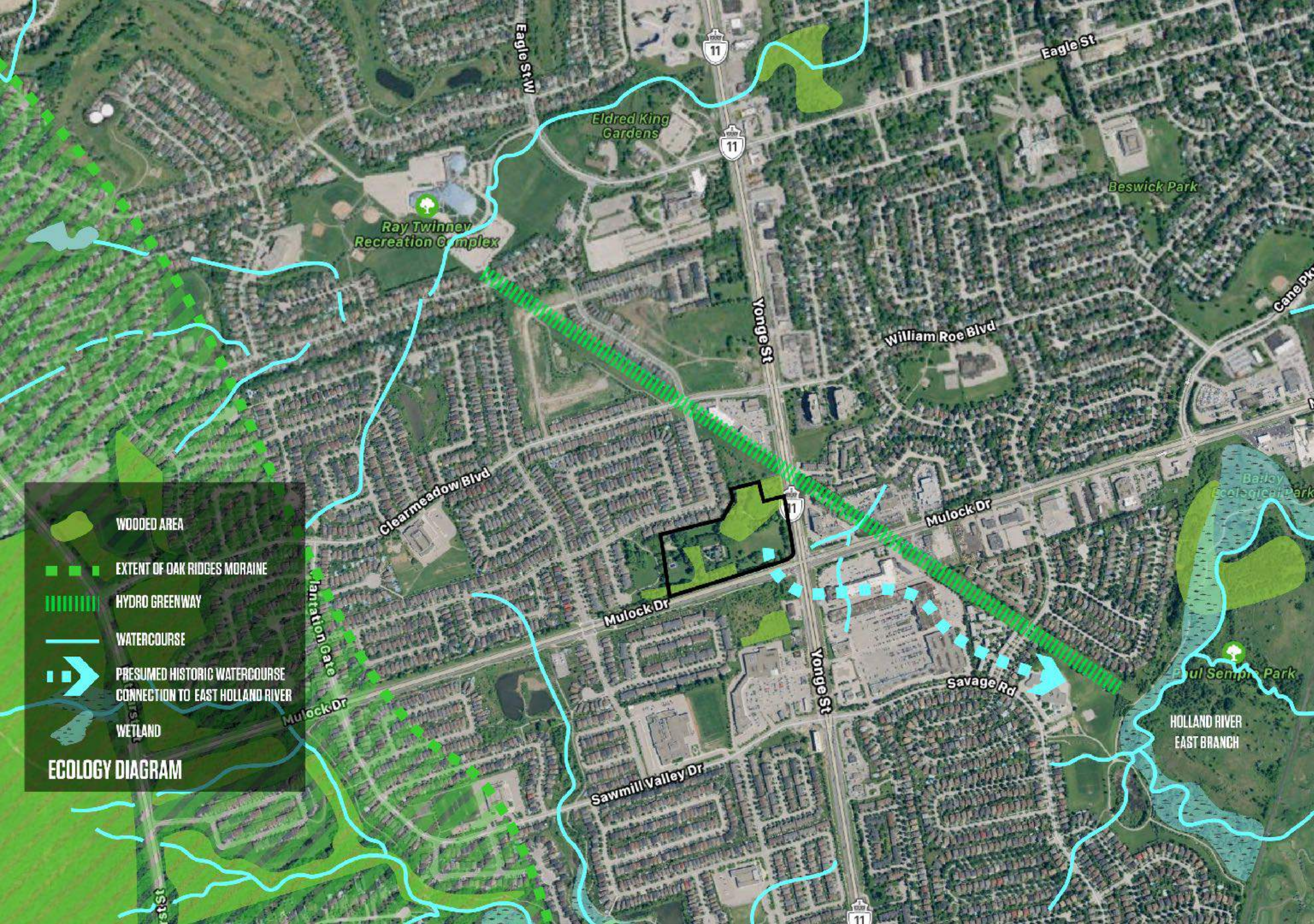
NATURAL



- keep as natural as possible minimize hardscape
- passive recreation in nature
- art about nature
- nature education, gardening
- highlight wetland
- strong sustainability

ECOLOGY DIAGRAM

- WOODED AREA
- EXTENT OF OAK RIDGES MORaine
- HYDRO GREENWAY
- WATERCOURSE
- PRESUMED HISTORIC WATERCOURSE CONNECTION TO EAST HOLLAND RIVER
- WETLAND





Fading Rd

Jordanray Blvd

SPRUCE

BLACK WALNUT GROVE

TREE GROVE

TREE GROVE

CEDAR

MARSH PLANTING

TREE GROVE

SUGAR MAPLE

SPRUCE

TREE GROVE

MULBERRY

TREE GROVE

THICKET

THICKET

SPRUCE

PEONY

JUNIPER

CEDAR

THICKET

BLACK WILLOW

SPRUCE/CEDAR

SILVER MAPLE

SUGAR MAPLE/
BLACK MAPLE

Mullock Dr

Oster Cr

LANDSCAPE TYPES



TREE HEALTH

NATURAL ENHANCEMENT



COMMUNITY GARDEN



LURIE GARDEN, MILLENNIUM PARK



ARBORETUM

Red Oak
Quercus shumardii (Shumard Oak)
Quercus buckleyi (Texas Red Oak)
Family: Beech

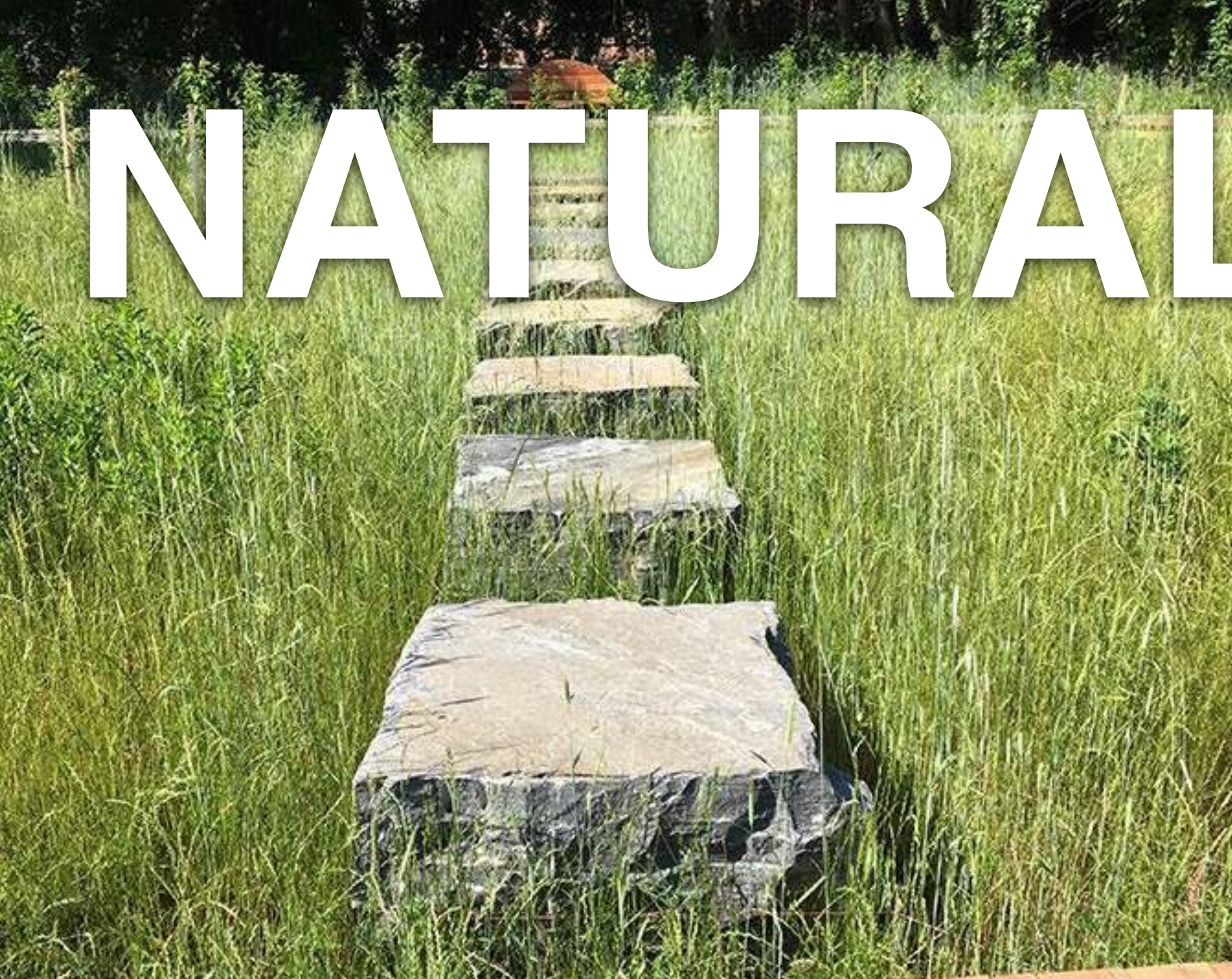
The Shumard and the Texas Red often hybridize, making them hard to distinguish. The acorn sometimes offers a distinction with the Shumard being larger and having a flatter cap.



© 2010 Nature Park



NATURAL ENHANCEMENT



NATURAL ENHANCEMENT



Geothermal energy from nature:

- Open Field: 11,000 sm= 55 tons-660 tons heating. House needs 24 tons heating
- Ice Rink: Ejects 130-260 tons heat (250m-500m path)

NATURAL

What do you think?

Any other comments or feedback?

CONNECTED

Testing key issues:

GETTING TO THE SITE

- **Active Transportation:** Interest in alternative transit options.
- **Parking:** Most recommend limited parking on-site with creative solutions (nearby locations, shuttle bus).
- **Accessibility:** Ensure wheelchair and stroller access.

95% of survey respondents drive to destinations in Newmarket. But many participants want options for safe alternatives.

CONNECTED

Testing key issues:

CONNECTING TO BROADER AREAS

- Jim Bond: Overwhelmingly, there is a desire to connect the property with Jim Bond Park. Few opposed the idea (with fear of parking in the neighbourhood). Many thought that concerns could be mitigated through thoughtful design.
- Connections to broader area (Yonge-Mulock): Some mentioned the need to consider design of adjacent sites (new developments) as they progress so that there are appropriate connections and good design.

CONNECTED



- many entrances off Mullock Dr.
- clear entrance/ gateways at corner
- link to hydro corridor
- connect Jim Bond Park

JIM BOND PARK



Recommend re-joining the park to the site:

- Connect Jim Bond goes both ways - expands park, and gives access to neighbourhood (connecting is a two-way street)
- It was originally part of the social garden area
- Consolidates parks management

Design/policy solutions required:

- Offer many options to get to the site
- Add traffic deterrents on Jordanray Blvd.
- Minimize noise/privacy breaches conflicts with residents
- Transfer Jim Bond commemoration
- Ensure modest and intimate places, not just larger /communal ones
- The dike is currently a divider, consider how could it be an agent to connect the sites

CONNECTED

Jim Bond Park: What do you think?

- Are there any other considerations we should be aware of?

GATEWAY BEACON



HOUTAN PARK



MARC BOUTIN MEMORIAL



SANAA GRACE FARM



STARGATE



KEW GARDENS



SANAA SERPENTINE PAVILION

P SHARED PARKING LOTS (WEEKENDS ONLY)

P SHARED PARKING LOTS (ALL WEEK)

--- BIKING (6-8 MINS) & WALKING (15-20 MINS)

--- DRIVING/SHUTTLE SERVICES (5-7 MINS)

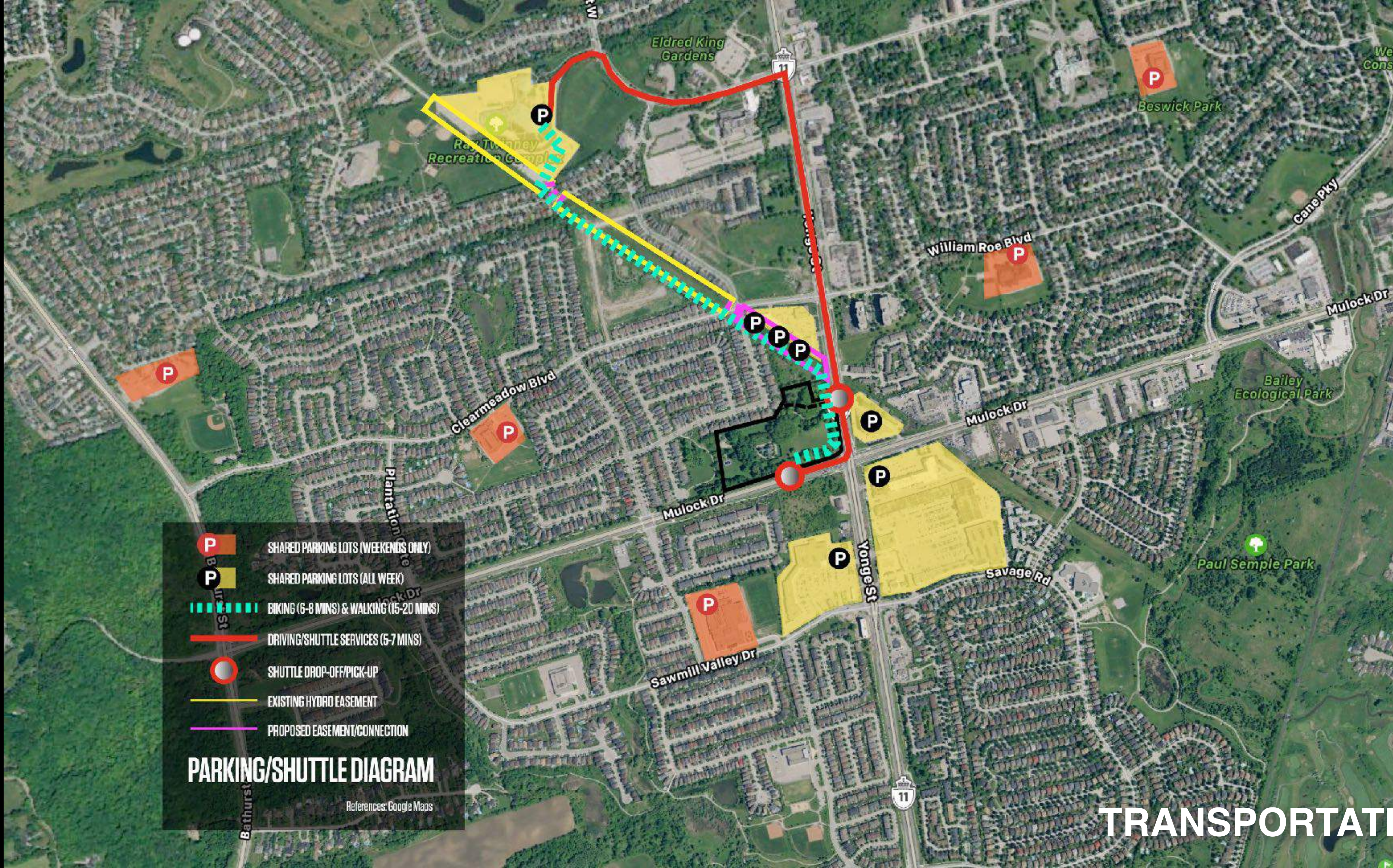
○ SHUTTLE DROP-OFF/PICK-UP

--- EXISTING HYDRO EASEMENT

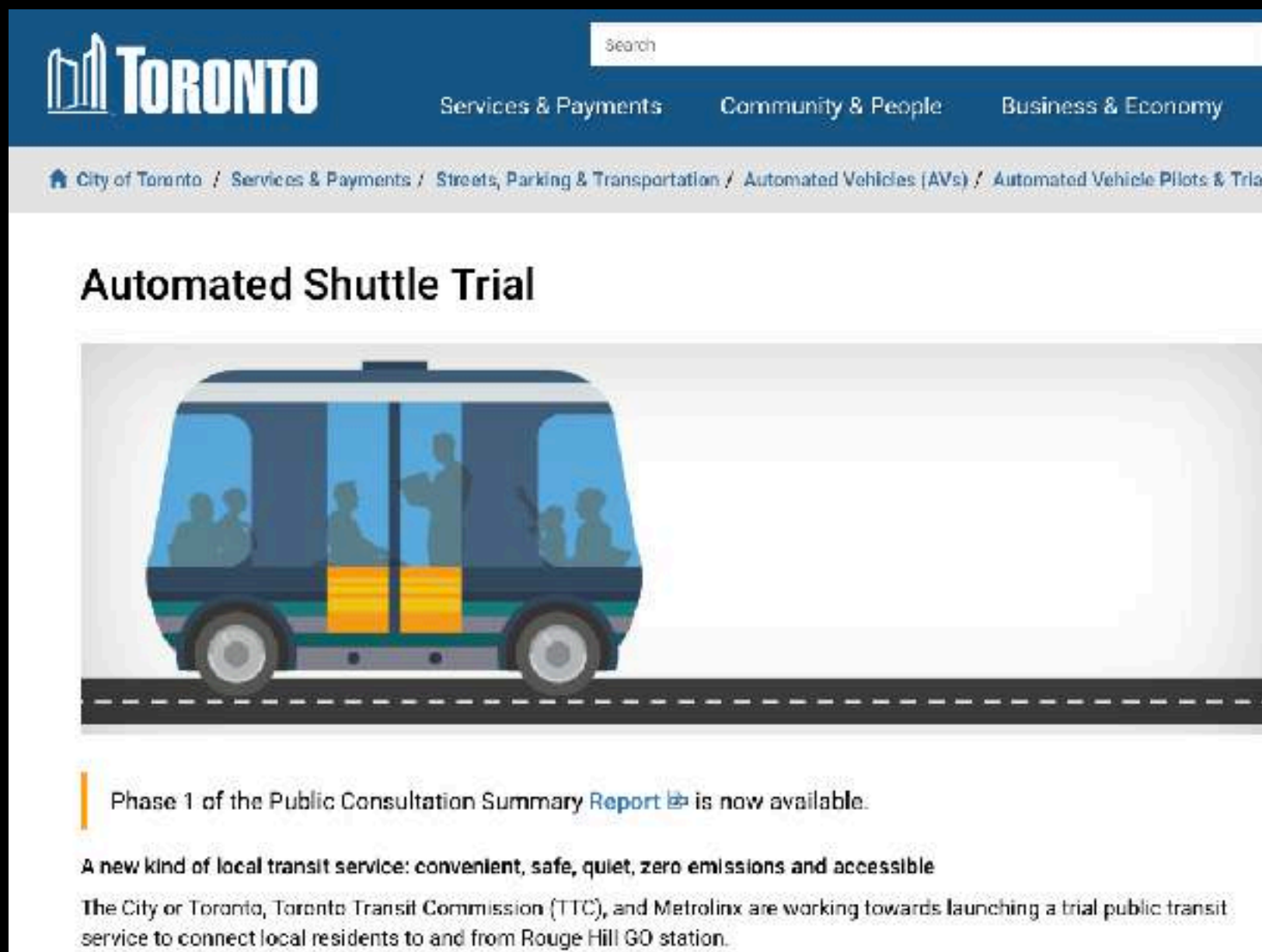
--- PROPOSED EASEMENT/CONNECTION

PARKING/SHUTTLE DIAGRAM

References: Google Maps



CONNECTING




Toronto Search

Services & Payments Community & People Business & Economy

City of Toronto / Services & Payments / Streets, Parking & Transportation / Automated Vehicles (AVs) / Automated Vehicle Pilots & Trials


Automated Shuttle Trial



Phase 1 of the Public Consultation Summary Report is now available.

A new kind of local transit service: convenient, safe, quiet, zero emissions and accessible

The City of Toronto, Toronto Transit Commission (TTC), and Metrolinx are working towards launching a trial public transit service to connect local residents to and from Rouge Hill GO station.

CALGARY'S LIVING LAB IN ACTION


Embracing the future of transportation with autonomous vehicle testing

In September 2018, the first autonomous shuttle in Western Canada arrived in Calgary, providing the public with an opportunity to experience this technology first-hand.

In September 2018, the first autonomous shuttle in Western Canada arrived in Calgary, providing the public with an opportunity to experience this technology first-hand. ELA, or 'Electric Autonomous,' is a fully-accessible 12-person vehicle, which is moving passengers between the Calgary Zoo and TELUS Spark throughout the month.

Guided by sensors, including a key piece of high accuracy GPS equipment developed by local firm NovAtel, part of Hexagon's Positioning Intelligence Division, ELA will operate at low speeds of approximately 12 km/hour, on a one kilometre service road between the two tourist attractions.

"We are proud to partner with The City of Calgary," says Dan Finley, VP of Business Development at PWT. "It's important for governments and industry to work together to learn about this evolving technology. It has the capacity to be a real game changer in the field of transportation."



- Special way of getting there is part of the experience (Toronto Island)

Art Gallery - 9 Parking Spots Required
Office - 17 Parking Spots Required
Community Centre - 29 Parking Spots Required
Banquet Facility - 90 Parking Spots Required



CAR ACCESS OPTION 1



44 Cars

ACCESS / PARKING OPTI IMPACTS

- DITCH
- CULVERT
- RETAINING WALL
- NEW SLOPE
- TREE REMOVAL

- Regrading required
- Retaining wall required
- Removal of 20-30 trees required

CAR ACCESS OPTION 1 - IMPACTS

Art Gallery - 9 Parking Spots Required
Office - 17 Parking Spots Required
Community Centre - 29 Parking Spots Required
Banquet Facility - 90 Parking Spots Required



CAR ACCESS OPTION 2



CAR ACCESS OPTION 2 - IMPACTS

Art Gallery - 9 Parking Spots Required
Office - 17 Parking Spots Required
Community Centre - 29 Parking Spots Required
Banquet Facility - 90 Parking Spots Required



CAR ACCESS OPTION 3



CAR ACCESS OPTION 3 - IMPACTS



24 Cars

possible area for car access
(York Region)

new road extension

CAR ACCESS OPTION 4



ACCESS / PARKING OPTI IMPACTS

- ||||| DITCH
- CULVERT
- ||||| RETAINING WALL
- ||||| NEW SLOPE
- ⊗ TREE REMOVAL

- Regrading required
- Retaining wall required
- Culverts required
- Removal of 70-85 trees required

CAR ACCESS OPTION 4 - IMPACTS

CONNECTED

Parking: What do you think?

- Should any parking be reduced?
- Should any parking be deleted?
- Should Option 4 road alignment be pursued?

CONNECTED

What do you think?

Any other comments or feedback?

INCLUSIVE & ACCESSIBLE

- **Welcoming to all**

- All ages
- People of different abilities
- Programming for diversity
- Public vs. private
- Café/accessible food
- Performance/Event areas
- Meeting areas

“Have activities that attract kids (8 years old) all the way 80 years old and up.” - Resident Workshop Attendee

“It might be a beautiful place for weddings & Conferences, however I wouldn’t want that revenue making aspect of it to take over all other utilisation of the property.” – Online Survey Respondent

INCLUSIVE & ACCESSIBLE

Testing key issues:

Covered Amenity Space

- Mixed opinions on a covered amenity space
- If there is a covered amenity space, it should be located closer to Yonge or Mulock, not near neighbours and not on lawn

“If there is a pavilion - it should be natural and add to the greenery.” - Resident Workshop Attendee

“A pavilion should not be built as it would take away from the natural beauty.”

INCLUSIVE & ACCESSIBLE

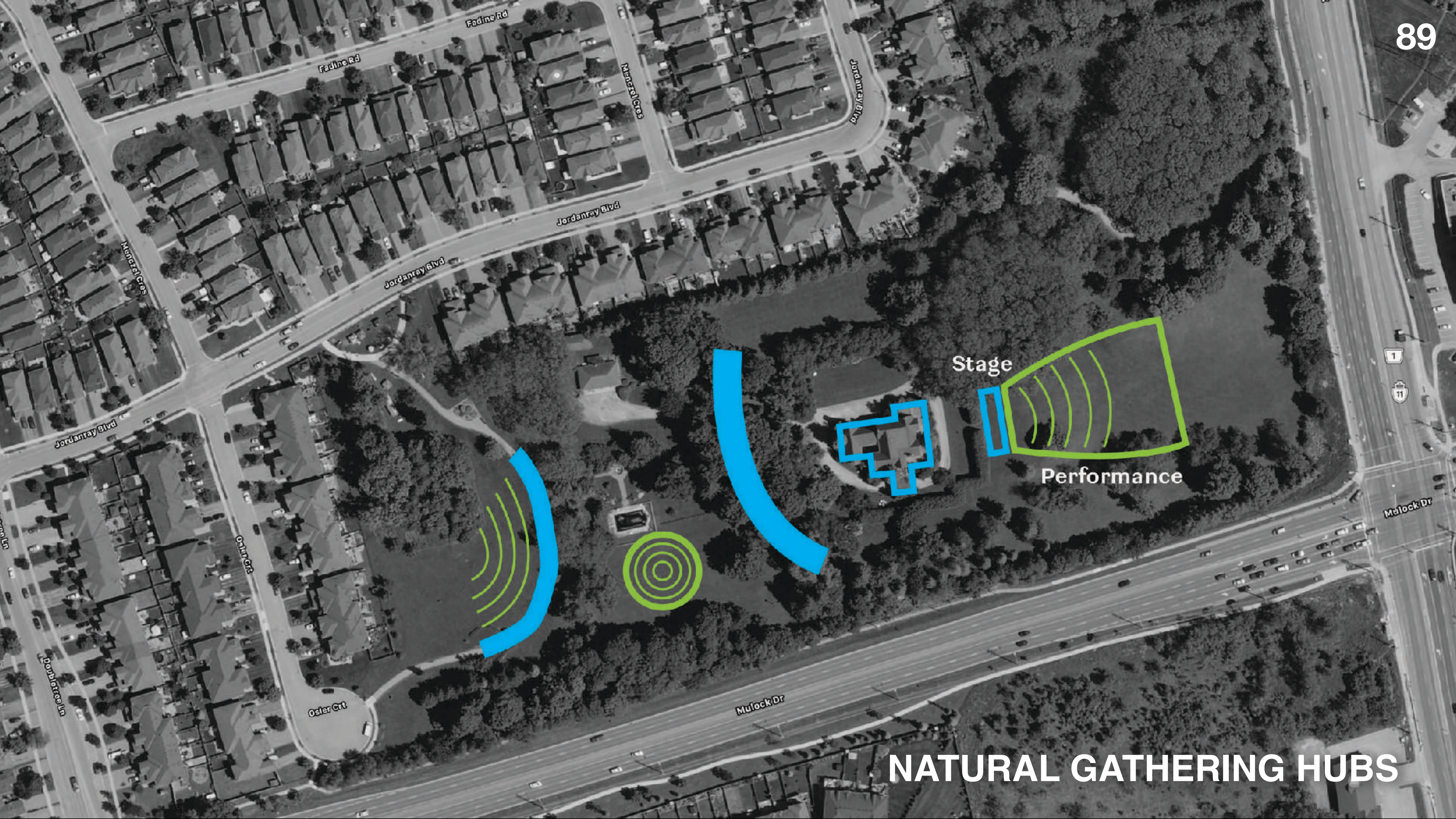


Mixed use destination- overlapping audiences:

- accessible food (\$)
- covered pavilion for market, events, performance, flexible - nice to have but not absolutely necessary, depending on house use
- preserve natural open areas - lawn and area behind for performance and events
- all ages - different sized trail loops
- overlapping experiences
- passive nature fitness, yoga, minimal infrastructure for play

INCLUSIVE FOR ALL AGES





Stage

Performance

NATURAL GATHERING HUBS

FLEXIBLE COMMUNITY HUB



BEER GARDEN



COLLEGE PARK DALLAS



LEFRAK CENTRE



CROSBY ARBORETUM, MISSISSIPPI

PAVILION TESTING



Covered Park Pavilion Space:

- flexible for events
- flexible for many winter uses, rink not favoured
- low impact, discreetly located, not overwhelming the site.
- away from residential - minimize disturbance
- Yonge St. location more favoured, but other locations ok

INCLUSIVE & ACCESSIBLE

Covered Community Hub: What do you think?

- Should the size of the covered hub be any smaller (in any location)?
- Do you have any specific comments about the covered hub?
- Should any master plan options not include a covered hub?

INCLUSIVE & ACCESSIBLE

What do you think?

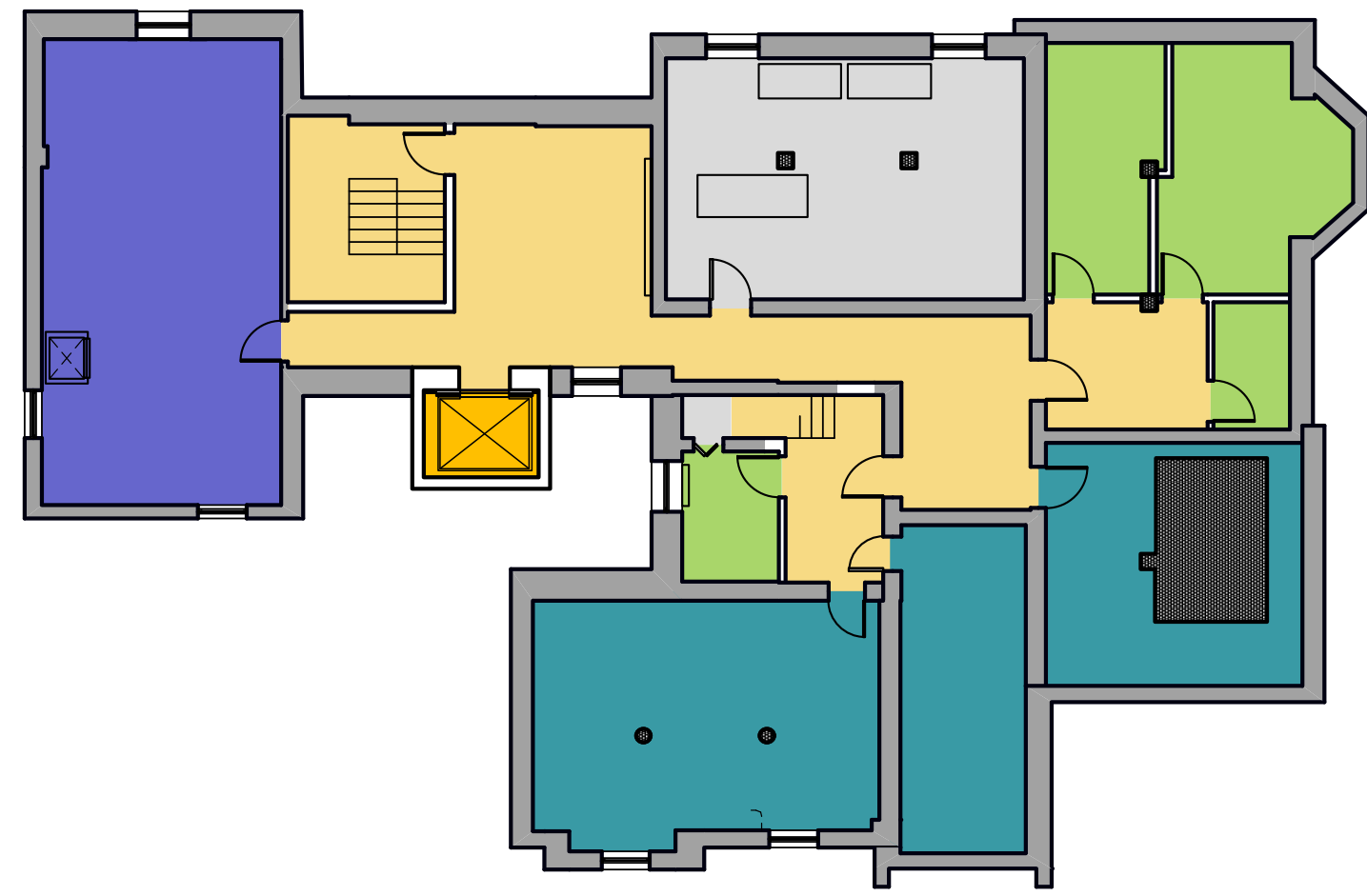
Any other comments or feedback?

HOUSE

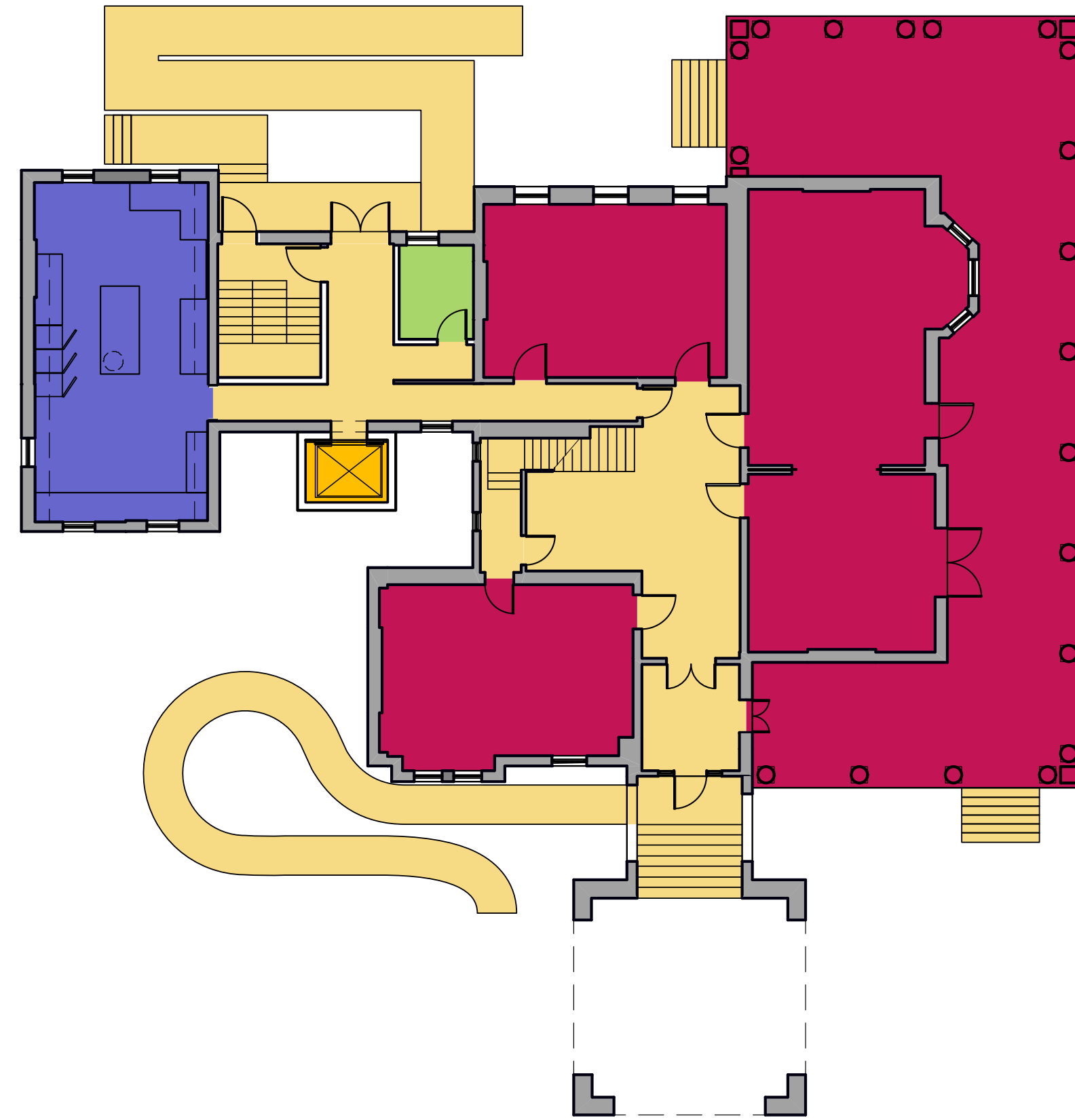


- House Plan for Resiliency**
- arts, education/think tank, meeting or event space, restaurant /food service
 - public function
 - interaction with community
 - connect to the landscape
 - value for the money
 - not a house museum
 - don't add to size of building if possible

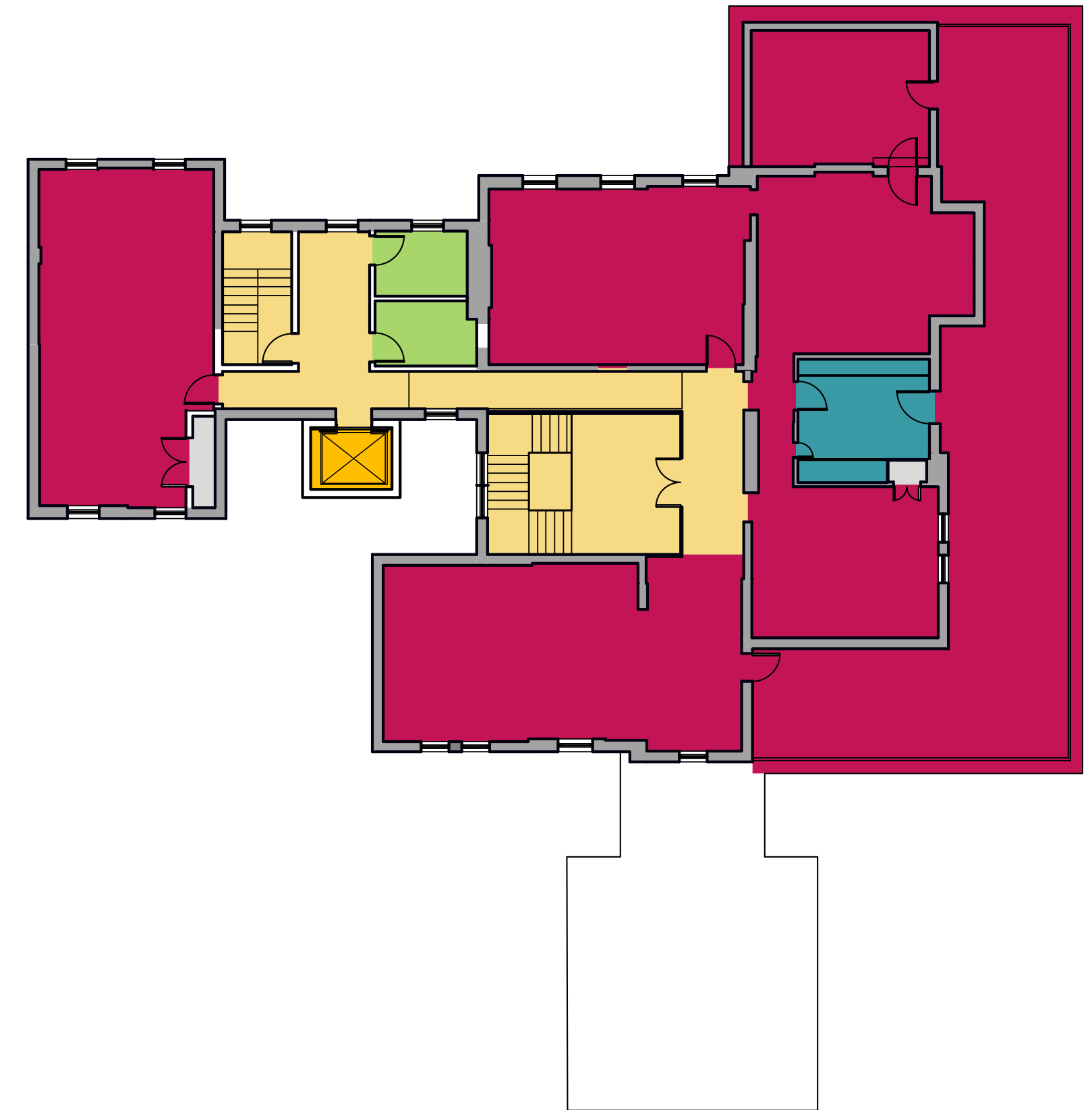
BASEMENT



GROUND FLOOR



SECOND FLOOR



LEGEND

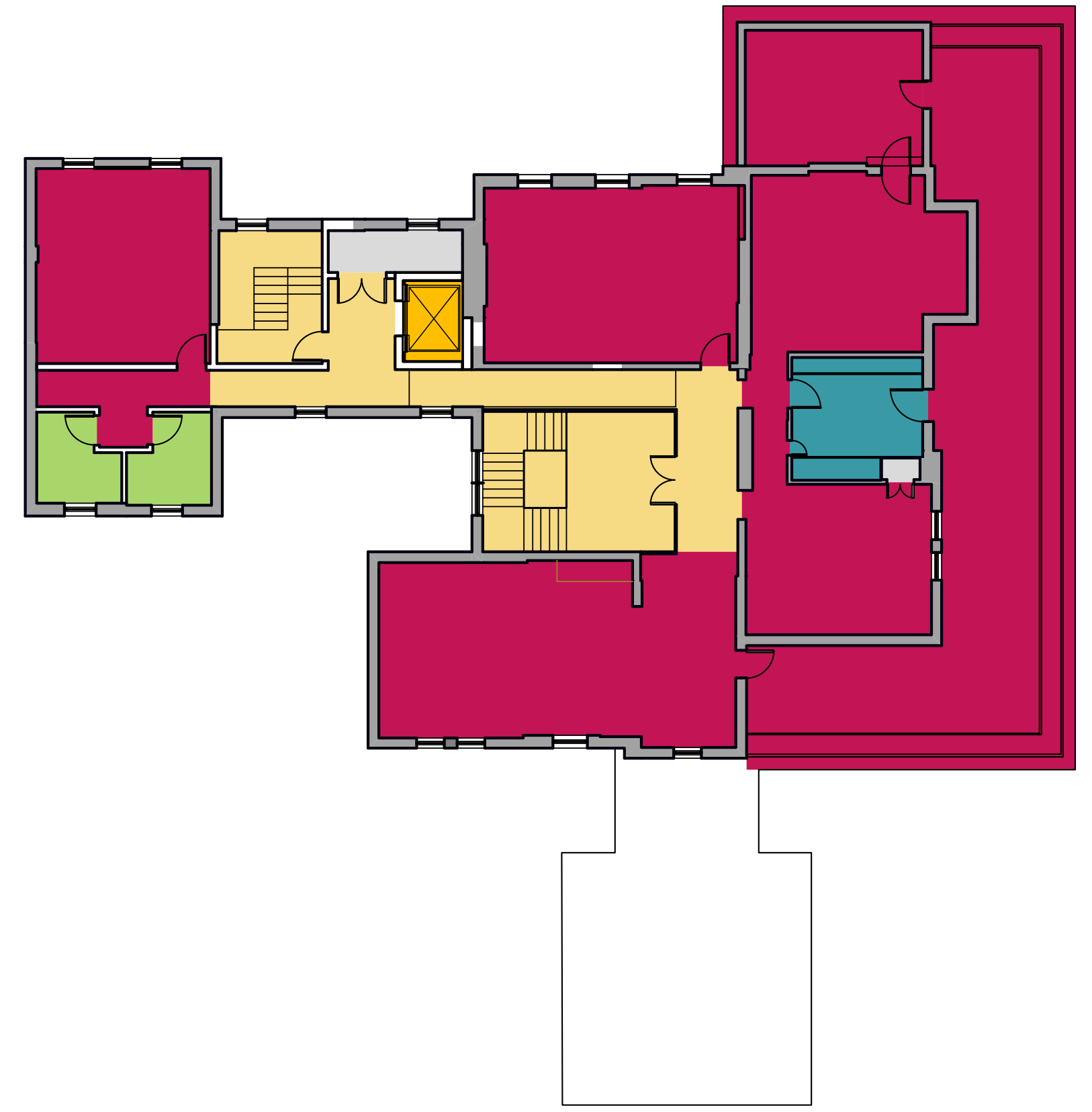
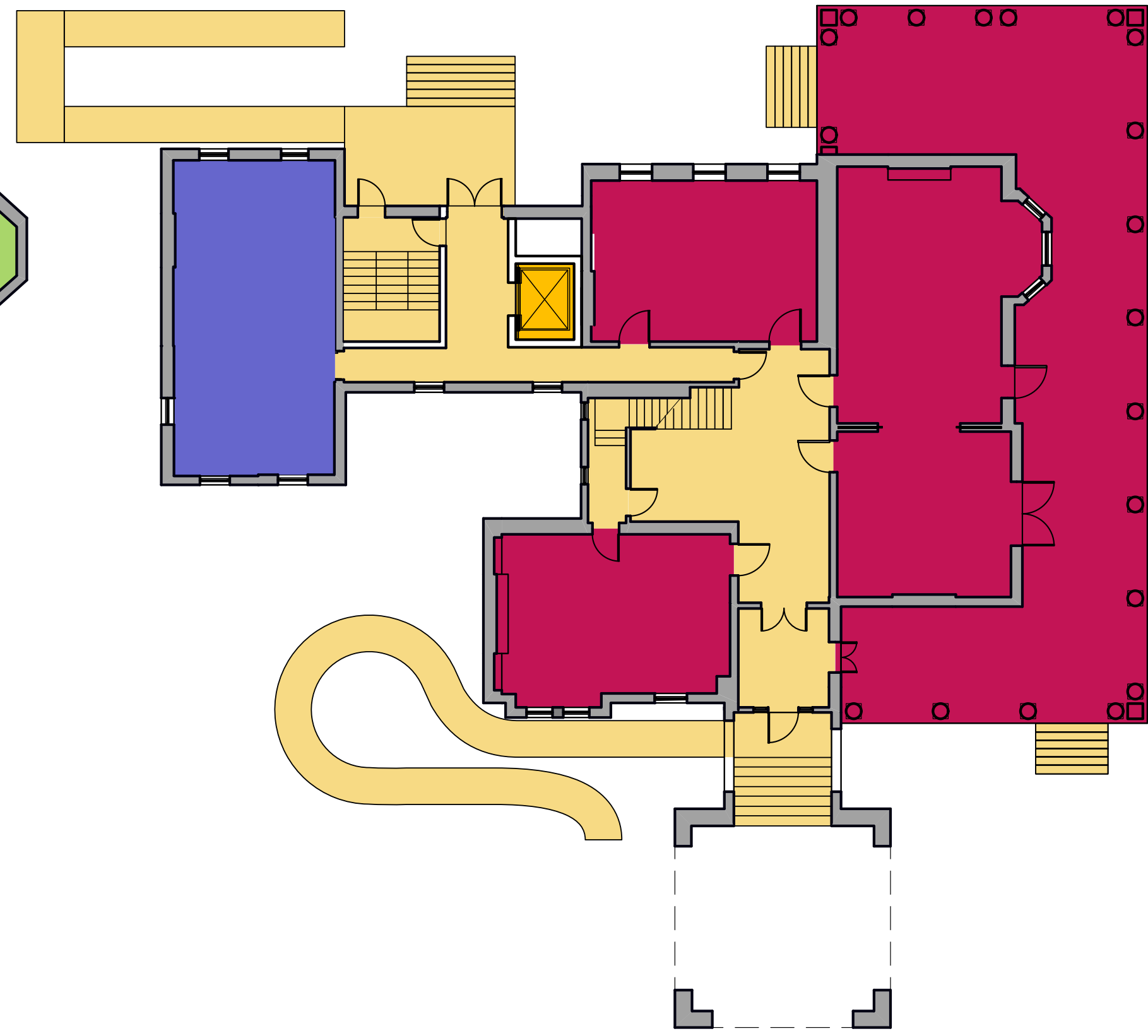
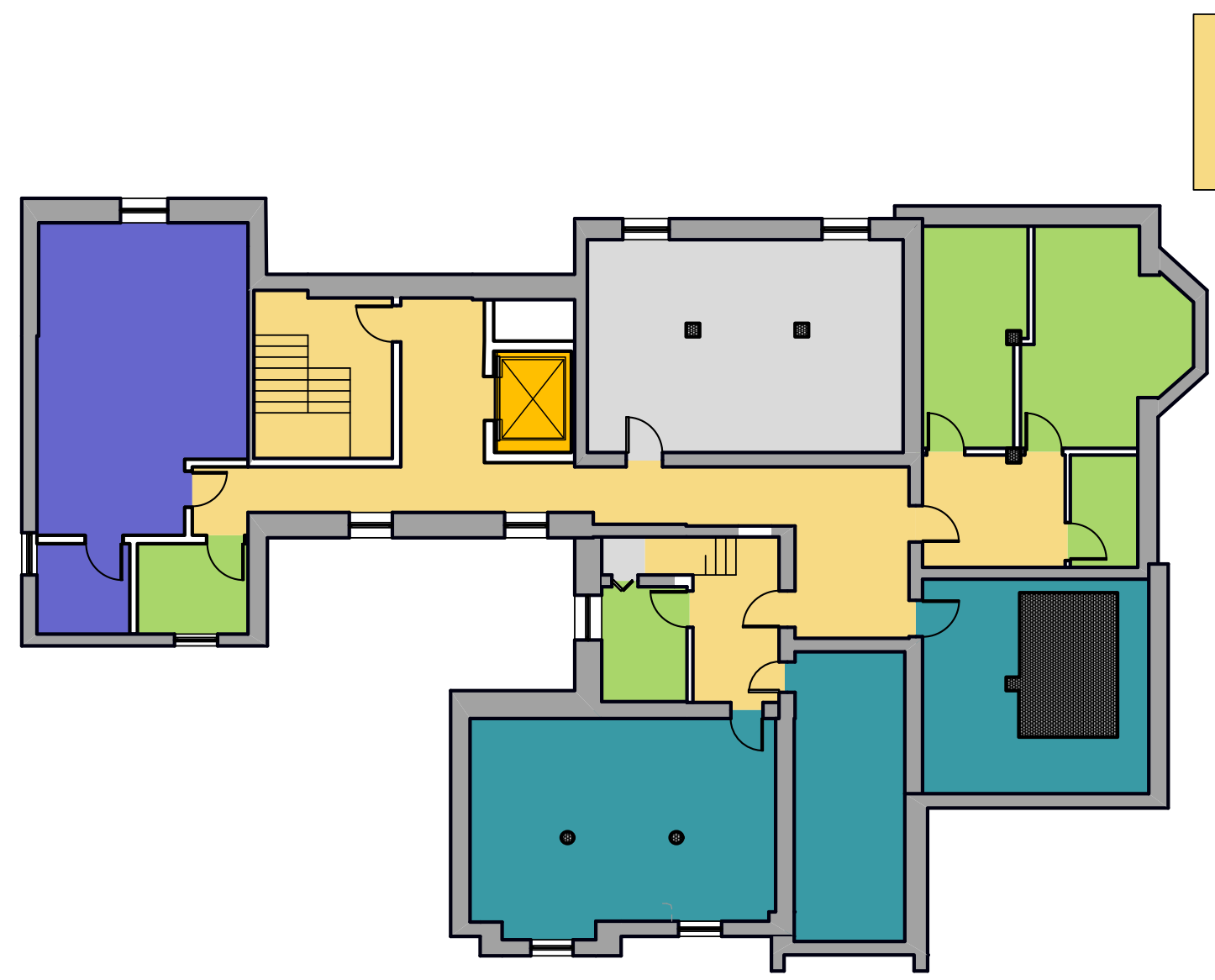
- CIRCULATION
- ELEVATOR
- HISTORIC ARTIFACT FOR VIEWING
- KITCHEN/PANTRY
- PROGRAMMABLE SPACE
- STORAGE
- WASHROOM

HOUSE -ELEVATOR OPTION 1

BASEMENT

GROUND FLOOR

SECOND FLOOR



LEGEND

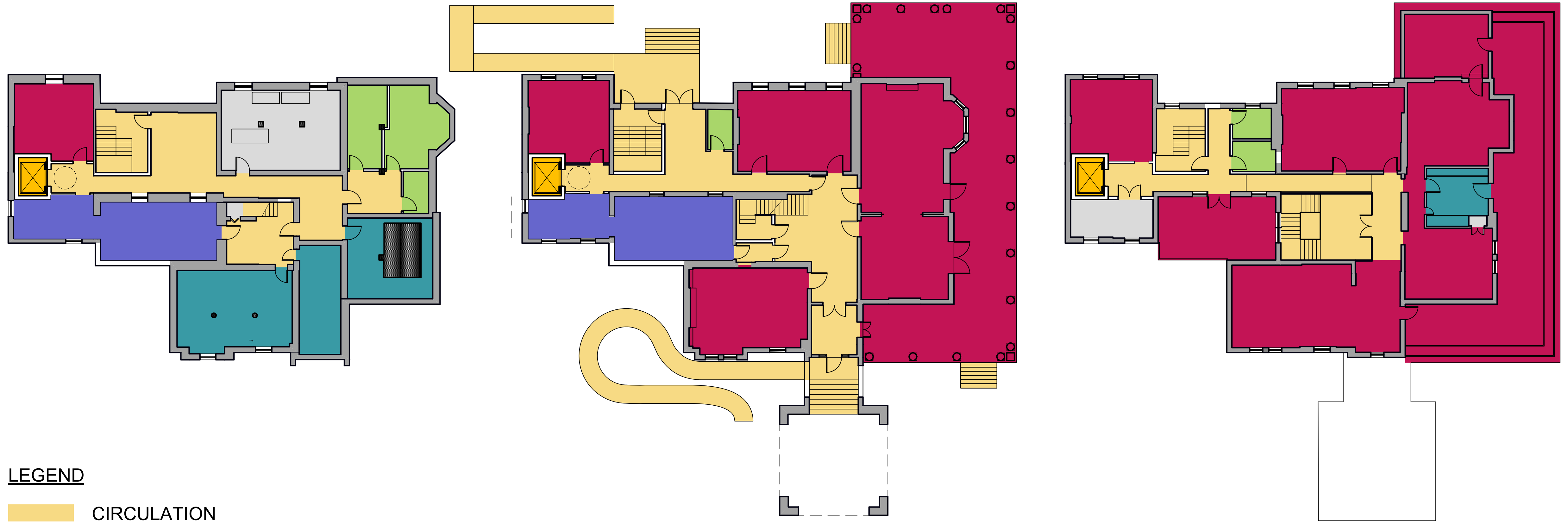
- CIRCULATION
- ELEVATOR
- HISTORIC ARTIFACT FOR VIEWING
- KITCHEN/PANTRY
- PROGRAMMABLE SPACE
- STORAGE
- WASHROOM

HOUSE -ELEVATOR OPTION 2








BASEMENT

GROUND FLOOR

SECOND FLOOR



LEGEND

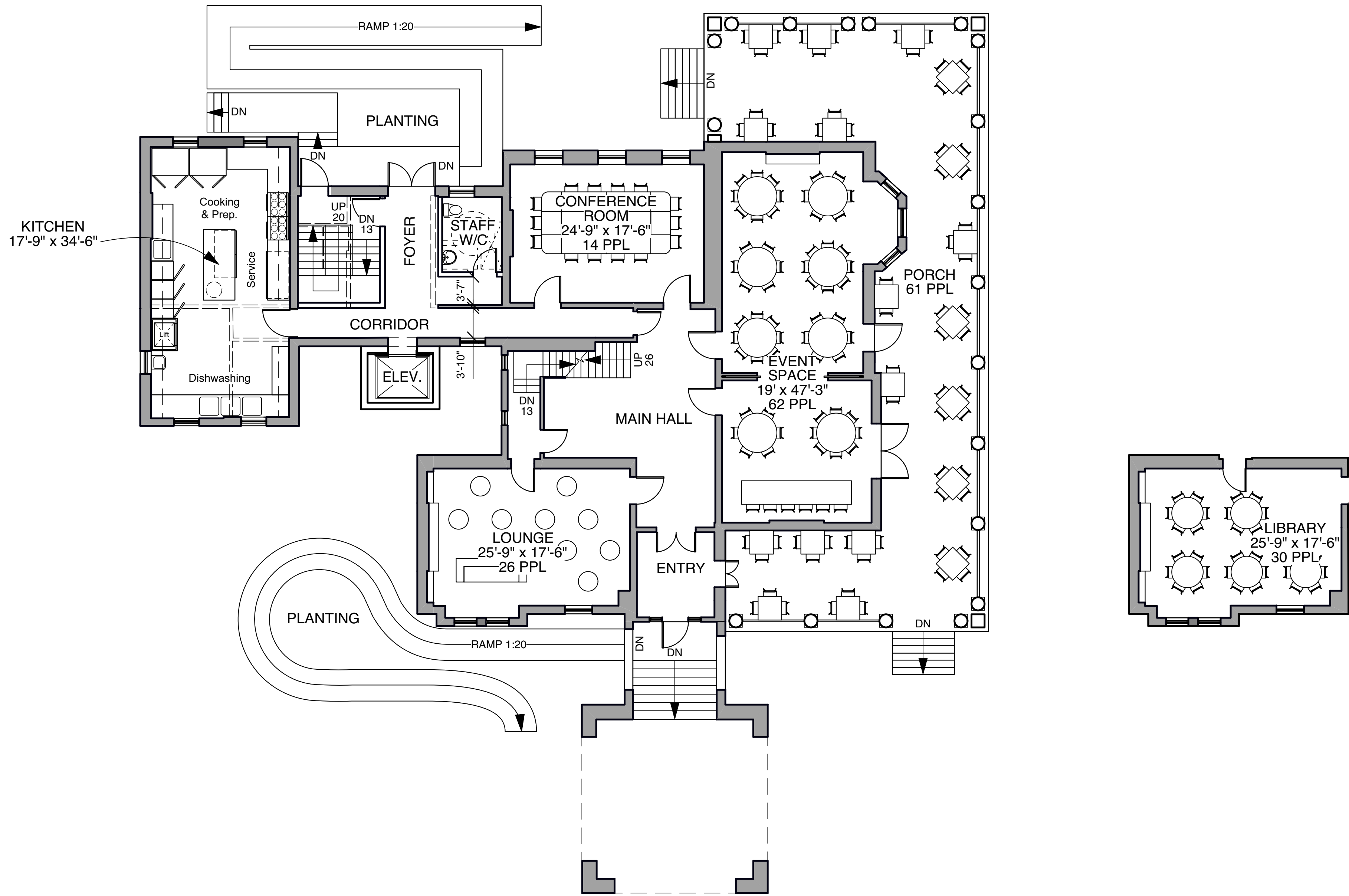
-  CIRCULATION
-  ELEVATOR
-  HISTORIC ARTIFACT FOR VIEWING
-  KITCHEN/PANTRY
-  PROGRAMMABLE SPACE
-  STORAGE
-  WASHROOM

HOUSE -ELEVATOR OPTION 3

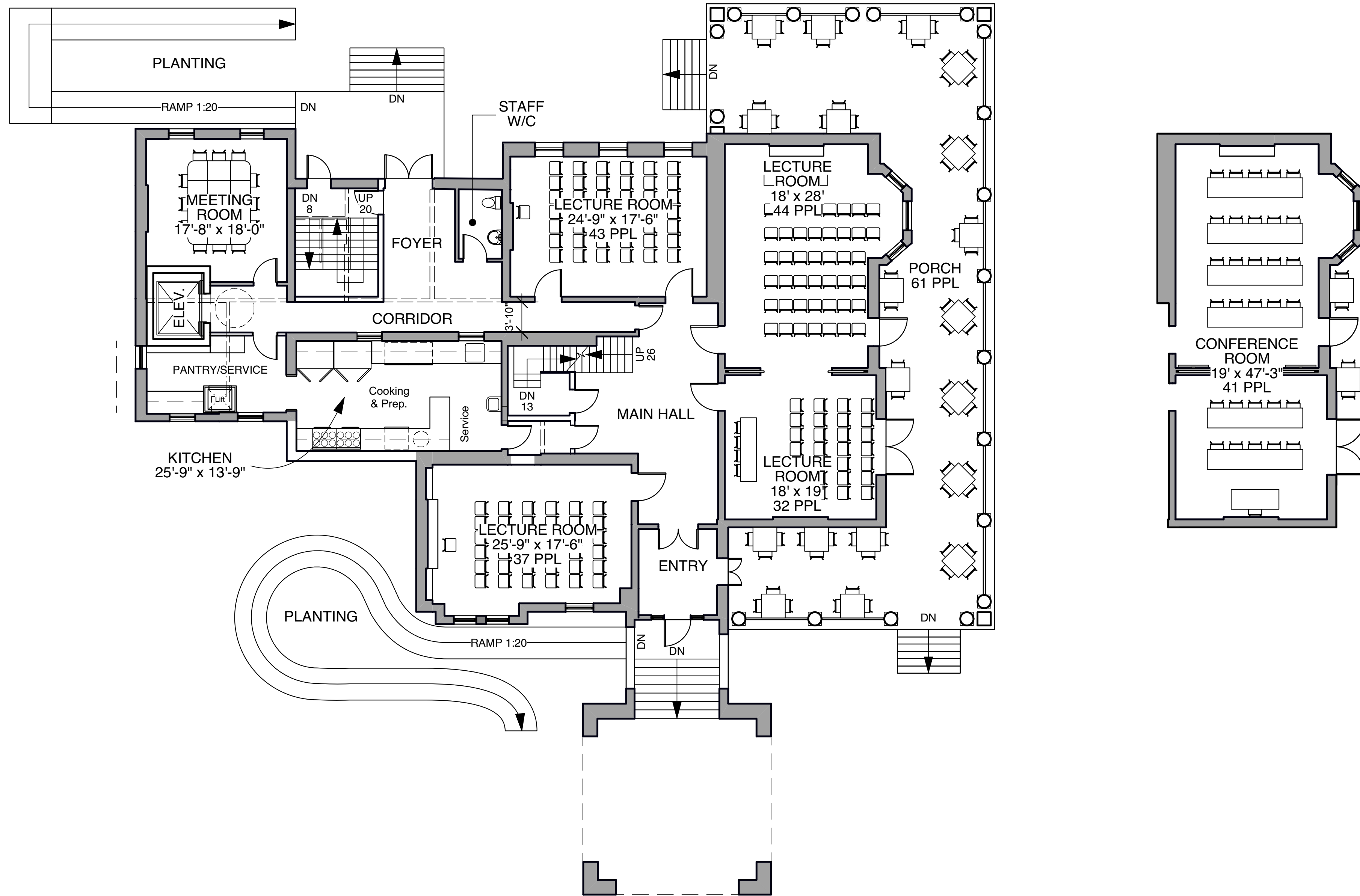
HOUSE

Elevator and Kitchen: What do you think?

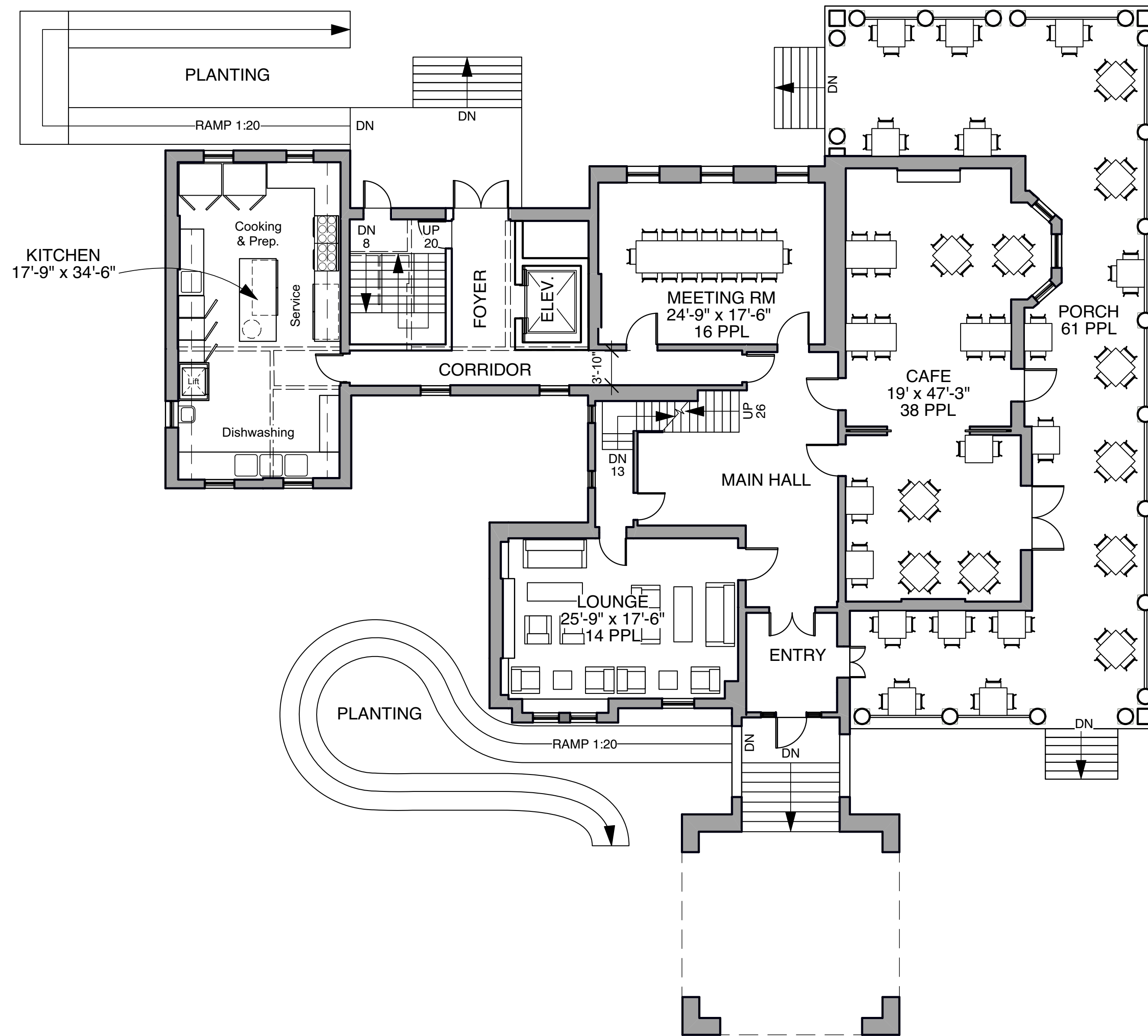
- Should there be any change in allocation of uses?
- Is there a preferred elevator position?
- Should any of the options be deleted?



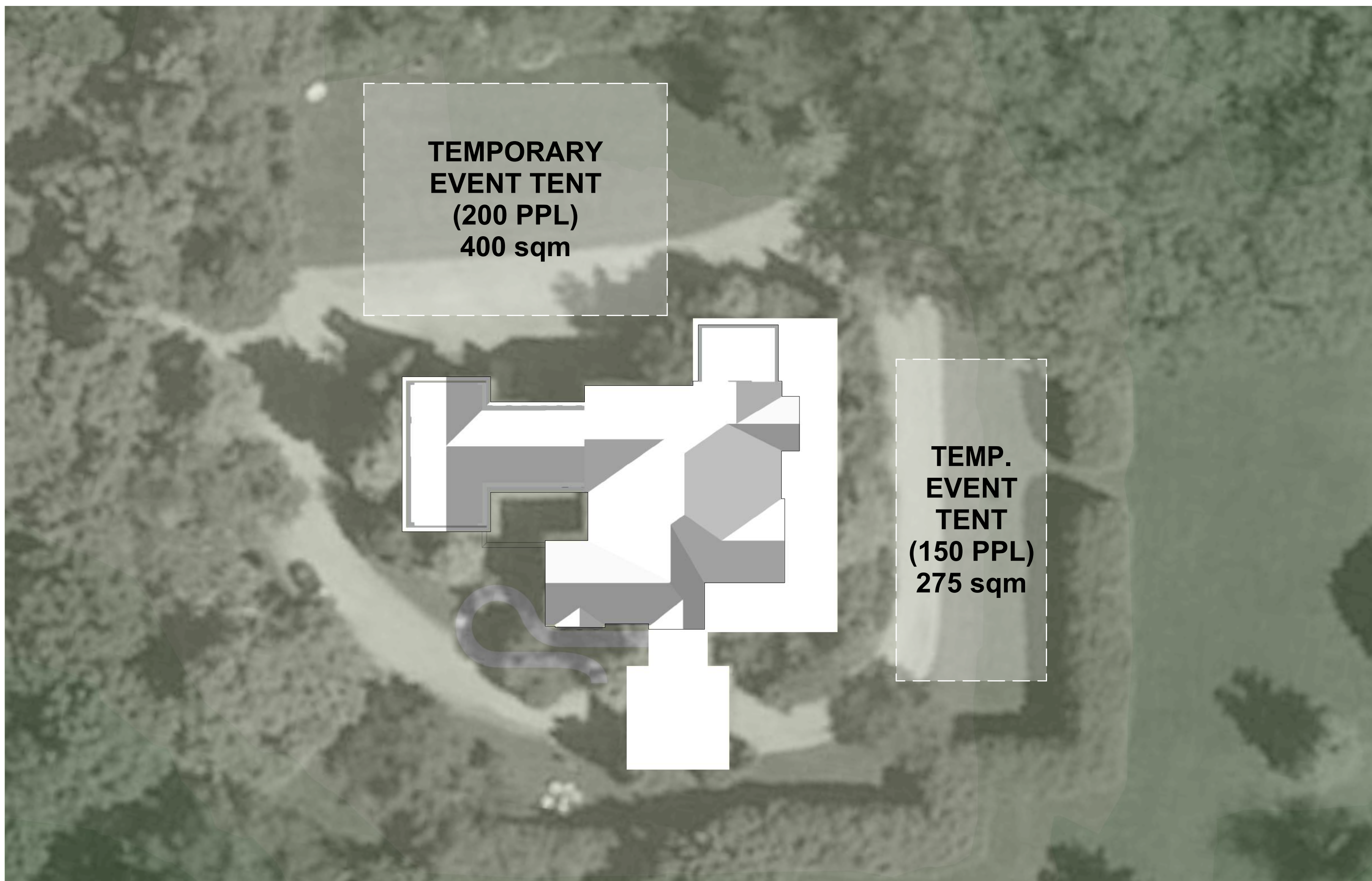
GROUND FLOOR - FOOD, EVENTS, MEETING

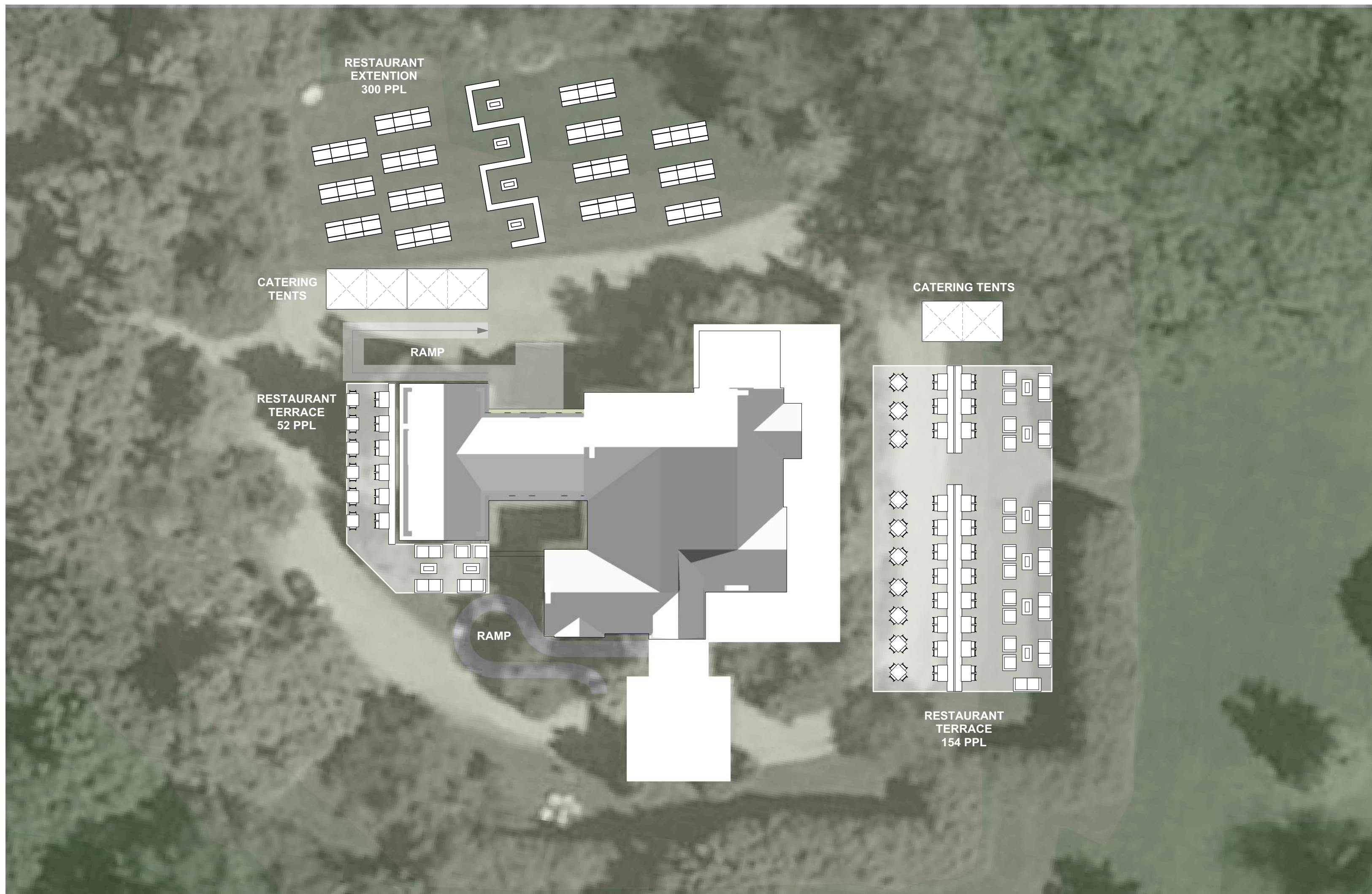


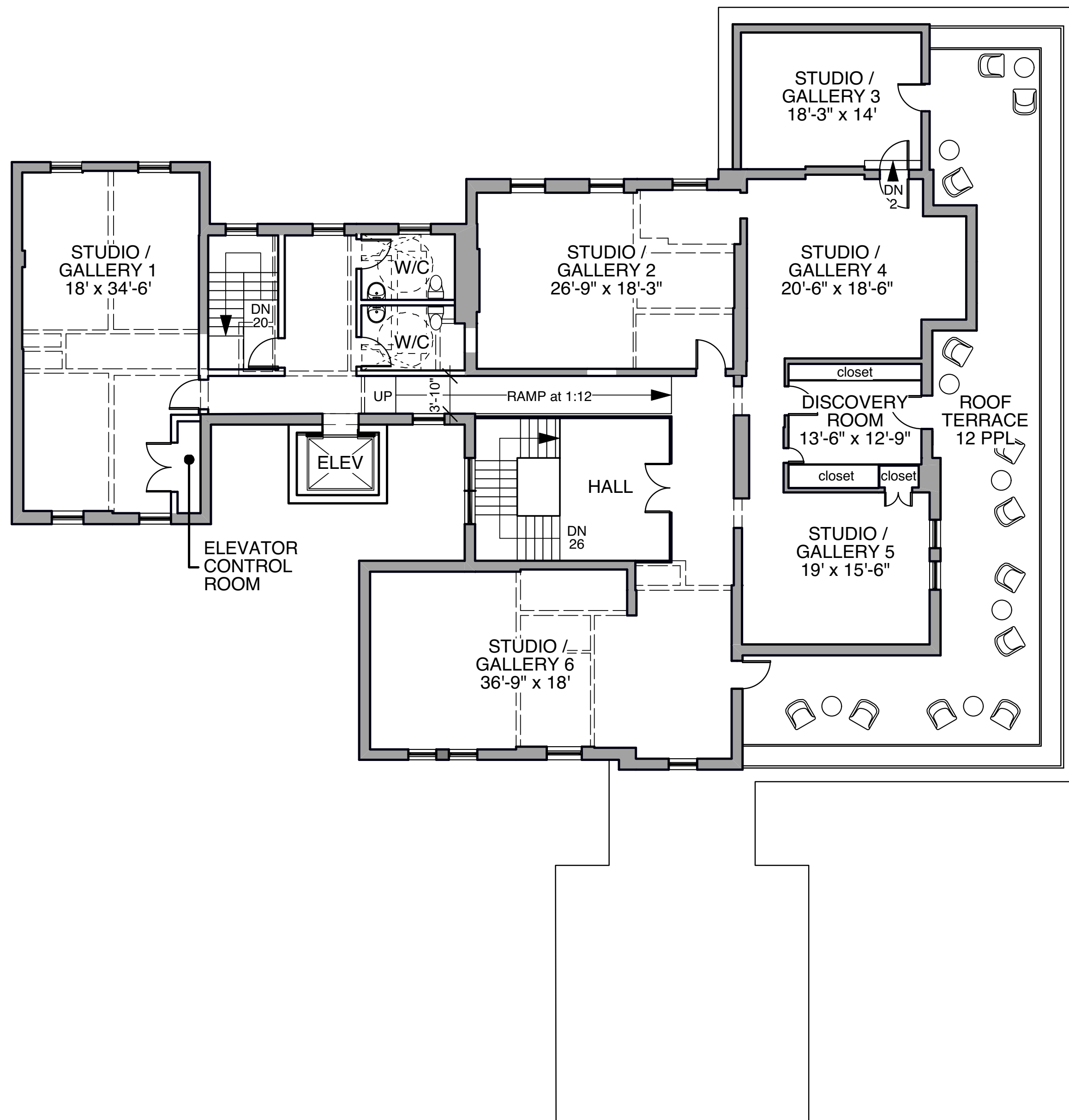
GROUND FLOOR - FOOD, EVENTS, MEETING



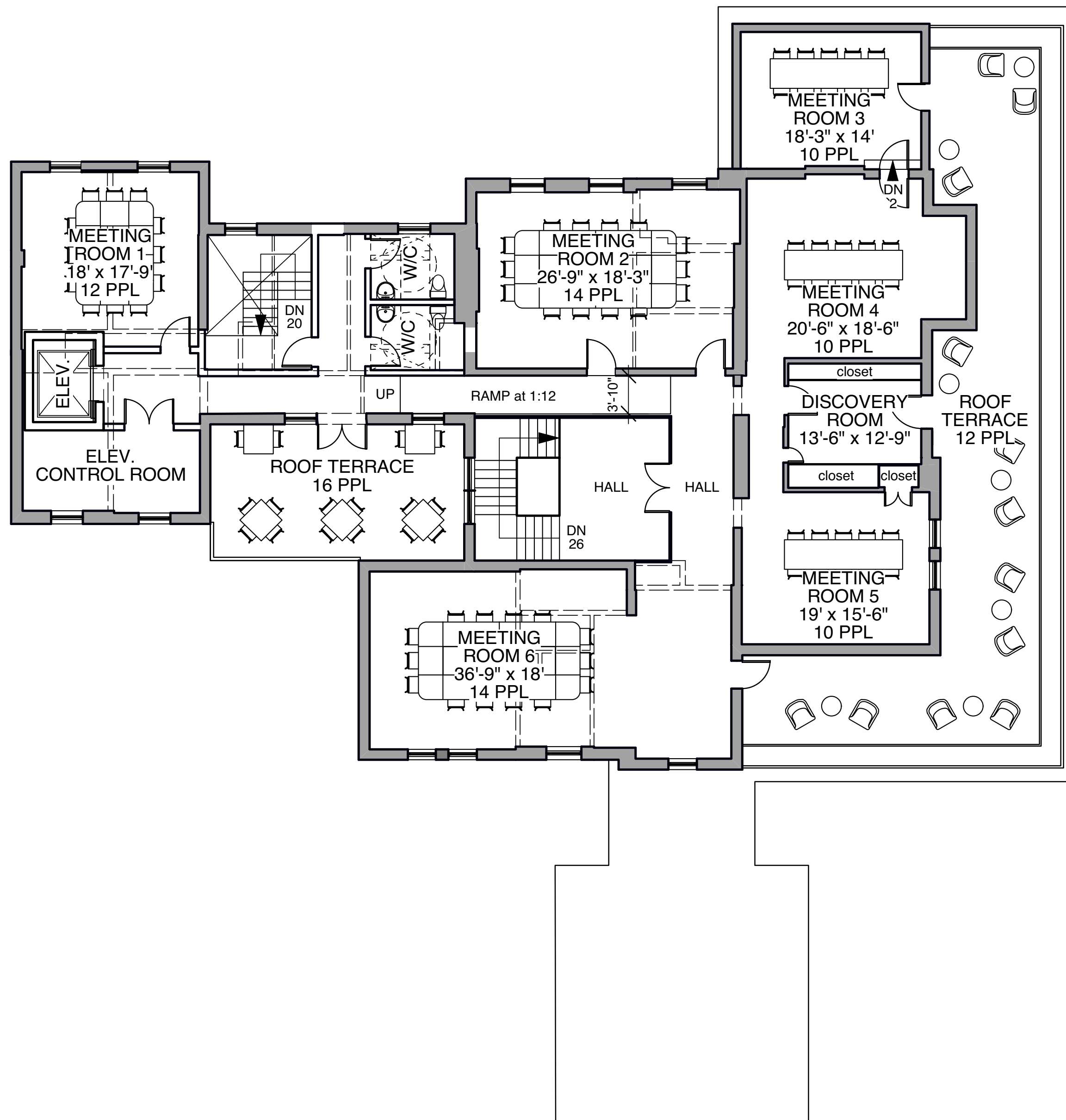
GROUND FLOOR - FOOD, EVENTS, MEETING



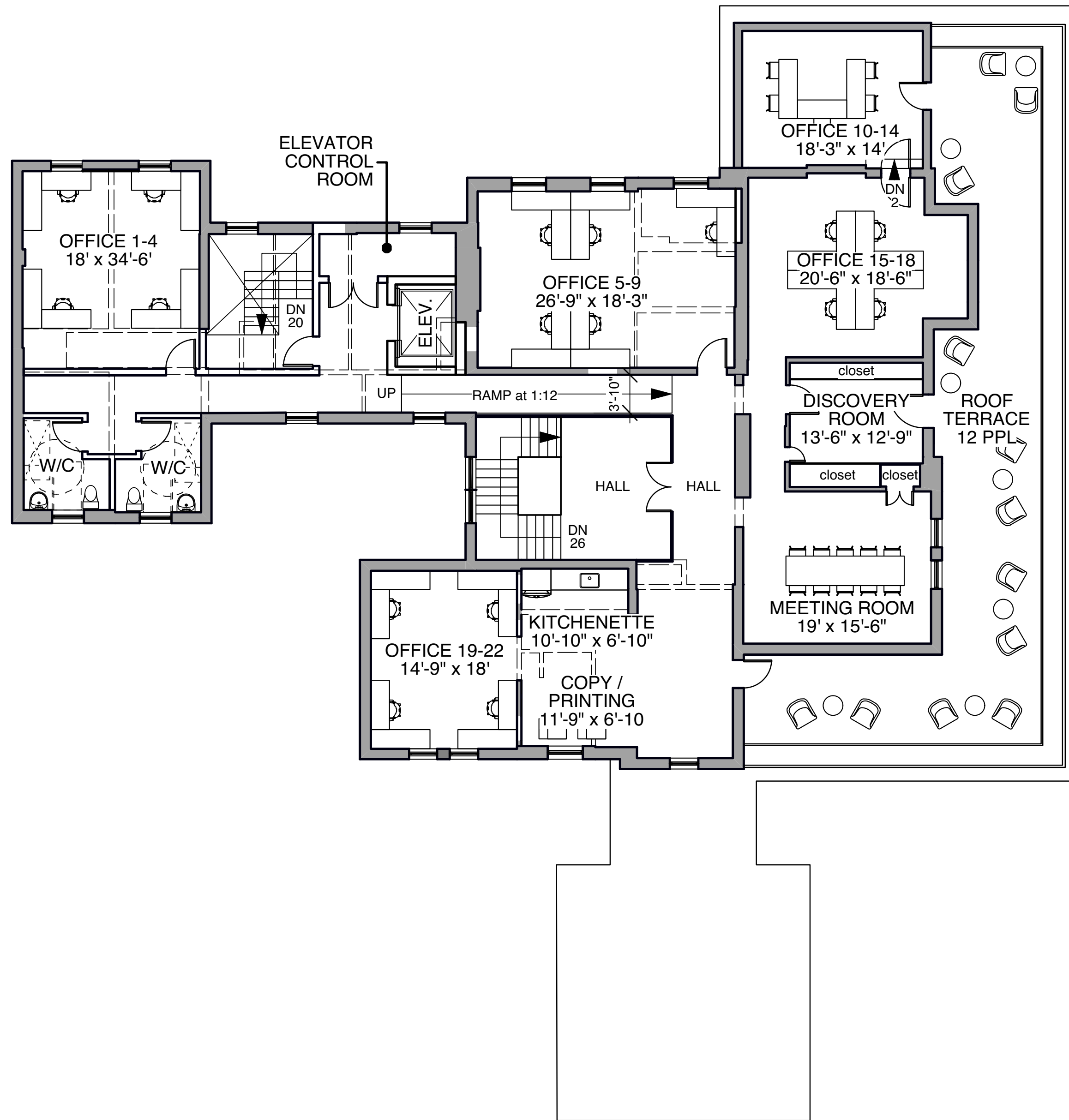




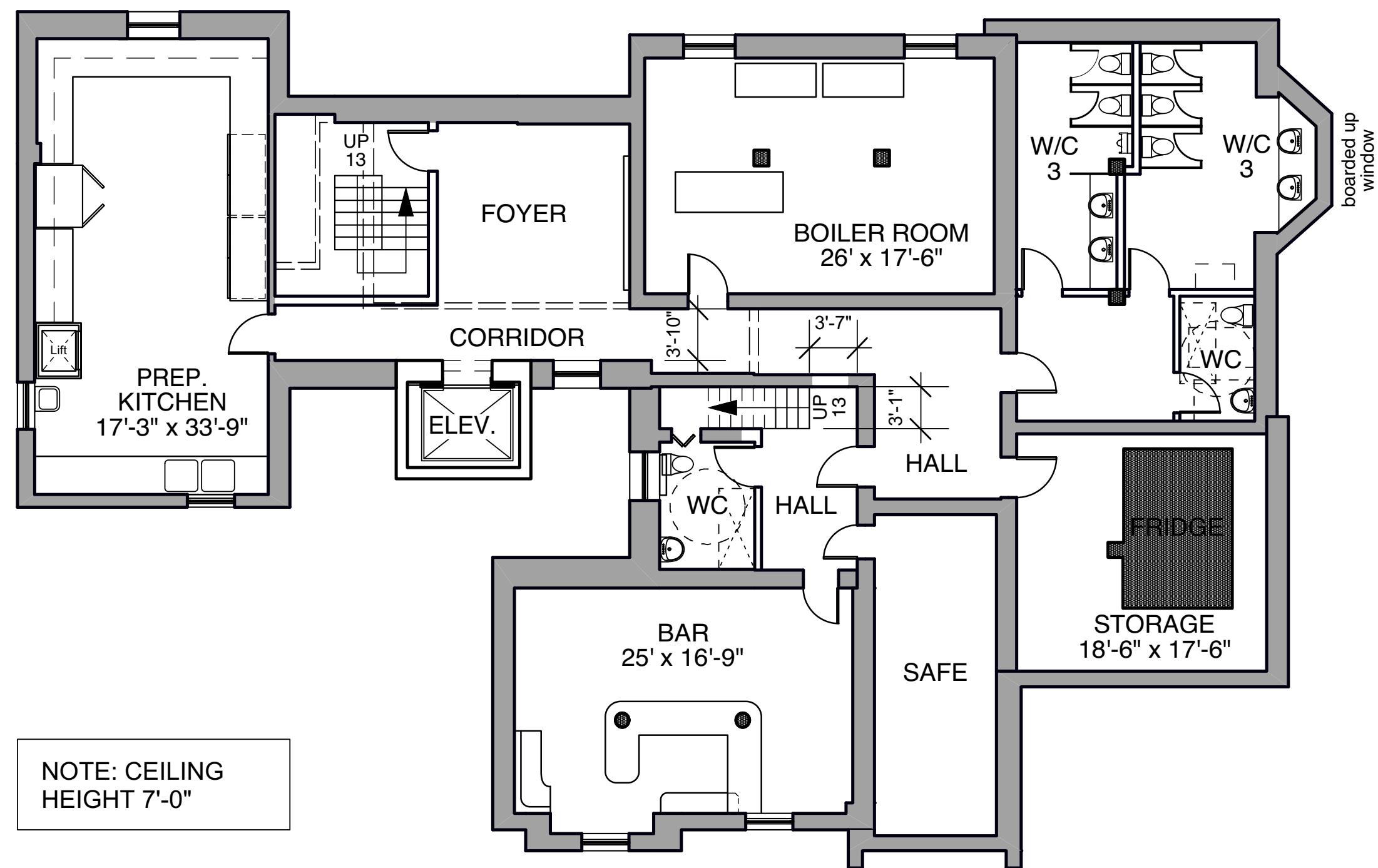
SECOND FLOOR - ART, MEET, OFFICE



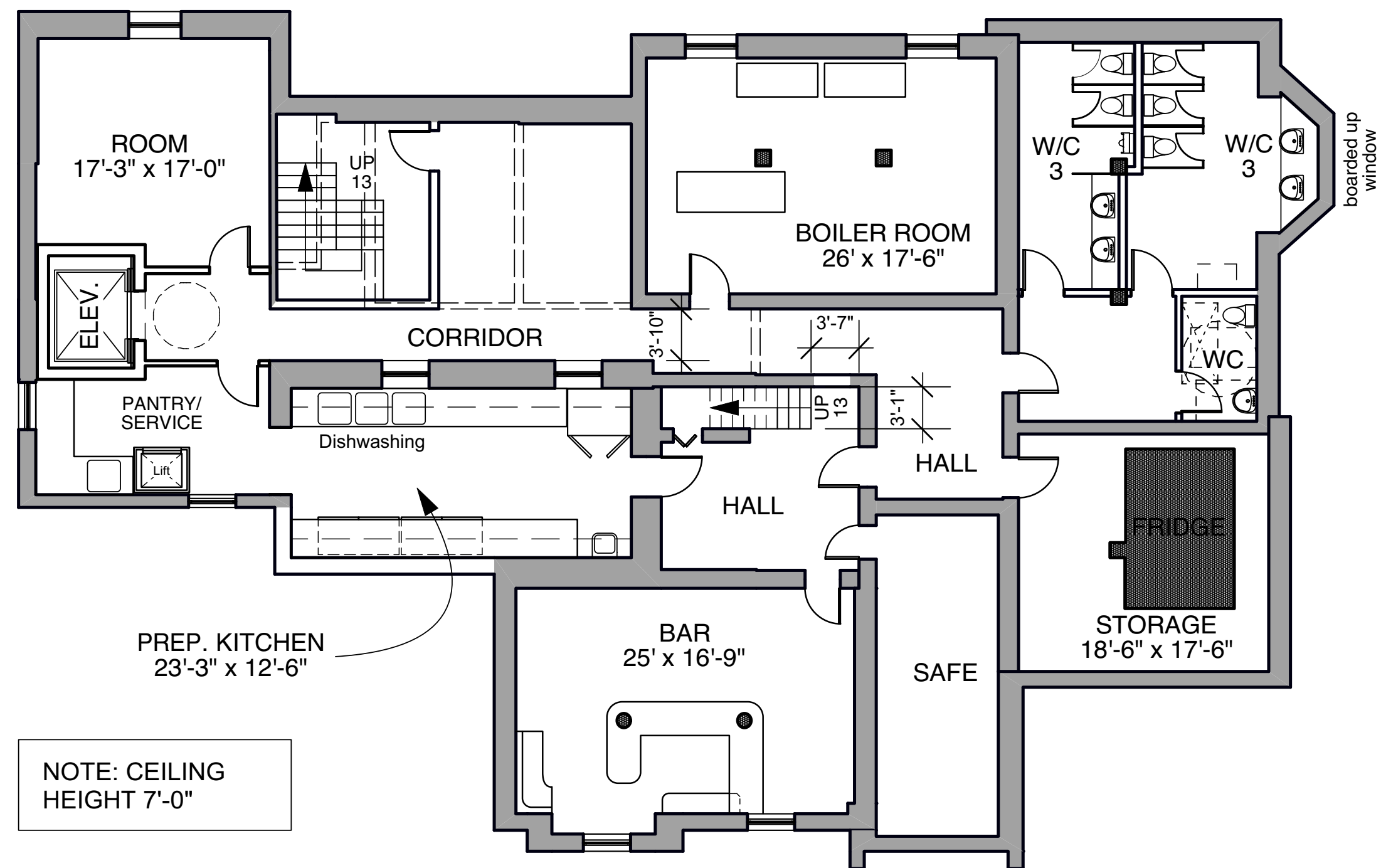
SECOND FLOOR - ART, MEET, OFFICE



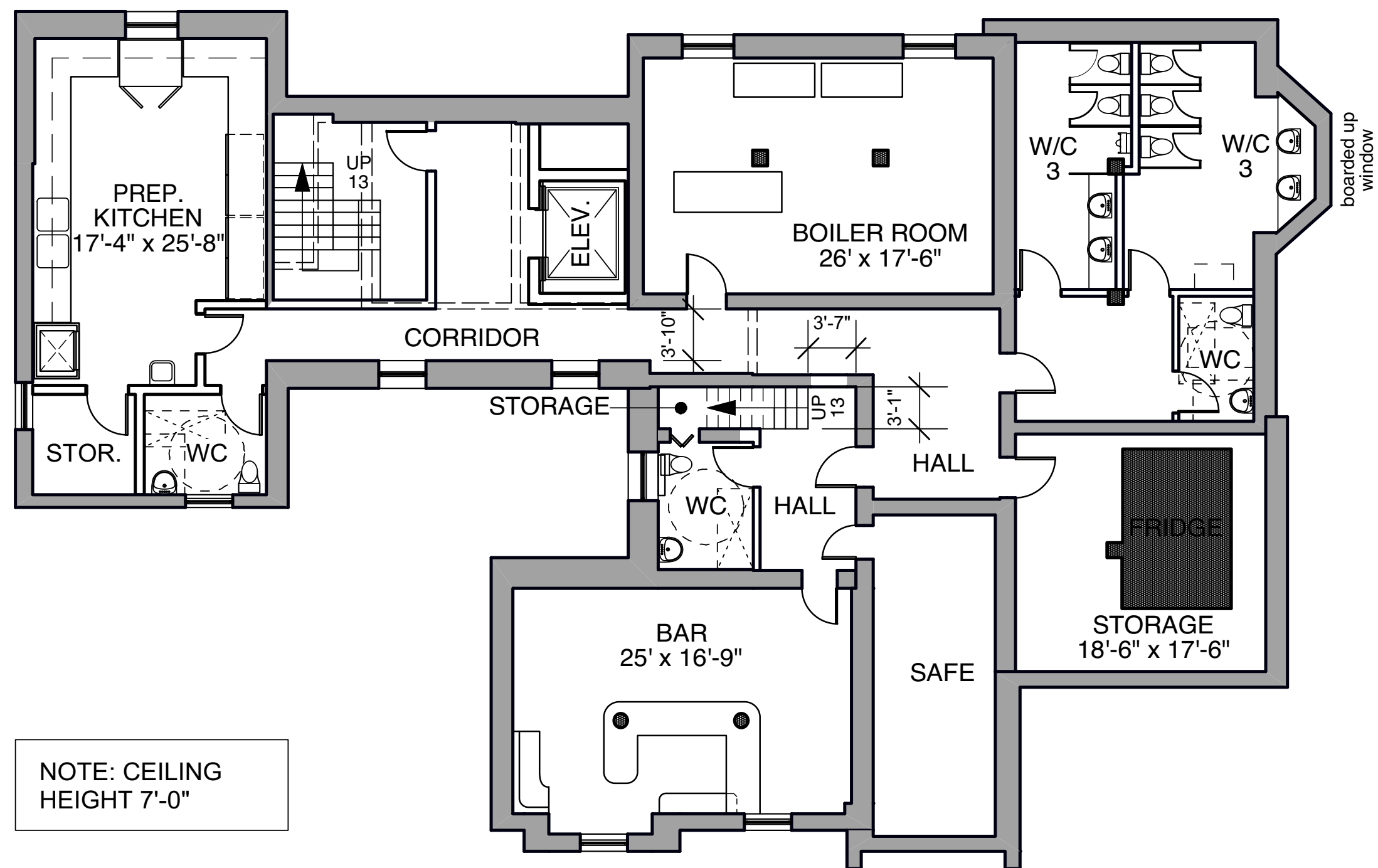
SECOND FLOOR - ART, MEET, OFFICE



BASEMENT



BASEMENT



NOTE: CEILING HEIGHT 7'-0"

BASEMENT

HOUSE

House Uses: What do you think?

- Are there other considerations (limitations or opportunities) we should be aware of?
- Any other comments or feedback?

NEXT STEPS

- Develop 3 master plan Options based on 3 themes/actions:
 - Peaceful
 - Expressive
 - Energized
- Select 1 master plan
- Task Force/Council/Public Consultation

CONSULTATION NEXT STEPS



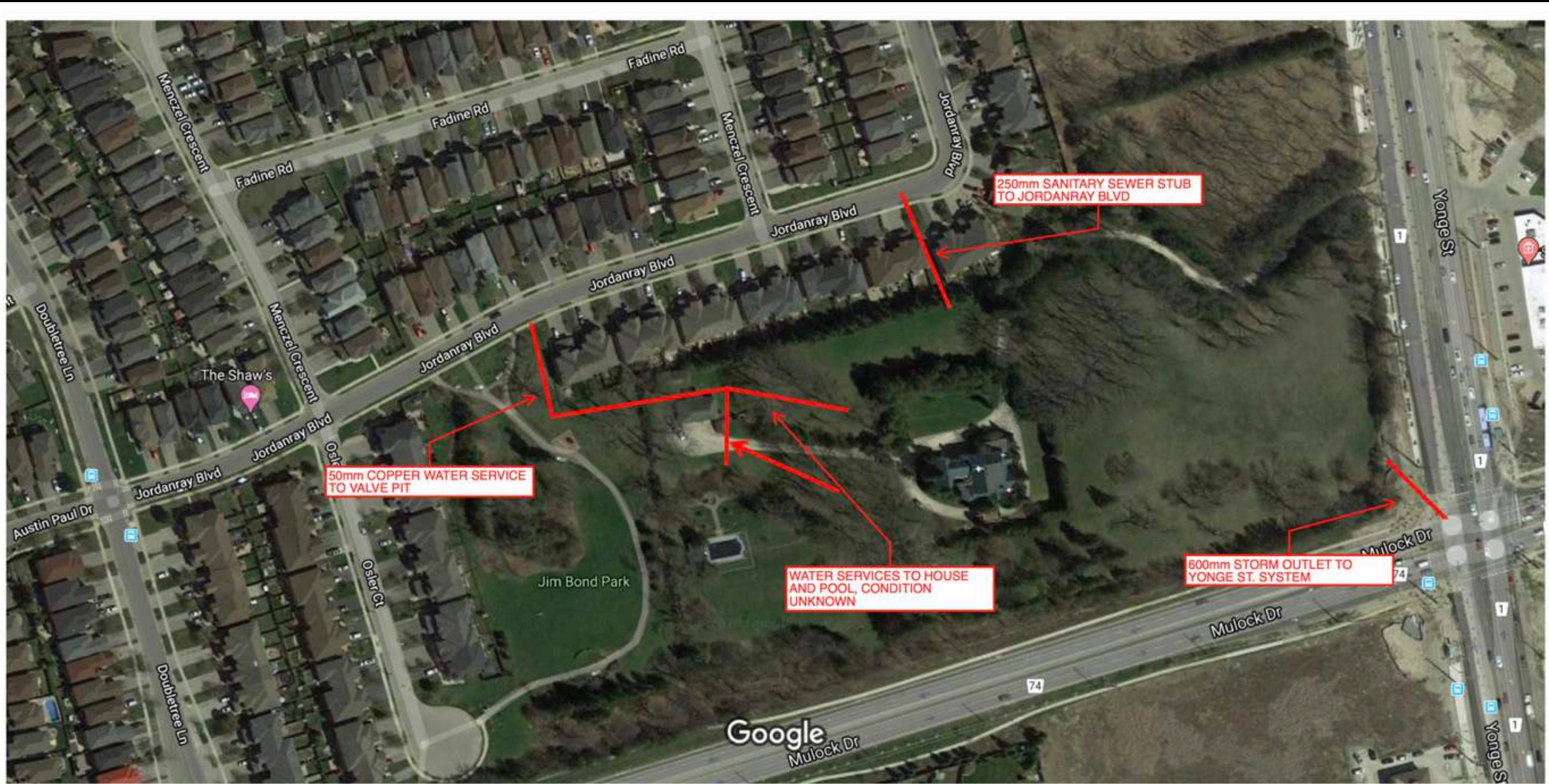
QUESTIONS

P L A N T



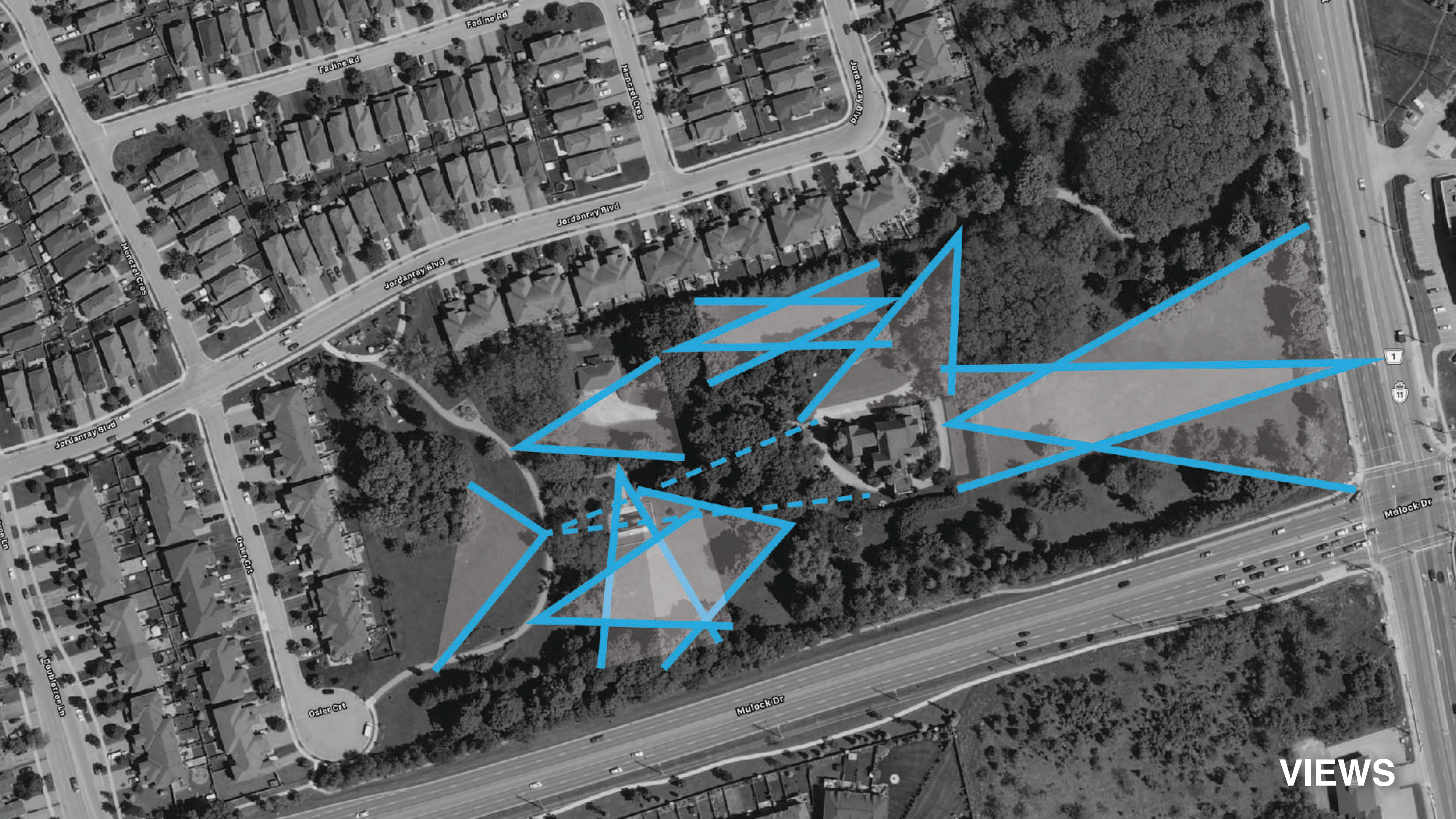






HOCKEY RINK





VIEWS

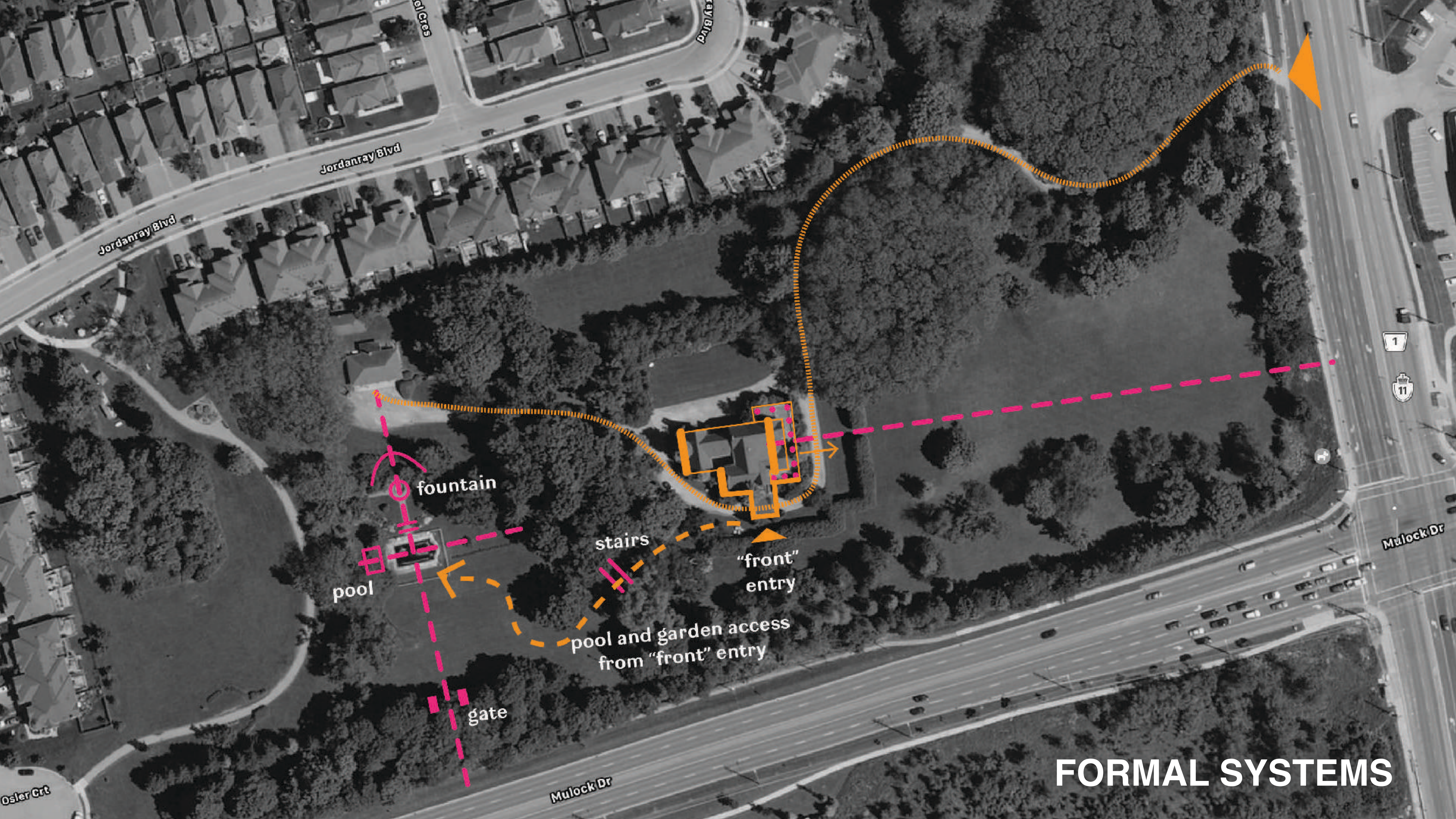
TRAIL NAME	LOCATION	LENGTH OF TRAIL
HANNA PARK SKATING TRAIL	PORT CARLING, ON	200 M
GAGE PARK	BRAMPTON, ON	200 M
CRANBERRY ICE TRAIL	BALA, ON	1.2 KM
ARROWHEAD TRAIL	HUNTSVILLE, ON	1.3 KM
THE BENTWAY	TORONTO, ON	220 M
WOODVIEW MOUNTAINTOP ICE TRAIL	THE BLUE MOUNTAINS, ON	1.1 KM
CHINGUACOUSY PARK SKATE TRAIL	BRAMPTON, ON	120 M
RICHMOND GREEN	RICHMOND HILL, ON	250 M



Arrowhead Skating Trail, 1.3 km



The Bentway Skating Trail, 220m



Jordanray Blvd



Mullock Dr

Osler Ct

fountain

pool

gate

stairs

pool and garden access
from "front" entry

"front"
entry

FORMAL SYSTEMS

COVERED SKATING HUB



BRICKWORKS



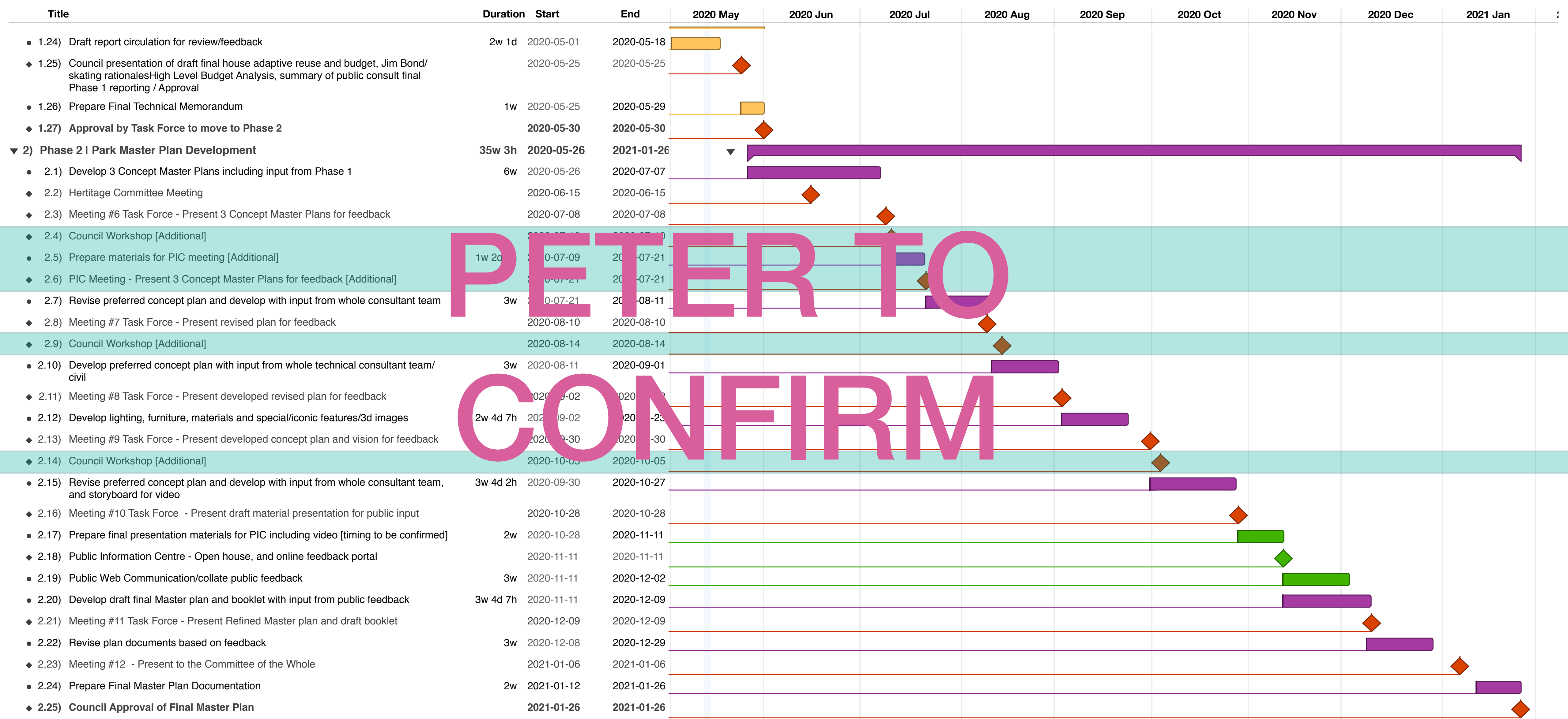
LEFRAK CENTRE



MOHONK



RESTON



PETER TO

CONFIRM



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Mulock Property Master Plan Phase 1 Reporting – Public Engagement Summary and Design Themes Staff Report to Council

Report Number: 2020-36

Department(s): All Departments

Author(s): Peter Noehammer, Commissioner, Development & Infrastructure Services

Meeting Date: May 25, 2020

Recommendations

1. That the staff report entitled Mulock Property Master Plan Phase 1 Reporting – Public Engagement Summary and Design Themes dated May 25, 2020 be received, along with the Mulock Property Master Plan Phase 1A – Technical Memo Draft prepared by PLANT Architect Inc. dated May 15, 2020, the Mulock Property Master Plan Engagement Summary Report – Phase 1B prepared by PROCESS dated May 15, 2020, and their respective appendices; and,
2. That Staff and the Consultants be directed to proceed with Phase 2 of the Mulock Property Master Plan to prepare three (3) design options based on combinations of the five (5) design principles described herein; and,
3. That the Mulock Property no longer be considered as a potential location for a full-size outdoor ice rink; and
4. That Jim Bond Park be included in the design options for the Mulock Property; and,
5. That the proposed re-use for the house consider a range of options as described herein to allow the design of the property to move forward; and,
6. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

Purpose

The purpose of this report is to provide a summary of the Mulock Property Master Plan Phase 1 reports prepared by the consultant team lead by PLANT Architect Inc. These

reports have been prepared as Phase 1A – Technical Memo Draft , and Phase 1B Engagement Summary Report. Each report also includes an associated appendix which includes more detailed information and documentation.

At this juncture of the Master Plan development, the intention is to provide Council with a summary of the work to date with respect to Phase 1, and to receive feedback and direction on guiding principles to develop design options as part of Phase 2.

Background

In 2018, the Town of Newmarket purchased approximately 4.6-hectares of land originally known as the Mulock Farm, located at the northwest corner of Yonge Street and Mulock Drive. Through a master plan process, the Town’s intention is to establish an iconic, signature park space that also celebrates the historic significance of the property. With the assistance of the PLANT Architect team as consultants, and the desire to consult with a broad range of stakeholders, three issues were identified by the Town for specific direction prior to moving forward into detailed master plan concept designs:

- The possible inclusion of Jim Bond Park to the subject site area
- The potential for a skating facility that also functions as an outdoor event space
- The adaptive re-use options for the heritage residence

There were a number of elements based on early consultations, that also required some direction or confirmation prior to moving forward, and include:

- The possible inclusion of a skate path
- Parking size and location

The Consultation Program (Phase 1B) explored the design objectives for the site including the specific examination of the above issues, through an intense consultation with the public, staff, Council and internal and external stakeholders – over 3000 people — over fall 2019 and winter 2020. Public consultations had already concluded prior to the Covid-19 pandemic.

Discussion

In order to fully investigate the tasks in Phase 1A, the team engaged in investigative stages of understanding of the site, and the testing of programme, use ideas/concepts and design principles with the public and stakeholders.

The Technical Memo (Phase 1A) includes a comprehensive understanding of the challenges and opportunities, goals, objectives and high-level design principles for the park and house development. These respond to the natural and cultural assets and

features, and potential and contemporary values for the site, laying the ground work for the design for the park for Phase 2 master plan options.

The site was looked at within larger context policies and conditions including planning, ecology, transportation, recreation and culture. The building and site were documented from a heritage point of view, and put in context of indigenous history in the area. The site was reviewed with respect to archaeology, landscape conditions, tree health, spatial conditions, civil conditions, potential car access, topography and geothermal potential.

Opportunities were noted, and a summary of constraints was mapped to understand the restrictions on the site:

Summary of Site Constraints

- Proximity of residential properties
- Jim Bond Park is the major storm overflow for the Summerhill neighbourhood
- Below grade services
- The designated landscape buffer to the North up to the Hydro Corridor is not currently owned by the Town
- Wetland/low point at the southeast corner where there is a desired area for a pedestrian entrance, and therefore will need to be bridged
- Except at the current driveway there is a 1–1.5 m topographic difference between the sidewalk and the site necessitating stairs/ramps/bridges, and between the road and the house (2.5-6m) restricting easy direct access for a drop off
- New car access allowable only from Mulock Drive in a narrow band far from Yonge and Doubletree Lane
- No parking is permitted on Yonge Street or Mulock Drive
- Significant highly valued tree cover restricts the ability to build paths/infrastructure and building elements
- The entire site is considered high potential for Archaeological significance requiring further stage 2 assessments
- Heritage features – Although the house has been designated, the original designation did not include the heritage defining features in the landscape. Key elements that define the heritage character of the site include:
 - The placement of the house set well back from Yonge Street and Mulock Drive (which speaks to the former size of the entire property)
 - Driveway curving from Yonge Street, up through a stand of purposefully planted black walnut trees

- Landscape features related to the successive generations of Mulock occupation, including the formal “front lawn” facing Yonge Street, the stands of black walnut trees, and the remnants of the Dunington-Grubb designed garden feature, which includes a fountain and semi-circular planting beds/pathway.

Guiding Principles

Through the consultation, 5 priorities and guiding principles were distilled:

- A Destination – Ensure this site becomes a significant place to visit in Newmarket
- Rooted in History and Forward Looking – Share the multiple layers of history and evolution of the Town on the site including indigenous history
- Natural – Maintain and enhance the natural features of the landscape
- Connected – Connect the site with the neighbouring areas (Jim Bond Park, the hydro corridor) through pedestrian walkways, trails and cycling routes, to ensure it is integrated within the Town of Newmarket
- Inclusive and Accessible – Create an inclusive and accessible site for all residents and visitors

A Destination -

As a destination, the park should be distinguished from other offerings, and as a community landmark could include:

- Food
- Leisure spaces (including passive and active – breathing spaces, places to meditate, skating and walking trails)
- Culture/Art Hub including the possibility of permanent art, a strong art festival program that responds to the seasons (examples include garden festivals, winter stations, nature based sculpture parks, pavilion festival) and artist residencies
- Open/covered programmable space with destination programming
- A prime place for community gathering, public, open air events
- Strong ecology emphasis and many ways to appreciate nature
- Summer use to include a water feature, open unprogrammed space for picnics etc., season stretching food areas
- Winter use to include skating, fire pits, hiking, art-based events

Skating – Three skating path options are proposed ranging from 250-500m in length. All 3 paths are conceptually viable, but have different levels of impact, occupy different

areas of the site and will have different conflicts and opportunities with other desired uses of the site. All three paths could be explored in the Phase 2 master plan stage optional plans in combination with other site uses.

Rooted in History and Forward Looking -

Historically this was a place to enjoy leisure time. It is an oasis, a retreat, and has incredible historical significance. The site has the opportunity to recognize diverse histories in creative ways: Indigenous, Quaker, Rogers, Mulock, African Canadian, etc. Indigenous history can be embedded in many of the historical concepts and will require closer local engagement. Sir William Mulock and his family history have the capacity to bridge many of these histories to new uses. Sir William Mulock himself is known as:

- The social convener – community gathering, story telling, events
- The innovator – contemporary dialogue with histories in artworks, architecture and landscape types, think tank/artist residency, it should be a place for curiosity.
- The naturalist – arboretum, elaborate the watery aspects of the site (marsh and storm water), natural trails, pollinators, beekeeping
- The farmer – teaching gardens, community gardens, medicine gardens,
- The gardener – experimental gardens and spectacular peony displays, medicine gardens, botanical gardens

Natural –

Feedback from consultations stressed to keep the site as natural as possible and to allow for passive recreation in nature. The intimacy of the forest spaces were especially valued. The property was described by some as a green gem nestled into the residential context. Sir William Mulock known as a naturalist, gardener and farmer all provide possibilities for expanding this theme:

- Hardscape should be minimized and designed to protect tree roots
- Highlight and enhance rain, wet (rain collection) and wetland areas
- Artwork should be about nature or within nature
- The site should meet strong sustainability goals

Connected –

Although the site is valued for its oasis quality, there is a strong desire to connect it to the neighbourhood and making it as accessible as possible. This includes connecting it along Mulock Drive for pedestrians with ramps/stairs, and at the corner of Yonge Street where a major gateway is proposed.

Connecting it to the broader community means expanding transit options, providing access for drop-offs and considering parking options, access via the Hydro Corridor (if a

connection can be obtained), and connecting with Jim Bond Park. The Hydro Corridor could provide parking close to Yonge Street, or could provide a route for a manned shuttle or autonomous vehicle running from and using the Ray Twinney Recreation Centre excess parking to Yonge Street, and/or a pedestrian/bike trail connection to Yonge Street.

Jim Bond Park

It is recommend that Jim Bond Park re-join the site as it expands the park, and gives easy access to and from the neighbourhood. It was originally part of the social garden area when the property was much larger, and it consolidates parks management. In the current context of Covid-19, the need for expanded, less restricted park space will be critical to the future of all public spaces. The joining of the parks will need key design and policy considerations to ensure the joining has the most positive impacts including:

- Offer many options to get to the site to reduce parking pressure on the Summerhill neighborhood
- Add traffic deterrents on Jordanray Boulevard
- Minimize noise/privacy breaches conflicts with residents
- Consider how to transfer Jim Bond commemoration to a new location
- Ensure modest and intimate places, not just larger /communal ones
- The elevation difference is currently a divider, so consider how it could be a way to connect the sites

Parking

Parking has been explored in three areas on the site based on occupying existing open areas minimizing tree harm, hard surface, and new road works. A well-designed and effective pick-up/drop-off is proposed from Mulock Drive to minimize the number of cars on the site amidst programmed and natural spaces.

The options show a range of 24-60 parking spots on the site.

All three parking areas should be explored in the Phase 2 master plan stage to test optional plans in combination with other site uses.

Inclusive and Accessible –

The uniquely interesting historical and natural aspects of the property, together with its cultural/art potential, position it well as a place that can foster the coming together of diverse communities, demographics, ages, and people with diverse interests. In the Phase 2 master plan these overlapping and intersecting interests will be explored further. Accessible food availability on site is also critical, and there are many options for providing this including in the house, out-buildings, temporary market, and food events.

Covered Community Hub

A covered flexible community hub that can accommodate events like markets, concerts and other programs, seasonal food offerings, or a small cafe was explored. Although there was not a consensus on whether there should be a permanent pavilion, there is a desire for a number of activities that would benefit from a covered open air space. Five locations were explored and two were rejected due to feedback from the stakeholders (too close to residents). The three proposed locations are conceived for at least 200 people plus a substantial additional area, and are located in the areas with least impact on the natural site:

- Along Yonge Street – a gateway pavilion with access from the sidewalk that transitions from the busy street to the big lawn, gives sense of enclosure, and brings activity to the street address.
- At the south – part of the framing of the great lawn with potential access from adjacent parking (Parking Option 3).
- At the west – at the centre of the social area with potential access from adjacent parking (Parking Option 3).

In general, these three sites were considered acceptable, with the Yonge Street option being preferred. Other sites may be considered in Phase 2 as long as they respect the privacy of the residential yards.

House Adaptive Re-use

The work to date is recommending a plan for resiliency. Having tested the building's capacity, the rooms are of sufficient size and proportion, and relationship with each other that no single use would significantly change the plan, assuming the intention is to maintain the integrity of the house, and if adequate kitchen facilities are provided. It would be advantageous when renovating the building for this to be done in the most adaptable way possible – allowing it to be many possible things now and in the future, recognizing that it may have many uses over its lifetime.

No matter what it becomes, it will need to be brought up to code for Assembly uses, provide accessibility, and air conditioning – all requiring substantial investments. In concert with the themes that have emerged (Destination, Nature, History, Art, Meditative, Innovation, Education), there is a need for it to have strong public interaction and connectivity to the park. The associated or perceived parking needs will also provide a gauge for judging potential partners, and for going out to seek partners. This means it could have interim uses that are both public and providing revenue, but does not preclude that changing in the long term. This future-proofs the building by treating it like a flexible pavilion. In Phase 2 of the Master plan, the 3 design options should indicate which mix of uses would be the most ideal in relation to the landscape options.

The approach assumes each of the public rooms in the house maintain their integrity and are classified as programmable space. Their particular programming would not change the proposed infrastructure for these public rooms (kitchen, washrooms, storage, etc.), allowing the house to have total flexibility. An Art Hub, Food Service/Event space and Innovation Centre/office uses are explored in plan configurations, and a list of operational possibilities, limitations and precedents were explored for each.

Three plan options outline accessibility concepts and internal zoning. Each option indicates location options for a new elevator that each minimizes heritage impact, in combination with modifications to the two entries, addition of ramps and a commercial kitchen. Two options add the elevator at the interior, and one as an addition in the courtyard. One option has a one storey kitchen addition.

The bar and liquor storage is retained for historical interest. This area of the basement could be used for bar purposes and would require significant restoration and care. The remainder of the basement is for washrooms serving the whole house (a single universal washroom is also provided on each floor), storage and additional kitchen space.

Conclusion

Through the Phase 1 Technical Memo and Engagement Summary reports prepared by the consultant team, it is appropriate to update Council on the findings, and to seek feedback on the interpretation of guiding principles that will form the basis of the upcoming Phase 2 work. Phase 2 will develop design options based on three themes, and incorporating elements to different degrees as identified in Phase 1 to move forward with.

Business Plan and Strategic Plan Linkages

The Mulock Property Master Plan is an important part of Council's Strategic Priorities for the 2018-2022 term of Council.

Consultation

Extensive stakeholder engagement was held with the Council, staff, residents and the community representing diverse interests.

Human Resource Considerations

None at this time.

Budget Impact

The project is being completed through funding provided in the 2020 capital budget.

Attachments

Mulock Property Master Plan Phase 1A – Technical Memo Draft

Mulock Property Master Plan Phase 1A – Appendices

Mulock Property Master Plan Engagement Summary Report – Phase 1B

Mulock Property Master Plan Engagement Summary Report – Phase 1B Appendix

Approval

Peter Noehammer, Commissioner, Development & Infrastructure Services

Jag Sharma, Chief Administrative Officer

Contact

Peter Noehammer, pnoehammer@newmarket.ca, (905) 953-5300 x2201



MULOCK PROPERTY 2020-05-15

MASTER PLAN

PHASE 1A APPENDICES



PLANT

Mulock Dr

Banbrooke Cres

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- Appendix B** House Elevations and Out-Buildings Measured Drawings
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- Appendix D** Commercial Kitchen Review
- Appendix E** House Precedent Matrix
- Appendix F** Tree Inventory
- Appendix G** Site Servicing Memo
- Appendix H** Ice/Skating Memo
- Appendix I** Archaeological Report
- Appendix J** Site Walk-Through Notes
- Appendix K** Costing Report
 - Park Elements (to be updated in Phase 2)
 - House Class D (Pending)
- Appendix L** Historical Chronology
- Appendix M** Indigenous History Slide Deck
- Appendix N** Magazine Articles



APPENDIX A DOCUMENT REVIEW CHART



MULOCK MP							
Background info provided by Town of Newmarket last updated: 19-12-10							
#	Type of document	Title of Report	name of elec file (if different)	weblink (if applicable)	Source / Author	date of report (if applicable)	brief description / comments
1	news article	First Peek at Newmarket's Mulock Estate has imaginations running wild	First peek at Newmarket's Mulock Estate has imaginations running wild (21 photos) - NewmarketToday.ca		Newmarket Today Website	19-10-22 (or earlier)	interview notes with mayor (Taylor) and vice-president of historical society (Playter) during picnic and public walk-through, interviews with members of public incl. ideas for house use and wishes for landscape, brief info on house purchase, public feedback in online comments
2	eng. report	Buildig Condition Assessment Report	Mulock Estate Assess RJBurnside 170929		Burnside	17-09-29	conditions assessment of house and accessory structures with ballpark costs to repair, most notably:
3	eng. report	Building and Site Features Review	Mulock Estate Bldg +Site features review 170825		exp Services	19-08-25	conditions assessment of house and accessory structures (Burnside report easier to read, unsure why had 2 reports done)
4	Des. Substances Survey	Designated Substances Survey	Mulock Estate Desig Substances Report 1709		Burnside	17-09	asbestos: pipe wrap, flooring, mastic – recommendation to prepare AMP (was this done?) lead: paint – worker precautions mercury: CFL bulbs and thermostat – remove Silica sand: concrete, masonry, bricks – worker precautions Benzene: fuel in ASTs – no special treatment
5	eng. Letter / report	Condition assessment main house (foundation walls)	Mulock Estate Foundation Report 191031		Burnside	17-10-31	Condition assessment main house foundations with repair details and cost estimate. Assessment incl. boreholes
6	geotech report	Geotechnical Investigation	Mulock Estate geotech report 1709		Soil Engineers Ltd.	17-10	
7	report	Current Market Value Appraisal	Mulock Estate Market Appraisal 160206		Suncorp Valuations	16-02-06	classifies project site as "redevelopment land" w/ med to high density commercial and residential uses (in the absence of its use as parkland), with mention of heritage residence, out-buildings, pool, woodlot Incl. info on property taxes (page 14) market value: 18,560,000 (base on highest & best use)
8	report	Updated Current Market Value Appraisal	Mulock Estate market Appraisal 161031		Suncorp Valuations	16-10-31	updated market value: 20,900,000
9	eng. report	Observation Report (during material sample collection and boreholes, and of repairs)	Mulock Estate Observation Report 180406		exp Services	18-04-06	reports on samples taken for des. Sub. Survey etc. (e.g. boreholes)
10	eng. report	Observation Report (during repairs)	Mulock Estate Observation Report 180514		exp Services	18-05-14	reports on repairs of sampled areas
11	eng. report	Phase 1 Environmental Site Assessment	Mulock Estate Phase 1 Enviro Report 171003		Soil Engineers Ltd.	17-10-03	for fuel tanks / pesticides (farm use)
12	eng. report	Preliminary Phase 2 Environmental Site Assessment	Mulock Estate Phase 2 Enviro Report 171120		Soil Engineers Ltd.	17-11-20	for fuel tanks / pesticides (farm use)
13	Planning Document	Recreation Playbook, Town of Newmarket Recreation Master Plan 2015-2025	Newmarket Recreation Playbook_2015		Newmarket	2015	see summary in word doc of same name
14	Planning Document	Cultural Master Plan 2009-2019	Newmarket_cultural_master_plan_web_final		Newmarket	approved 2009?	to establish strategic direction for the Town's provision of Culture through 2018
15	by-law	By-law to designate a property as being of arch. and hist. value of interest	Schedule 7 - 2003-168 Designation of 16780 Yonge Street - Mulock House		Newmarket	03-12-15	see file "Reports_summarized.docx"
16	staff report	Mulock Estate Planning Vision Staff Report	Schedule 8 - Staff Report 2018-10 - Mulock Estate Planning Vision		Newmarket	18-02-26	see file "Reports_summarized.docx"
17	presentation	Mulock Estate Planning Vision	Schedule 9 - Mulock Estate - Future Planning Vision - Feb 26 18		Newmarket	18-02-26	see file "Reports_summarized.docx"
18	report	William Mulock History (biography)	William Mulock Biography from Laura		LS, Newmarket	19-03-22	biography William Mulock re: time at UfoT, government. incl. no citations
19	spreadsheet	Tree inventory	meta data		Newmarket Forestry	19-10-23 (or earlier)	

20	weblink	Oak Ridges Moraine Conservation Plan	Oak Ridges Moraine Conservation Plan	https://www.newmarket.ca/TownGovernment/Pages/Strategies,%20Plans%20and%20Publications/Plans/Oak-Ridges-Moraine-Conservation-Plan.aspx	internet		see file "Reports_summarized.docx"
21	weblink	Mulock Property	Mulock Property	https://www.newmarket.ca/LivingHere/Pages/Parks,%20Trails%20and%20Sport%20Fields/Mulock-Property.aspx	internet		vision for property: to create an iconic community park/outdoor space, with passive and active recreation opportunities in all seasons. inspiration drawn from Central Park (NYC), outdoor skating trails (Gage Park, Brampton), Arrowhead Ice Trail (Huntsville) purchase cost: 24\$ million questions to public re: desired uses incl. render of possible uses, and links to "concept videos" incl. links to other resource material such as engineering reports, Media Release
22		Public Art Plan (Final Draft)	PublicArtPlan	https://www.newmarket.ca/ThingsToDo/Documents/PublicArtPlan.pdf	Town of Newmarket Website	(2013-2023)	Document appears to be incomplete, and includes multiple copies of the same spreadsheet. Text outlines priority areas for public art (specific locations and corridors along Davis and Yonge - map included), suggests a budget for art (on a per project basis), explains what public art is (eg. temporary vs. permanent), who qualifies as 'artist', and the Town's mandate to maintain permanent art. Goal is to attract tourists, support revitalization of downtown, support economic growth / local businesses, be attractive to young people.
23	plan amendment, report	Urban Centres Secondary Plan (Official Plan Amendment #10 for the Town of Newmarket Official Plan)	Urban Centres Secondary Plan October 25 2016 Consolidation	https://www.newmarket.ca/LivingHere/Documents/Planning%20Department/Secondary%20Plan/Urban%20Centres%20Secondary%20Plan%20-%20October%2025%202016%20Consolidation.pdf	Town of Newmarket Website	16-10-25	
24	weblink	Link to Secondary Plan and supporting documents / research		https://www.newmarket.ca/LivingHere/Pages/Planning%20and%20development/Urban-Centres-Secondary-Plan.aspx	Town of Newmarket Website		
25	weblink to video	Rendered 3D flyover of proposed summer use	Mulock Estate/Farm Proposed Concept Video – Summer, showing conceptual building massing - YouTube	https://www.youtube.com/watch?v=fjI83BYebd4	Town of Newmarket Youtube Channel	18-02-23	rendering incl. skating rink, parking lots, trails, pond, pavilion, new surrounding buildings
26	weblink to video	Rendered 3D flyover of proposed winter use	Mulock Estate/Farm Proposed Concept Video – Winter - YouTube	https://www.youtube.com/watch?v=9uONTg4fVnk	Town of Newmarket Youtube Channel	18-02-16	rendering incl. skating rink, parking lots, skate trails, skate pond, pavilion, new surrounding buildings
27	report	Active Transportation Implementation Plan, Final Report	Newmarket Active Transportation Plan Report	https://www.newmarket.ca/LivingHere/Documents/Newmarket%20Active%20Transportation%20Plan%20Report.pdf	WSP, Town of Newmarket	18-07	see summary in word doc of same name
28	report	Active Transportation Implementation Plan Summary Information Report	10 - 2018-54 Active Transportation Implementation Plan Summary	https://www.newmarket.ca/TownGovernment/Documents/10%20-%202018-54%20Active%20Transportation%20Implementation%20Plan%20Summary.pdf	Town of Newmarket	19-03-15	Background: WSP hired to advise on scheduling for construction for active transportation routes in 2017 (follow-up on 2014 study) ATIP identifies opportunities to connect existing infrastructure to promote walking, cycling, for recreation and commute. Multi-year strategy to help town implement these. ATIP based on public consultation process and principles of Ontario Traffic Manual #18 WSP provided preliminary designs & recommendations for off-road facilities and trails, wayfinding system, schedule, costing grant covers 2 years program, and some cycling facilities have been constructed (2018: Main Street North, Woodspring Ave. future 2019: Harry Walker Parkway, Stackhouse Road). Funding since stopped, other sources required. Report incl. budget info.
29	Presentation	Town of Newmarket & YRDSB inHub Community - The Challenge	inHub presentation opener.pptx		Town of Newmarket		first Presentation with grade 9 Students, incl. render of proposed site uses (rink etc.)
30		Town of Newmarket – Mulock Property	Mulock presentation for Crossland		Town of Newmarket		second presentation with grade 4,5,6 presentation students

31	map	Newmarket Facilities, Parks, and Trails	2018_FacilitiesParksTrails11X17		Town of Newmarket	2018	
32	website	Active Transportation in Newmarket Today	Active Transportation Implementation Plan	https://www.newmarket.ca/active/transportation	Town of Newmarket		website explains: ATIP (Active transportation Implementation Plan) developed to identify timing of implementation of routes through town where better facilities (trails, bike lanes) would help residents "to walk, cycle or roll to their destinations". ATIP builds upon Region of York 2014 study and other location and regulation documents. reference to East-West bikeway and Tom Taylor Trail as key transportation corridors, with plan to connect these. Goal: to encourage residents to be more active using local opportunities. Links to misc. documents (most relevant ones listed here)
33	Presentation / Map	(Map of Nokiidaa Trail)	NewmarketMaps			2018?	
34	traffic manual	Ontario Book 18, Ontario traffic Manual, Cycling Facilities	Ontario Traffic Manual - Book 18		Ontario	13-12	is this even relevant? No – Ontario is not specific enough
35	illustrated document	Cycle ON Action Plan 1.0	ontario-cycle-action-plan-highlights			2014	is this even relevant? No – Ontario is not specific enough
36	text	#CycleON Action Plan 1.0	ontario-cycle-action-plan		Ontario	14-04	is this even relevant? No – Ontario is not specific enough
37	illustrated report	#CycleON Ontario's Cycling Strategy	ontario-cycle-strategy		Ontario	2013	is this even relevant? No – Ontario is not specific enough
38	map	Newmarket trails Legend	TrailGuide2012_M		Town of Newmarket	2012	
39	map	York South Cycling map	YorkCycling_SouthBikeMap_2017		York Region?	2017	
40	by-law	Heritage Designation By-Law of Mulock Estate	2003-168 Designation of 16780 Yonge Street - Mulock House			12-2003	same as previously received?
41	arch. study	arch. study of Proposed Mulock Country Estates, parts of lots 90, 91, 92, concession 1 (immediately North, West, South of our site)	Criterion south archaeological study		Archaeological Services Inc. (for Criterion Development)	1993-08	study includes land transfer info: "The South half of the estate passed Rogers' hands in 1881 when William Mulock purchased it for \$6,300 (Instrument #3715). In 1884, Mulock acquired the north half from Augustus Rogers et al. for \$9,000 (Instrument #4717). The 1893 assessment of King Township noted that Mulock employed a farmer, labourer, and "yardman" on Lot 91. It is interesting to note that despite the prominence of both the Mulock and Rogers families in their community, neither family appears in the <i>Commemorative Biographical Record of York County</i> published by Beers in 1907."
42		Stormwater Management Report of surrounding areas	Stormwater Management Report Mulock Farm Development Apr 1992		Marshall Macklin Monaghan Ltd. (for Criterion Development)	April 1992	Horas non numero nisi serenas I don't count the hours unless they're tranquil.
43	article	New Face for A Country Home			J.C. Montgomery	April 1949	
44	article	The Elms: An Estate of Trees			Anne Elizabeth Wilson	November 1931	
45	article	Mulock at 100 Sees Glory in Canada's Latent Values			Janet Tupper	January 12, 1944	
46	article	Pleasant Places to Drive and Dine	1933 Newmarket Era Enchanted Garden article.pdf		The Newmarket Era	August 11, 1933	
47	article	The Garden of Tom and Joyce Mulock			Newmarket, Ontario		
48	Heritage Binders Provided by Laura Sher						
49	essay?	A brief History of the Town of Newmarket, etc	A brief History of the Town of Newmarket (and more)		Terry Carter, NHS Peggy McCheney		
50	Email	Mulock/McKenzie King Story from the Ward	MulockMackenzie King story from The Ward		Pamela Young, with quotes from "King of the Ward," by Myer Siemiatycki		
51	Essay?	Sr Wm. Mulock's Farm, The Enchanted Garden (August 11, 1933 – Golden Glow)	Sr Wm Mulock Farm Enchanted Garden Text				
52		Sr William Mulock guests and house photos	Sr Wm Mulock guests and house photos				
53	bullet points	Quick Notes on Sir William Mulock and the Mulock Estate ("Farm") – History of the Property	Mayor Town Hall Quick Mulock Notes				

54	bullet points from speech/presentation (and slides)	Sir William Mulock/Future of Mulock Property – Historical Society Speech – October 16	Mayors Historical Society Speaking Notes - FINAL (.docx & .pptx)				
55		FOLDER BRETT's INFORMATION OHOTOS: photos of family, property, house (not listed here). But folder also contains texts, newspaper clippings, maps, listed below					
56	newspaper article	[King] "Spends Night At Home of Sir William Mulock"	King NP				
57	postage stamp?	2c stamp	Map mint		1898		
58	photo of map	South Part of King Township	Map Mulock Farm				(photo of map, some information cut off)
59	text and maps	Timothy Rogers: The Story He Wanted To Tell (Talk to the Annual Meeting of the Canadian Friends Historical Association, Newmarket, Ontario, September 30, 2000)	Quaker Settlement		author: Christopher Densmore. Canadian Quaker Historical Journal, No. 65, 2000	2000	
60	online article	Newmarket renowned as home of Sir William and his Mulock Estate	Quaker Settlement		NewmarketToday.ca	18-10-11	
61	Master thesis	Education, Ideology and Social Structure: An Examination of the Development of Higher Education in Nineteenth Century Ontario	Thesis on Ontario Post-Secondary in late 1800s		Norene Julie Pupo, B.A. (thesis McMaster University)	09-1976	
62	map	Pacific showing cable?	trans cable		Town of Newmarket	19-10-07	
63	annotated aerial	Mulock House, garage, pool	Mulock_Property_BrettPres1		Town of Newmarket	19-10-07	
64	annotated survey/map	Mulock Property then and Now	Mulock_Property_BrettPres22				showing properties estate of the late Augustus Rogers and Town owned portion
65	map, list	Original Patentees Yonge Street First Concession Lots #81-xxx	Yonge Street and First Concession Lots, 1860				
66	handwritten letter / petition	petition for land grant? Signed by Rufus Rogers	Rufus Rogers				
67	biography	Excerpts from James Loudon's Sir William Mulock: A Short Biography "The Newmarket House"	Sir William Mulock and the Newmarket House				
68	biography	Sir William Mulock and University of Toronto – Connections, Stories, Trends, History	Sir William Mulock and University of Toronto				
69			Designation checklist				
70			Heritage Committee correspondence				
71			Letter to Estate Trustee permission to designate				
72			Letter to Ontario Heritage Foundation Intent to designate				
73			Memo to Council re designation process				
74			Notices of Passing				
75			Original write up by Wes Playter Heritage Committee				
76			Registration on Title				
77			Town Pages with Notices of passing				
78	Newspaper Article	Sir William Visits german Prisoners' Camp To Satisfy Himself They Are Well Treated	From the Newmarket Era Banner May 14th				
79	meeting minutes	Town Council Electronic Extrat – Date: March 24,2003 – Heritage Newmarket Minutes	Heritage Newmarket Committee Minutes February 26 2003			2003-02-26	

80	meeting minutes	Town Council Electronic Extrat – Date: June 25, 2003 – Heritage Newmarket Minutes	Heritage Newmarket Committee Minutes June 25 2003			2003-06-25	
81	news article?	His First Century, Says Sir Wiliam Mulock in his hundretdth year: "To luive long you've got to get a bang out of life."	His First Century - MacLeans		Thelma Lecocq (MacLeans?)	1943-03-01	
82	online article? Word doc	Newmarket renowned as home of Sir William his Mulock Estate	Newmarket renowned as home of Sir William and his Mulock Estate				contains photos of farmhouse and barn (burnt in 1997)
83	presentation slides	Sir William Mulock	PowerPoint Sir William Mulock October 24				
84	news article?	Sir William	Sir William MacLeans		R.T.L. (MacLeans?)	1933-08-01	
85		(seems to be the sane as above	Sir William Mulock Macleans				
86	news article?	The Fortunes of the Cawthras	The Fortunes of the Cawthras MacLeans		W.A. Craick	1914-09-01	
87		The Canadian WHO'S WHO	whoswho19361937			1936-1937	
88	photo	Black Walnut Trees, Sir William Mulock estate Aurora 1930?	PLAN_MX3610N@newmarket.ca_20191129_105325			1930?	
89		Sundial Text latin & translation	Mulock Sundial Latin (info from Laura Schembri)				
90		A Brief history of a secretive Toronto Millionaire – William Cawthra	A Brief history of a secretive Toronto Millionaire1		Chris Bateman is a staff writer at blogTO		biographical info on William Cawthra
91		A brief history of a secretive Toronto millionaire	Secretive Toronto Millionaire		Chris Bateman is a staff writer at blogTO		(seems to be same info as above)
92		Cawthra-Elliott, Grace & Harry	Cawthra - Mississauga				
93		A HISTORY OF THE CAWTHRA-ELLIOTT ESTATE, THE CAWTHRA FAMILY	Cawthra family		By Ken Phipps, LACAC student	September 1989	
94		Past and present : notes by Henry Cawthra and others	Henry Cawthra Past and Present	https://archive.org/details/pastpresentnotes00broc	Brock, Anne Maude; Young, A. H. (Archibald Hope), 1863-1936		
95		John Cawthra	John Cawthra		From Wikipedia, the free encyclopedia		
96		Joseph Cawthra	Joseph Cawthra 1		From Wikipedia, the free encyclopedia		
97		Joseph Cawthra	Joseph Cawthra 2		From Wikipedia, the free encyclopedia		
98		Mary Cawthra	Mary Cawthra				
99		William Cawthra	William Cawthra		From Wikipedia, the free encyclopedia		
100		James Crowther	relatives of James Crowther				
101		Relatives of Sarah Crowther	Relatives of Sarah Crowther				
102		Sir Wm. Mulock's Farm, The Enchanted Garden, August 11, 1933 – Golden Glow	Enchanted Garden		Golden Glow?	1933-08-11	same article as previous, but this is word doc
103		Toronto's greatest lost mansion—Cawthra House	Historic Toronto	cawthra-bush.org — www.blogto.com — www.biographi.ca & others (incl. in document)	William Dendy, "Lost Toronto"—		text and photos
104		A Brief History of the Town of Newmarket	History - Terry Carter Compilation				I think the same as listed above
105		Miscellany Toronto Photographs: Then and Now	Misc Toronto Photos				text and photos
106		Item PH7456 - Four Generation of the Mulock Family	4 generations		National Archives of Canada		
107		Mulock, Cawthra	bio Cawthra Mulock	seems to be webcontent, but link unclear	excerpt from Dictionart of Canadian Biography		biography of Mulock, Cawthra, son of William Mulock and Sarah Ellen Crowther, b. 17 May 1882
108		Cawthra Mulock Art	C Mulock art	earlscourtart.com ?			images of artwork
109		Cawthra / Mulock lineage	Cawthra Mulock lineage				incl logo / monogram like on house??
110		Cawthra Mulock Foundation	CM Foundation				

111	Item 16741 - Mulock, Col. William Pate obituary	Col William P Mulock obit				
112	Colonel William Pate Mulock obituary	Colonel William Pate Mulock obituary				
113	Hon. Colonel Wm P. Mulock	Hon. Col Wm. P Mulock				
114	History of Mulock Farm	Mulock Farm and Sir William timeline				
115	85 St. George Street, Toronto, ON M5S 2E5	Mulock House oft				
116	William Mulock Right Honourable Sir	mulock short sample	URL on scanned doc			
117	Mulock, Joyce Obituary	Obit Joyce Mulock 2015			2015-01-17	
118	Relatives of Cawthra Mulock	Relatives of Cawthra Mulock				
119	RtHonSir William Mulock	RtHonSir William Mulock				
120	Sir William Mulock (January 19, 1844 - October 1, 1944)	Sir William Mulock		listed in document		
121	Sir William Mulock, (BA 1863 UC) (MA 1871 Toronto) (LLD 1894 Toronto)	Sir William Mulock1				
122	The Irish Bomfords, The Mullock & Mulock Families of Great Britain & Ireland	The Irish Bomfords		By Robert Mullock-Morgans & Robert B.D.M. Hughes-Mullock FRAS		
123	The Right Honourable William Mulock	The Right Honourable William Mulock UofT				I think copy of above
124	William Mulock	William Mulock		From Wikipedia, the free encyclopedia		
125	Mulock – patriarchal lineage	Mulock lineage				
126	Ontario's Historical Plaques	plaque	http://www.ontarioplaques.com/index.html			photos of historical plaque
127	FALCONBRIDGE, Sir WILLIAM GLENHOLME	Sir William Glenholme Falconbridge	seems to be webcontent, but link unclear	excerpt from Dictionaryof Canadian Biography, Wikimedia		
128	William Cawthra Bissell 1935 2018	William Cawthra Bissell 1935 2018				



APPENDIX B
HOUSE ELEVATIONS AND OUT-
BUILDINGS MEASURED DRAWINGS
PLANT ARCHITECT INC





1 South Elevation
1:200



2 North Elevation
1:200

ISSUED: DATE:

PLANT
ARCHITECT INC.

SUITE 208 · 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: House Elevations

DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

DATE:

PAI PROJECT NO.: 19049

House 1



1 East Elevation
1:200



2 West Elevation
1:200

ISSUED: DATE:

PLANT
ARCHITECT INC.

SUITE 208 · 101 SPADINA AVENUE
TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: House Elevations

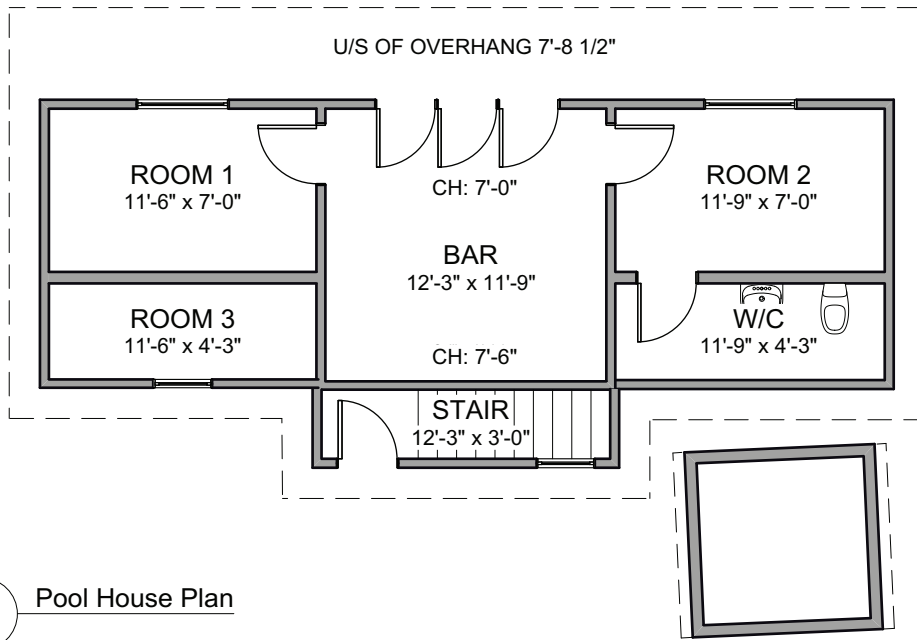
DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

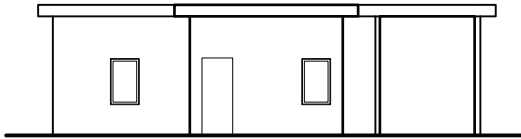
DATE:

PAI PROJECT NO.: 19049

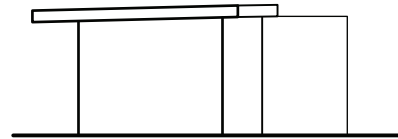
House 2



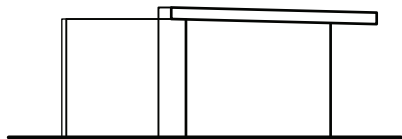
1 Pool House Plan



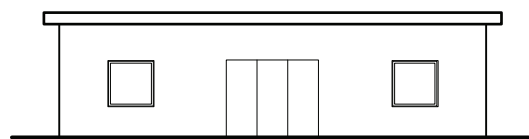
2 South Elevation
1:200



3 West Elevation
1:200

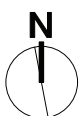


4 East Elevation
1:200



5 North Elevation
1:200

ISSUED: DATE:



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DRAWING TITLE: Plan and Elevations

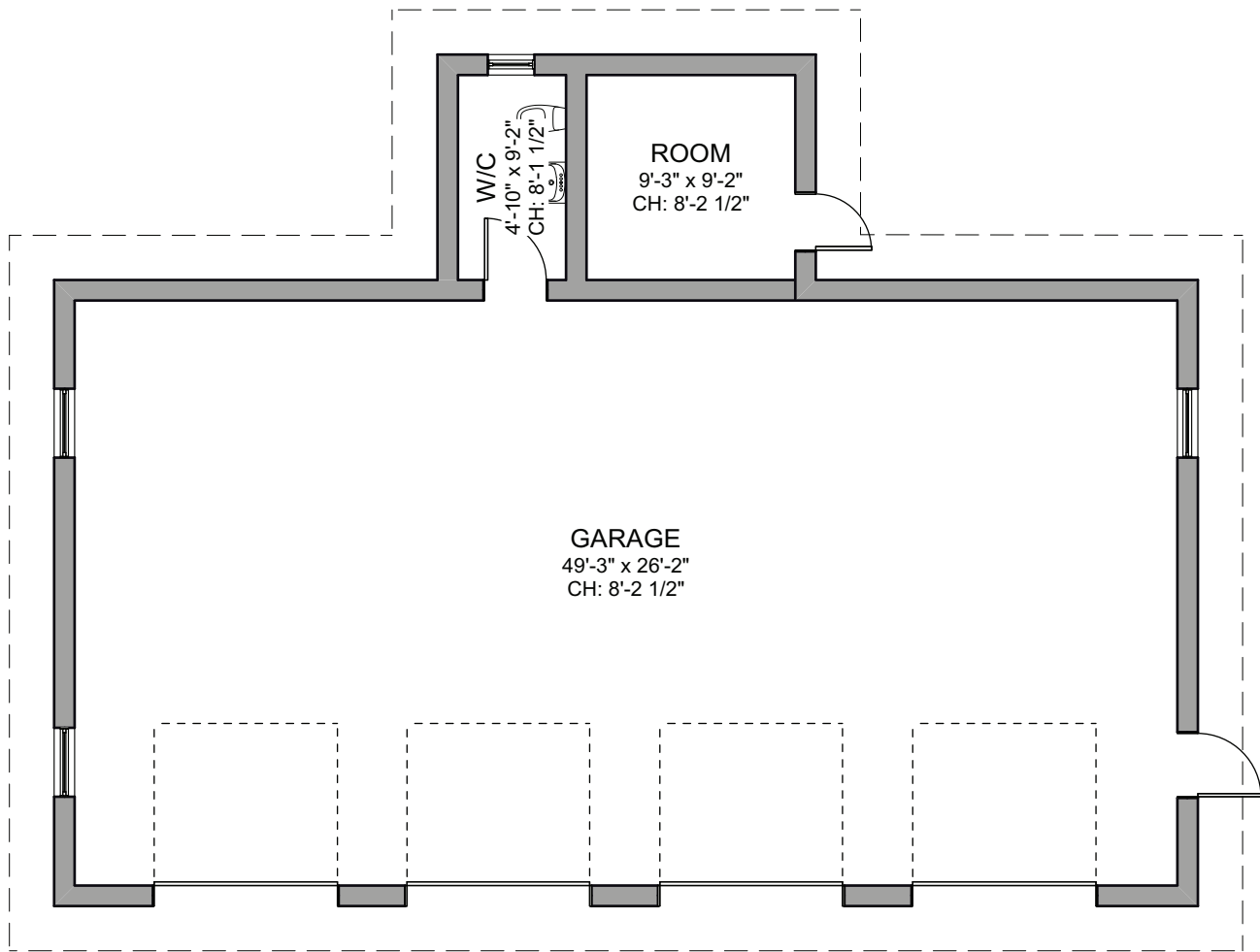
DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

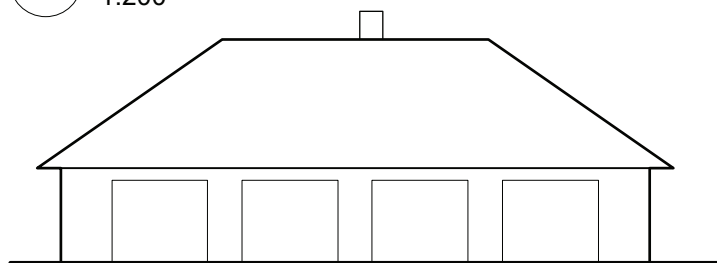
DATE:

PAI PROJECT NO.: 19049

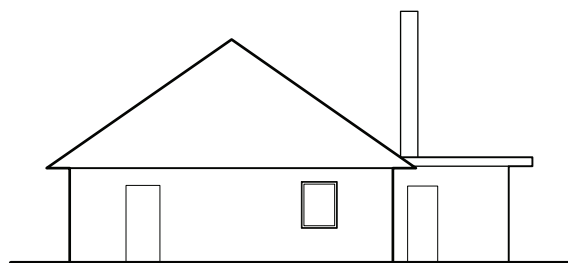
Pool House 1



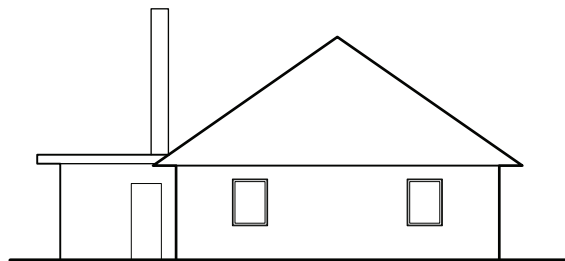
1 Garage Plan
1:200



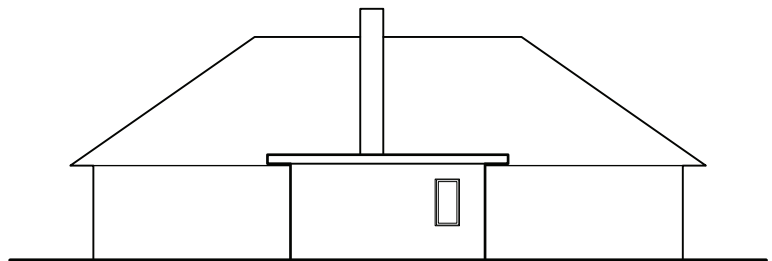
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1:200



3 East Elevation
1:200

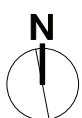


4 West Elevation
1:200



5 North Elevation
1:200

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DRAWING TITLE: Plan and Elevations

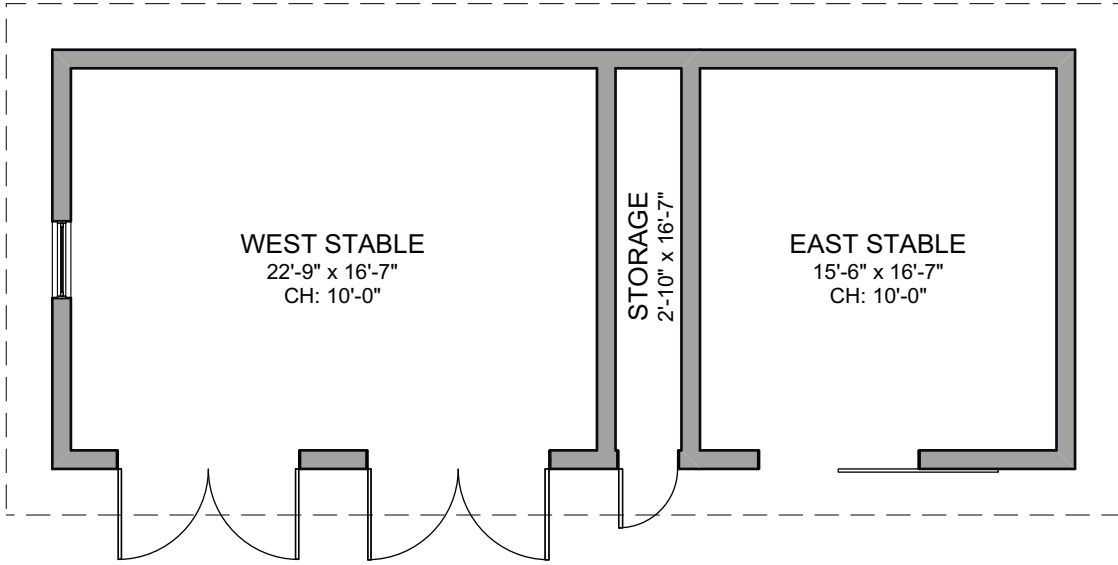
DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

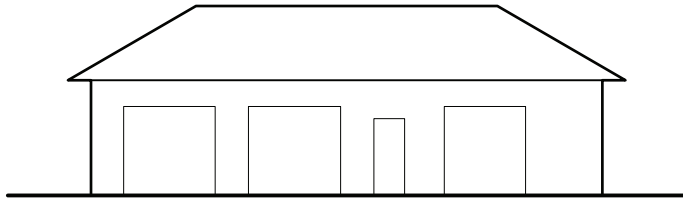
DATE:

PAI PROJECT NO.: 19049

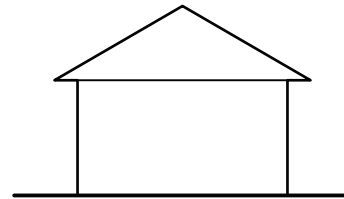
Garage 1



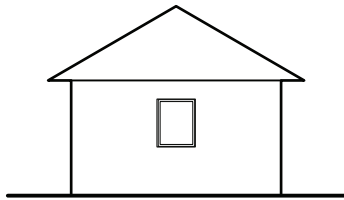
1 Stable Plan
1:100



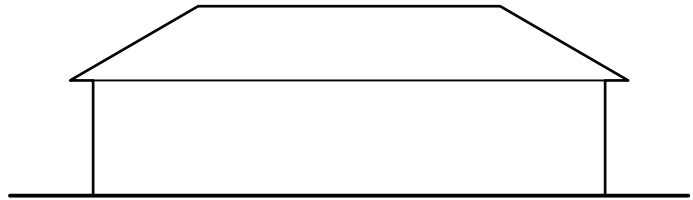
2 South Elevation
1:200



3 East Elevation
1:200

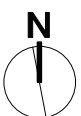


4 West Elevation
1:200



5 North Elevation
1:200

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DRAWING TITLE: Plan and Elevations

DRAWING SCALE: As Noted

PROJECT TITLE: Mulock Estate

DATE:

PAI PROJECT NO.: 19049

Stables 1



APPENDIX C
HOUSE CODE REVIEW
CODE NEXT INC.



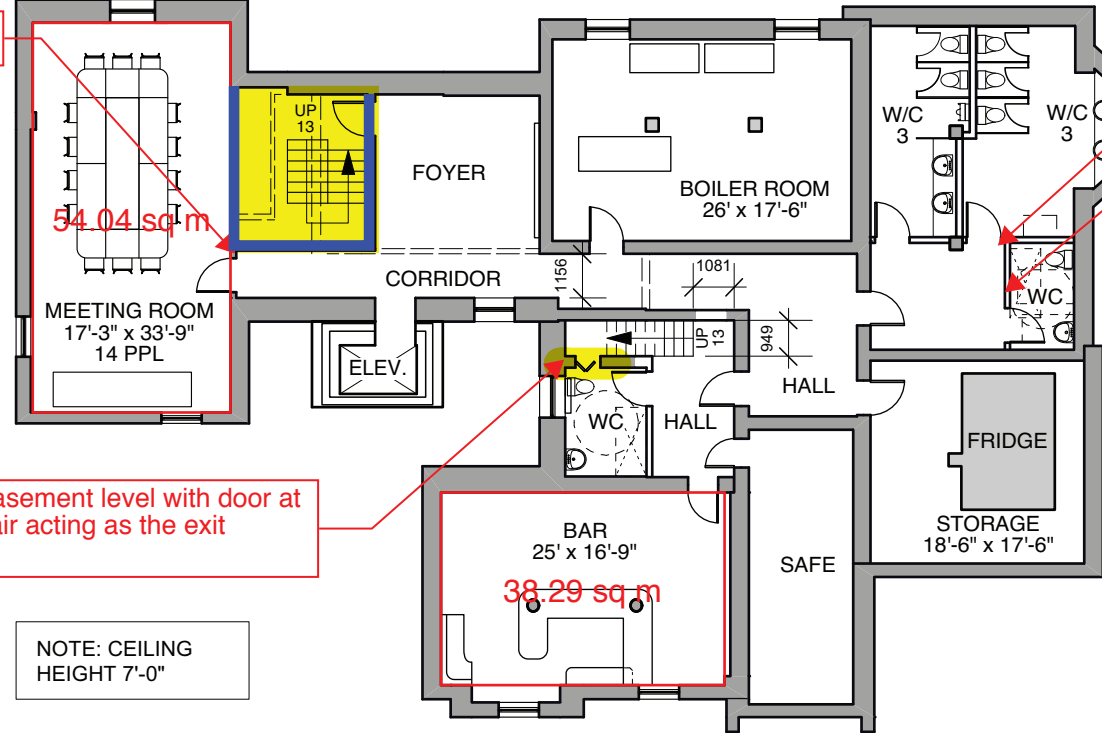
OPTION 1 = EVENT STYLE MODE

Change of Use Assessment
 Building is assumed to be combustible construction without any floor fire resistance ratings. Under OBC Table 11.2.1.1.A. the existing building would be assigned a construction index (CI) of 1.

The following Hazard Indices are associated with the respective new major occupancies:
 Group A (medium sized): HI = 4
 Group D (small sized): HI = 3

OBC Table 11.4.3.4.A. describes necessary upgrades as follows:
 - To convert to Group A: either protect ground and 2nd floor levels with a 45 minute FRR or sprinkler the building
 - To convert to Group D: either protect ground and 2nd floor levels with a 30 minute FRR or provide early warning system

Insufficient latch-side clearance. Will require power door operator



Insufficient latch-side clearance. Will require power door operator

Will require power door operator as per OBC 2020 Amendment

Calculated occupant load
 Meeting Room: Design Occupant Load = 14 persons
 Bar: Factored Occupant Load @ 1.1 m2/person = 35 persons
TOTAL OCCUPANT LOAD THIS FLOOR LEVEL = 49 PERSONS
 For exit capacity purposes, assume 25 persons per exit

Stair is part of basement level with door at the top of the stair acting as the exit

NOTE: CEILING HEIGHT 7'-0"

Required 45 minute fire-rated separation

Exit Facility

Washroom Capacity
 Basement: 3 Female water closets, 3 Male water closets + 1 universal + 1 ambulatory
 Ground Floor: 1 Universal (Staff) washroom
 2nd Floor: 2 Universal

Total available Washrooms:
 Female: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 ambulatory (Bsmt) + 1 Universal (2nd) + 1 universal (2nd) = 7 fixtures TOTAL
 Male: 3 water closets (Bsmt) + 1 Universal (Bsmt) = 4 fixtures TOTAL

TOTAL OCCUPANT LOAD OF THIS MODE:
 49 Basement + 173 Ground + 102 2nd = 324 persons (162 per sex)

As per OBC Table 3.7.4.3.A. to support 162 persons per sex = 4 male water closets and 7 female water closets.

As per OBC Sentence 3.7.4.3.(6) and Table 3.7.4.3.F. the single staff washroom an accommodate 18 staff. Therefore maximum staff per shift = 18 persons.

IN SUMMARY: THERE ARE SUFFICIENT WASHROOMS PROPOSED TO ACCOMMODATE THIS EVENT MODE

Fire Alarm System

In accordance with OBC Clause 3.2.4.1.(1)(d) a building that has an occupant load more than 300 persons will require the installation of a fire alarm system.

This Option considers an occupant load of 324 and therefore will impose the installation of a fire alarm system.

A single or two-staged fire alarm system can be installed (at the Clients discretion). Either alarm system type must notify the local fire department of an smoke or fire event within the building.

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DRAWING TITLE: Basement Plan - Option 1
 PROJECT TITLE: Mulock Estate

DRAWING SCALE: 1:200
 DATE: 2020.03.04

applicable local Building Code latest authorities with jurisdiction. Do not use on unless they have been signed and report any discrepancies to the Architect prior to start of construction.
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PAI PROJECT NO.: 19049

OPTION 1 = EVENT STYLE MODE

Rear Exit Capacity
 Foyer Door capacity = 1.73 m / 6.1 mm per person = 283 persons
 Rear Exit (Stair treads most conservative) = 950 mm / 8 mm per person = 118 person
CAPACITY OF REAR EXITS = 401 PERSONS

Exterior Stair capacity = 1520 mm / 8 mm per person = 190 persons
 Exterior Ramp capacity = 1680 mm / 6.1 mm per person = 275 persons
CAPACITY OF EXTERIOR EXIT = 465 PERSONS

Calculated occupant load
Design Based Occupant Loads

Indoor Event Space = 62 persons
 Outdoor Event Space = 61 persons
 Library (most conservative) = 30 persons
 Conference Room = 14 persons
 Kitchen @ 9.3 m²/person = 6 persons

TOTAL OCCUPANT LOAD FOR THIS FLOOR = 173 PERSONS

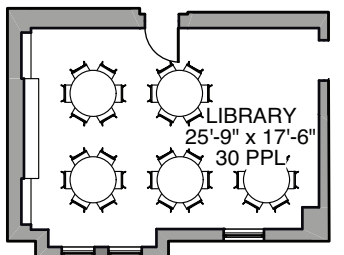
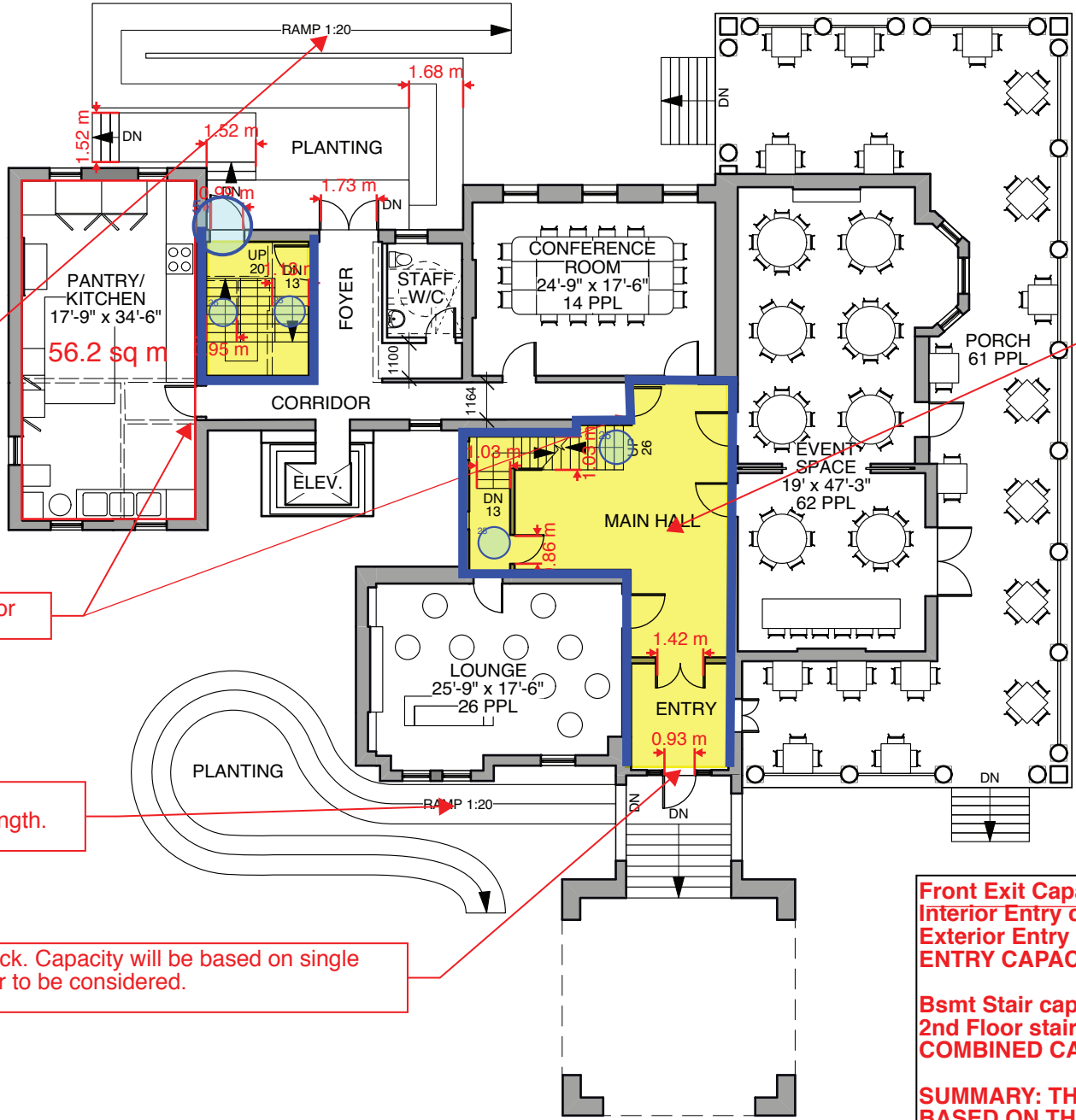
At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Any doors opening onto the main hall (exit) are permitted to be on hold open devices, provided the doors release upon activation of the fire alarm system.

Insufficient latch-side clearance. Will require power door operator

At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Single door creates bottleneck. Capacity will be based on single door width. New double door to be considered.



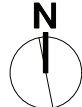
Front Exit Capacity
 Interior Entry capacity = 1.42 m / 6.1 mm per person = 232 persons
 Exterior Entry capacity = 930 mm / 6.1 mm per person = 152 person
ENTRY CAPACITY GOVERNED BY EXTERIOR SINGLE DOOR = 152 PERSONS

Bsmt Stair capacity = 1030 mm / 9.2 mm per person = 110 persons
 2nd Floor stair capacity = 1030 mm / 9.2 mm per person = 110 persons
COMBINED CAPACITY = 220 PERSONS

SUMMARY: THE CAPACITY OF THIS EXIT WILL BE RESTRICTED TO 152 PERSONS BASED ON THE SINGLE ENTRY DOOR. CONSIDERING 51 PERSONS FROM OTHER FLOOR LEVELS, THERE IS SUFFICIENT EXIT WIDTH TO ACCOMMODATE 101 PERSONS FROM GROUND FLOOR LEVEL THROUGH THIS EXIT

Required 45 minute fire-rated separation

Exit Facility



ISSUED: Task Force Meeting
 Code Review

DATE: 2020.02.28
 2020.03.04

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DRAWING TITLE: Ground Floor Plan - Option 1
 Event Seating

DRAWING SCALE: 1:200
 DATE: 2020.03.04

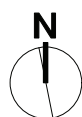
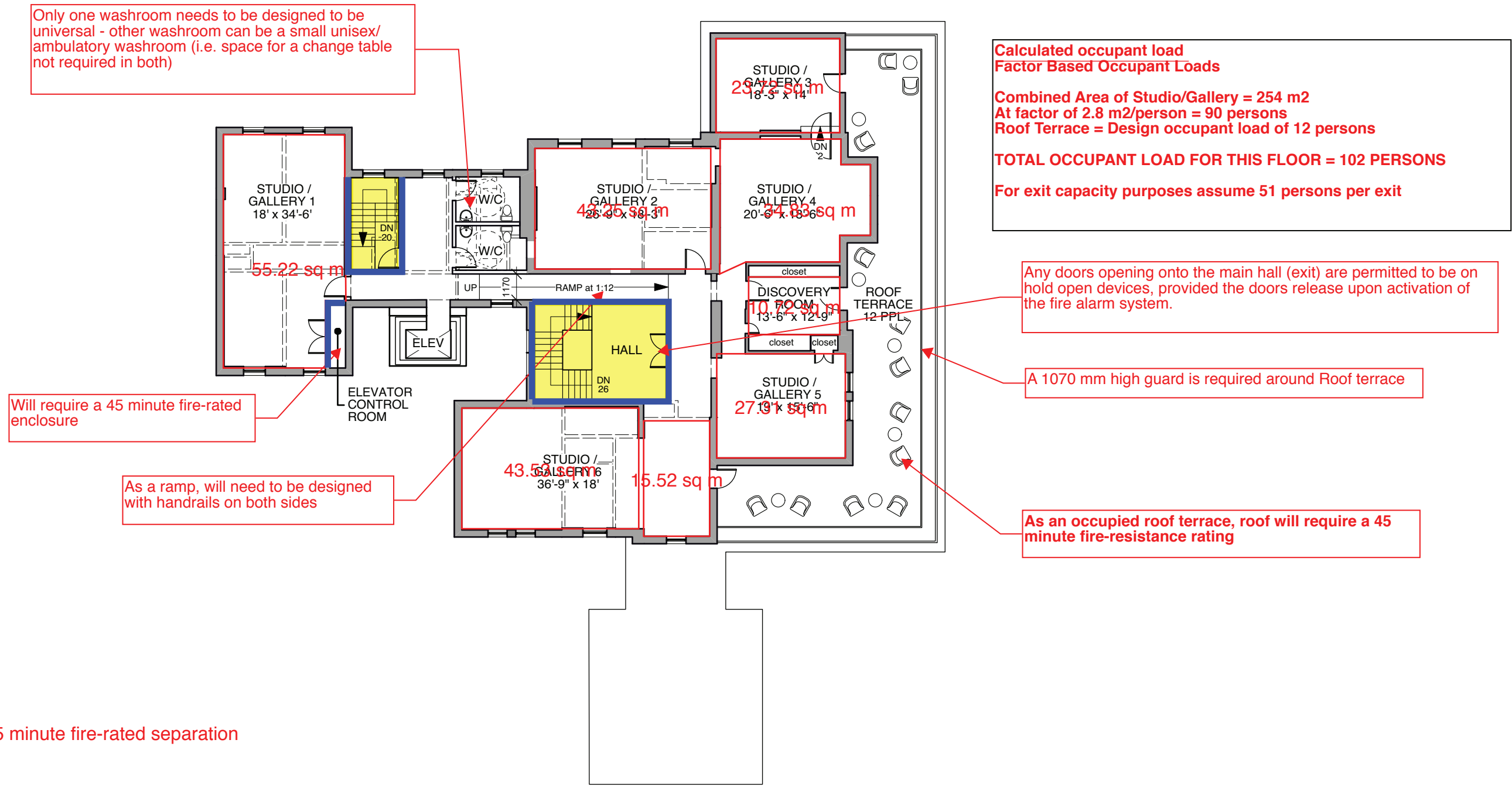
PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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SK-04

OPTION 1 = EVENT STYLE MODE



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Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Second Floor Plan - Option 1
Res. Studio / Gallery

DRAWING SCALE: 1:200
DATE: 2020.03.04

PROJECT TITLE: Mulock Estate

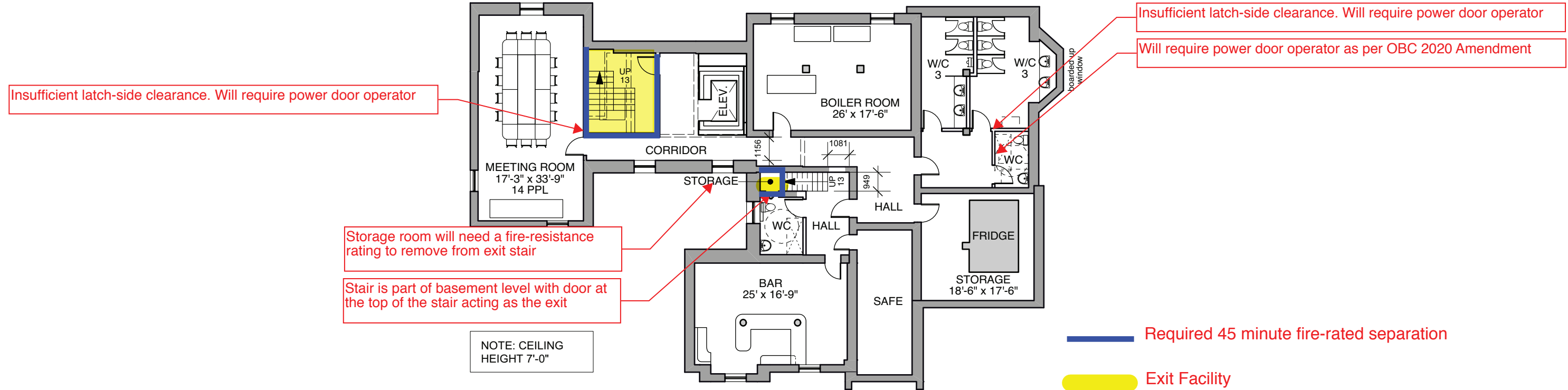
PAI PROJECT NO.: 19049

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OPTION 2 = CAFE / OFFICE MODE

Calculated occupant load
Meeting Room: Design Occupant Load = 14 persons (OFFICE)
Bar: Factored Occupant Load @ 1.1 m2/person = 35 persons (ASSEMBLY)
TOTAL OCCUPANT LOAD THIS FLOOR LEVEL = 49 PERSONS
For exit capacity purposes, assume 25 persons per exit



Washroom Capacity
Basement: 3 Female water closets, 3 Male water closets + 1 universal + 1 ambulatory
Ground Floor: 1 Universal (Staff) washroom
2nd Floor: 2 Universal

Total available Washrooms:
Female: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 ambulatory (Bsmt) + 1 Universal (2nd) = 6 fixtures **TOTAL**
Male: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 universal (2nd) = 5 fixtures **TOTAL**

TOTAL OCCUPANT LOAD OF THIS MODE:
Office occupants (14 Bsmt + 21 Ground + 33 2nd) = 68 office persons (34 per sex)
Assembly occupants (35 Bsmt + 114 Ground) = 148 cafe patrons (57 per sex)

As per OBC Table 3.7.4.7. to support 34 persons per sex = 3 male water closets and 3 female water closets.

As per OBC Table 3.7.4.3.A. to support 57 persons per sex = 2 male water closets and 3 female water closets

Total washrooms required = 5 male water closets and 6 female water closets

As per OBC Sentence 3.7.4.3.(6) and Table 3.7.4.3.F. the single staff washroom an accommodate 18 staff. Therefore maximum staff per shift = 18 persons.

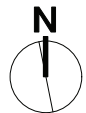
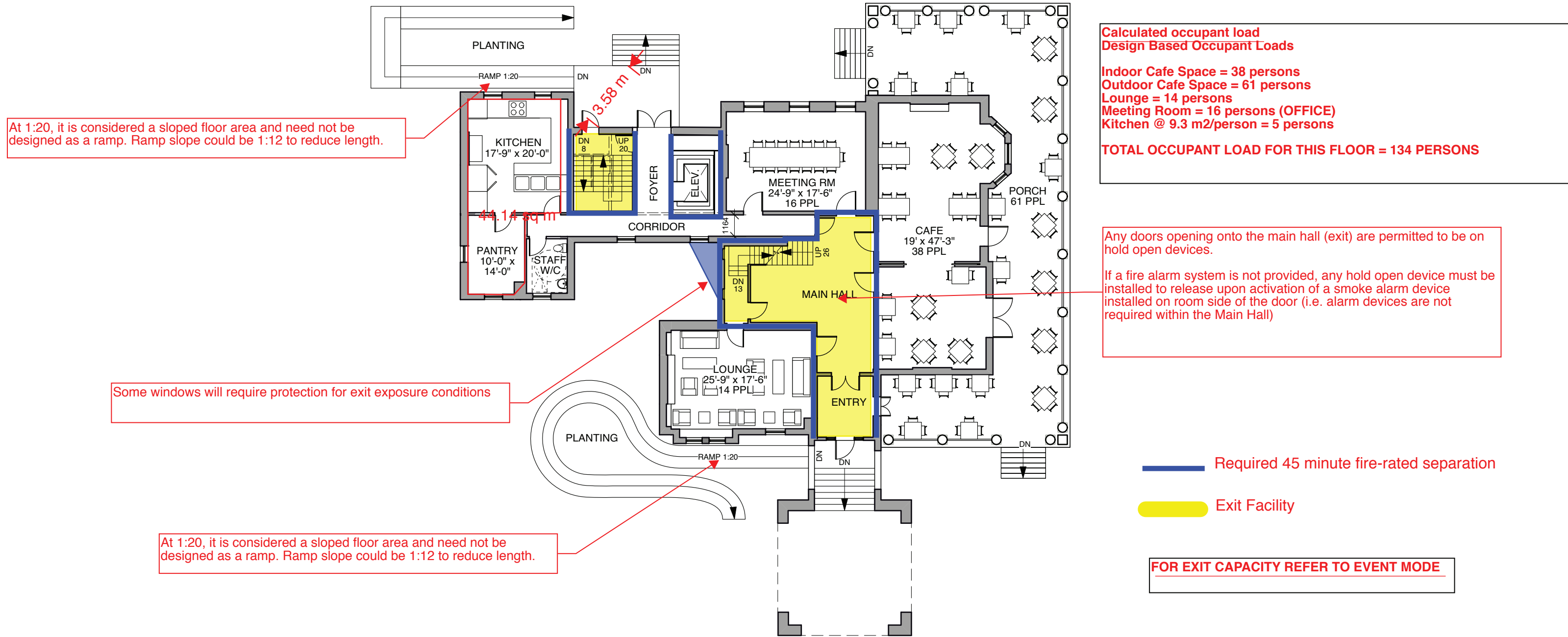
IN SUMMARY: THERE ARE SUFFICIENT WASHROOMS PROPOSED TO ACCOMMODATE THIS EVENT MODE

Fire Alarm System

In accordance with OBC Clause 3.2.4.1.(1)(g) a licensed beverage establishment or restaurant that has an occupant load more than 150 persons will require the installation of a fire alarm system.

This Option considers an Cafe occupant load of 148 persons and therefore, since less than 150 persons, does not require that the building be equipped with a fire alarm system.

OPTION 2 = CAFE / OFFICE MODE



ISSUED: Task Force Meeting Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Ground Floor Plan - Option 2
Cafe Seating

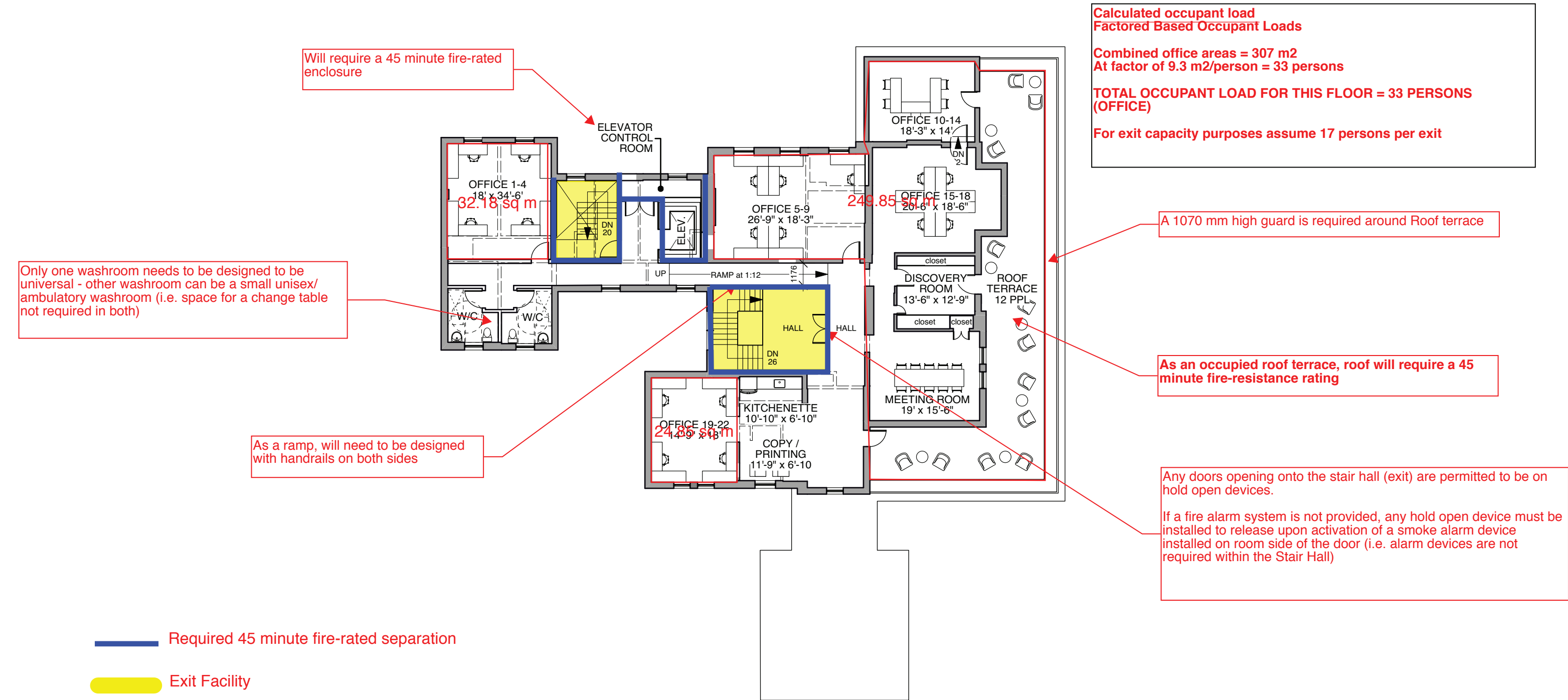
PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

DRAWING SCALE: 1:200
DATE: 2020.03.04

SK-05

OPTION 2 = CAFE / OFFICE MODE



ISSUED: Task Force Meeting
Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Second Floor Plan - Option 2
Offices

DRAWING SCALE: 1:200
DATE: 2020.03.04

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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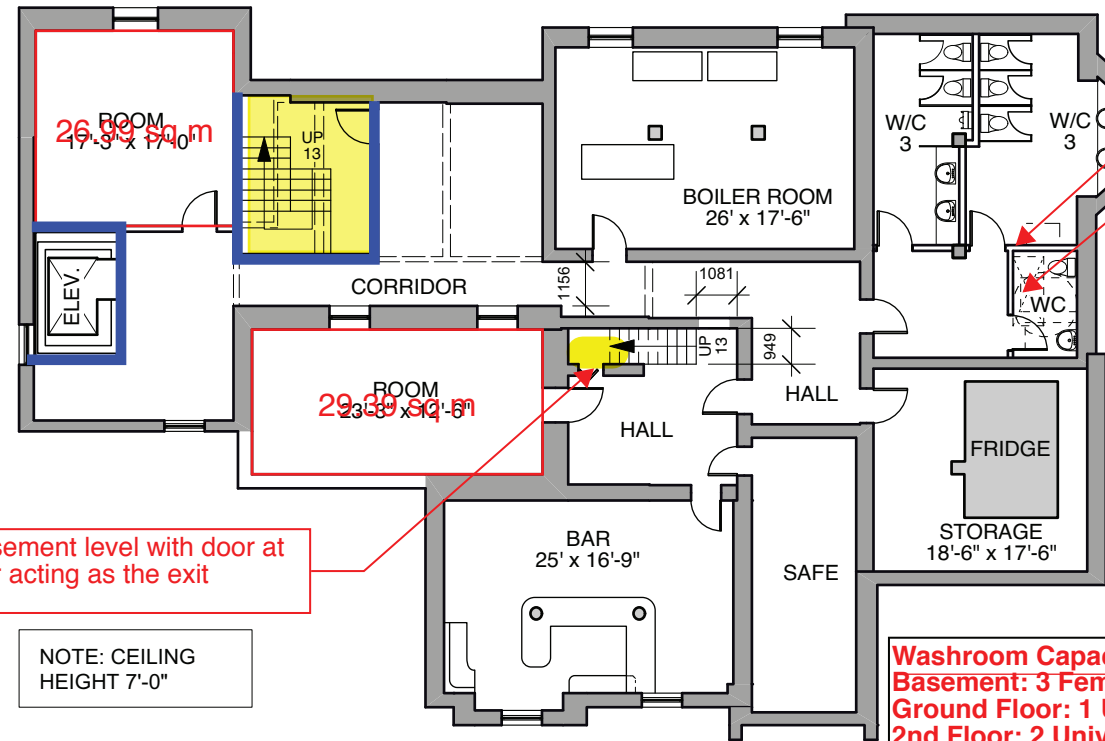
OPTION 3 = CLASSROOM STYLE MODE

Calculated occupant load
NOTE: THE PURPOSE OF THESE "ROOMS" IS UNCLEAR. CONSIDERED MEETING ROOMS

Room: Factored Occupant Load @ 9.3 mm/person = 6 persons
 Bar: Factored Occupant Load @ 1.1 m2/person = 35 persons (ASSEMBLY)

TOTAL OCCUPANT LOAD THIS FLOOR LEVEL = 41 PERSONS

For exit capacity purposes, assume 22 persons per exit



Insufficient latch-side clearance. Will require power door operator

Will require power door operator as per OBC 2020 Amendment

Stair is part of basement level with door at the top of the stair acting as the exit

Required 45 minute fire-rated separation

Exit Facility

NOTE: CEILING HEIGHT 7'-0"

Fire Alarm System

In accordance with OBC Clause 3.2.4.1.(1)(d) a building that has an occupant load more than 300 persons will require the installation of a fire alarm system.

This Option considers an occupant load of 336 and therefore will impose the installation of a fire alarm system.

A single or two-staged fire alarm system can be installed (at the Clients discretion). Either alarm system type must notify the local fire department of an smoke or fire event within the building.

Washroom Capacity
 Basement: 3 Female water closets, 3 Male water closets + 1 universal
 Ground Floor: 1 Universal (Staff) washroom
 2nd Floor: 2 Universal

Total available Washrooms:
 Female: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 Universal (2nd) = 5 fixtures TOTAL
 Male: 3 water closets (Bsmt) + 1 Universal (Bsmt) + 1 universal (2nd) = 5 fixtures TOTAL

TOTAL OCCUPANT LOAD OF THIS MODE:
 41 Bsmt + 226 Ground + 96 2nd = 336 persons (182 per sex)

As per OBC Sentence 3.7.4.4.(15) to support 182 persons per sex = 2 male water closets and 3 female water closets.

It is not necessary to incorporate an staff washroom in this mode.

IN SUMMARY: THERE ARE SUFFICIENT WASHROOMS PROPOSED TO ACCOMMODATE THIS EVENT MODE



ISSUED: Task Force Meeting Code Review
 DATE: 2020.02.28 2020.03.04

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DRAWING TITLE: Basement Plan - Option 3
 DRAWING SCALE: 1:200
 PROJECT TITLE: Mulock Estate
 DATE: 2020.03.04

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PAI PROJECT NO.: 19049

SK-03

OPTION 3 = CLASSROOM STYLE MODE

**Calculated occupant load
Design Based Occupant Loads**

Combined Lecture Rooms = 156 persons
 Outdoor Porch Space = 61 persons
 Meeting Room = @ 9.3 mm/person = 4 persons
 Kitchen @ 9.3 m2/person = 5 persons

TOTAL OCCUPANT LOAD FOR THIS FLOOR = 226 PERSONS

This room only requires one egress door

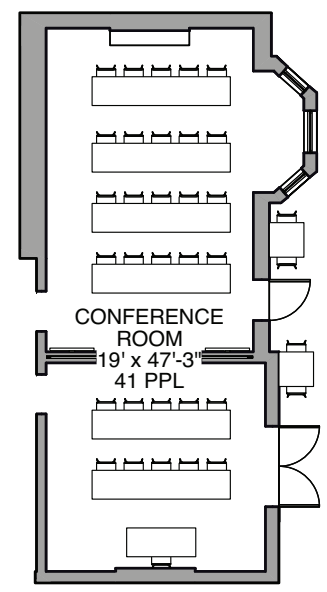
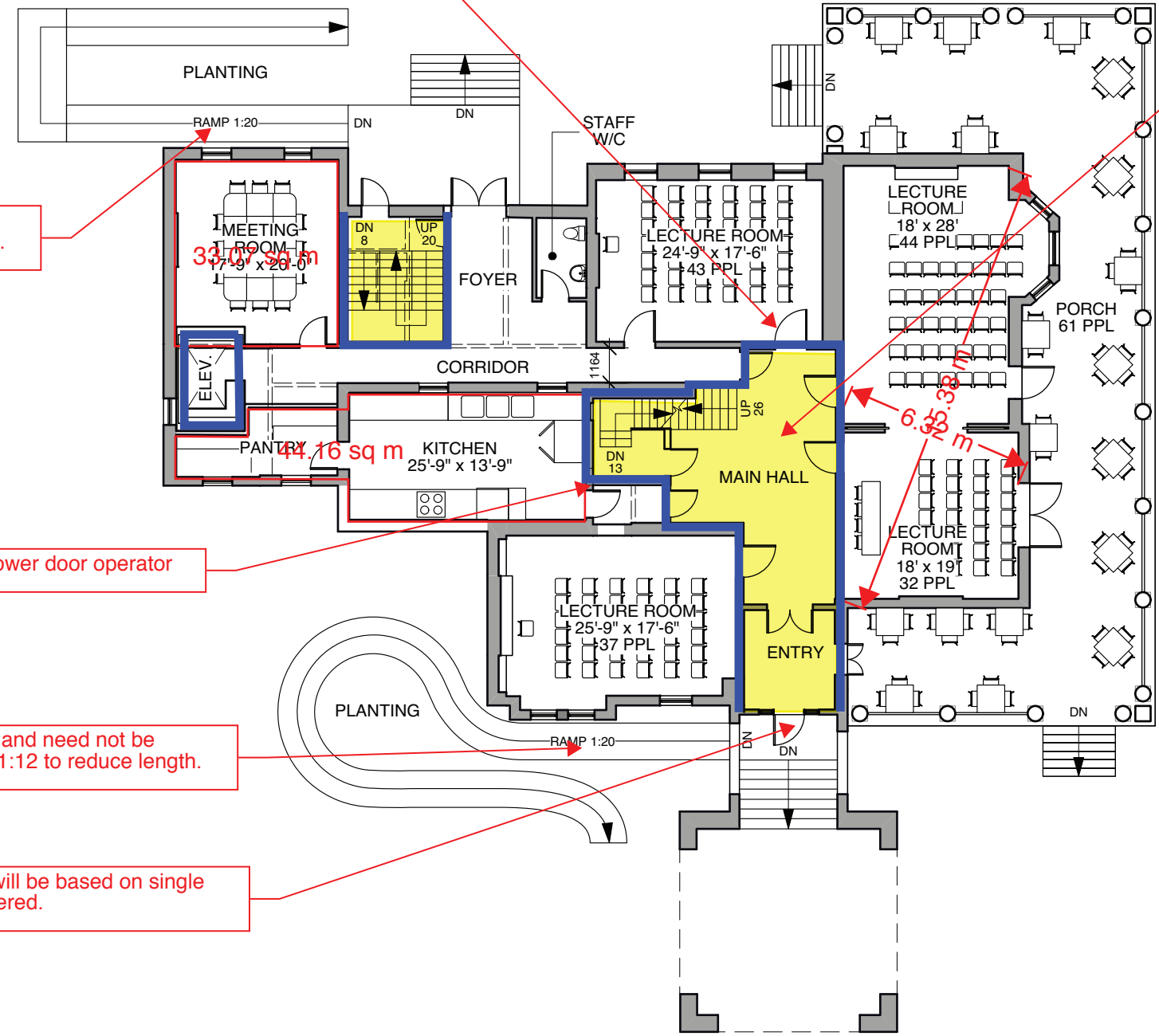
Any doors opening onto the main hall (exit) are permitted to be on hold open devices, provided the doors release upon activation of the fire alarm system.

At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

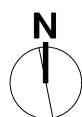
Insufficient latch-side clearance. Will require power door operator

At 1:20, it is considered a sloped floor area and need not be designed as a ramp. Ramp slope could be 1:12 to reduce length.

Single door creates bottleneck. Capacity will be based on single door width. New double door to be considered.



— Required 45 minute fire-rated separation
 Exit Facility



ISSUED: Task Force Meeting Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Ground Floor Plan - Option 3
Lecture Seating

PROJECT TITLE: Mulock Estate

DRAWING SCALE: 1:200
DATE: 2020.03.18

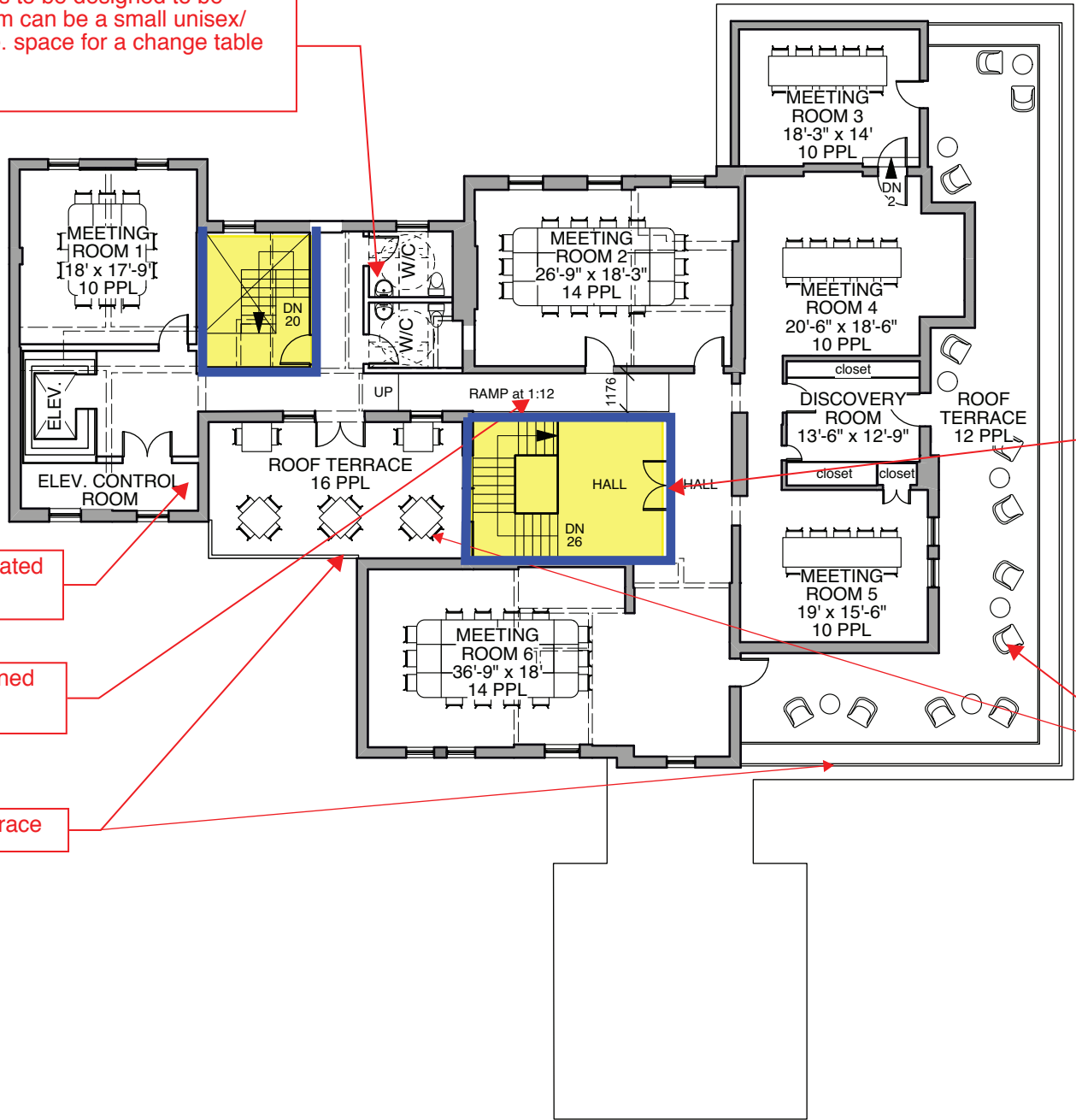
PAI PROJECT NO.: 19049

SK-06

OPTION 3 = CLASSROOM STYLE MODE

Only one washroom needs to be designed to be universal - other washroom can be a small unisex/ ambulatory washroom (i.e. space for a change table not required in both)

Calculated occupant load
Design Based Occupant Loads
 Combined meeting rooms = 68 persons
 Combined Roof terraces = 28 persons
TOTAL OCCUPANT LOAD FOR THIS FLOOR = 96 PERSONS (ASSEMBLY)
 For exit capacity purposes assume 48 persons per exit



Will require a 45 minute fire-rated enclosure

As a ramp, will need to be designed with handrails on both sides

A 1070 mm high guard is required around Roof terrace

Any doors opening onto the main hall (exit) are permitted to be on hold open devices, provided the doors release upon activation of the fire alarm system.

As an occupied roof terrace, roof will require a 45 minute fire-resistance rating

Required 45 minute fire-rated separation
Exit Facility



ISSUED: Task Force Meeting Code Review

DATE: 2020.02.28
2020.03.04

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DRAWING TITLE: Second Floor Plan - Option 3 Meeting Rooms

DRAWING SCALE: 1:200
DATE: 2020.03.04

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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SK-09



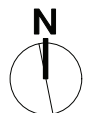
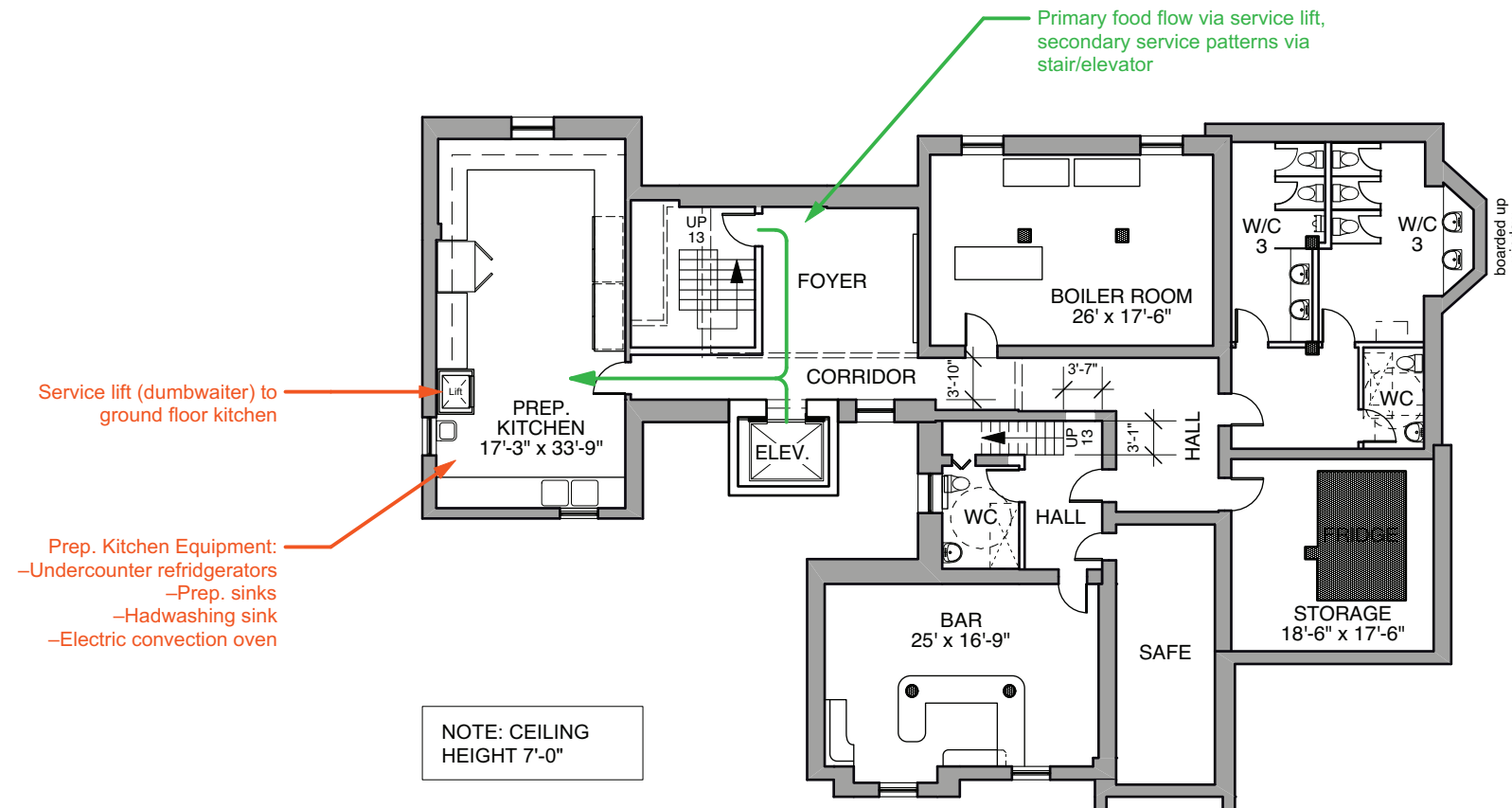
APPENDIX D
COMMERCIAL KITCHEN REVIEW
PLANT ARCHITECT INC
(MATTHEW HARTNEY)



GENERAL NOTES ON ALL KITCHEN OPTIONS:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good starting point for sizing the kitchen(s), though the area could be reduced depending on the type of food being prepared.

2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



ISSUED:

DATE:

PLANT ARCHITECT INC. SUITE 208 · 101 SPADINA AVENUE
 TORONTO CANADA M5V 2K2
 TELEPHONE 1-416-979-2012
 WWW.BRANCHPLANT.COM

DRAWING TITLE: Basement Plan - Option 1 - Appendix DRAWING SCALE: 1:200
 DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

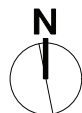
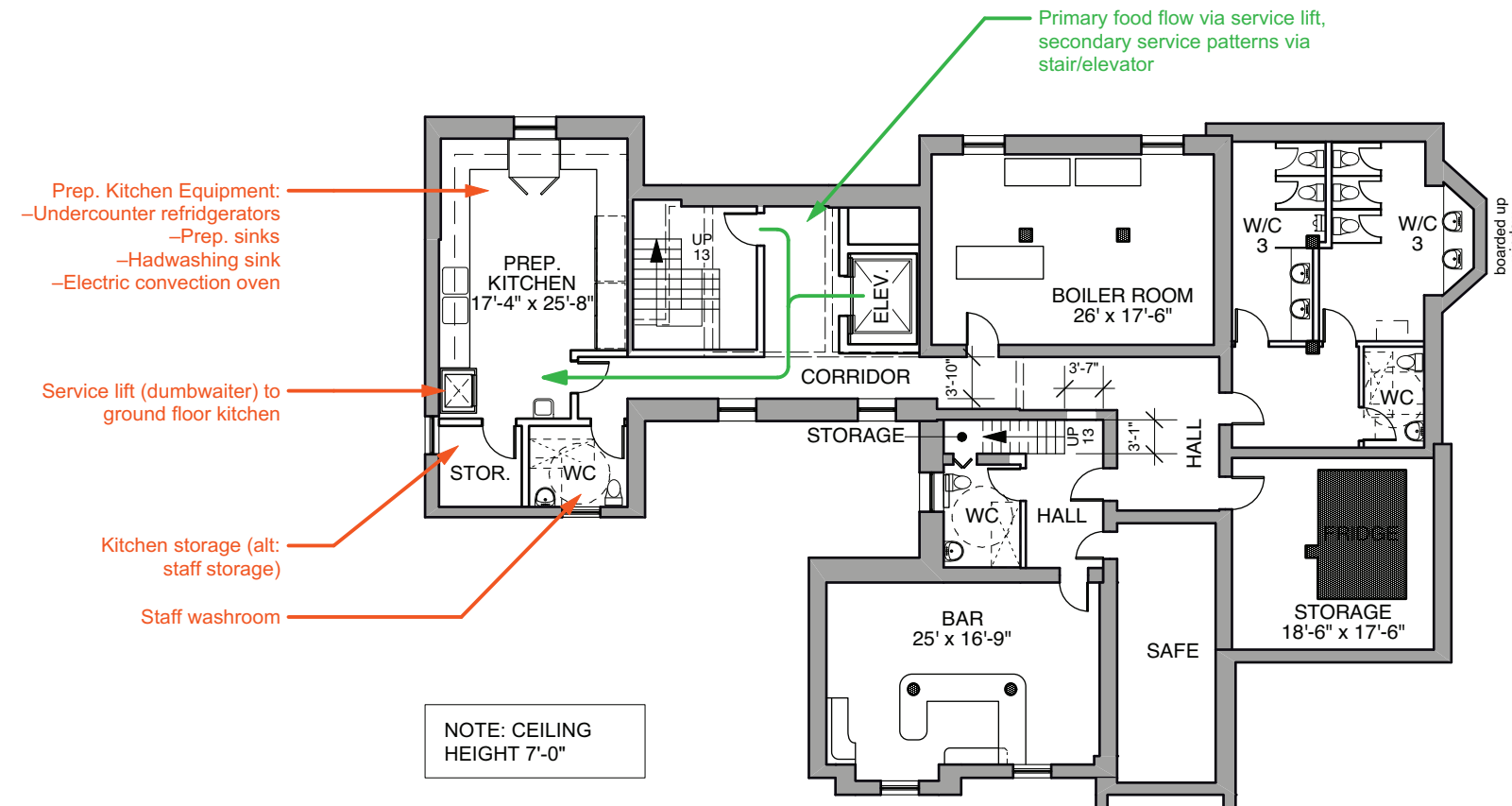
PAI PROJECT NO.: 19049

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DRAWING TITLE: Basement Plan - Option 2 - Appendix DRAWING SCALE: 1:200
 DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

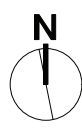
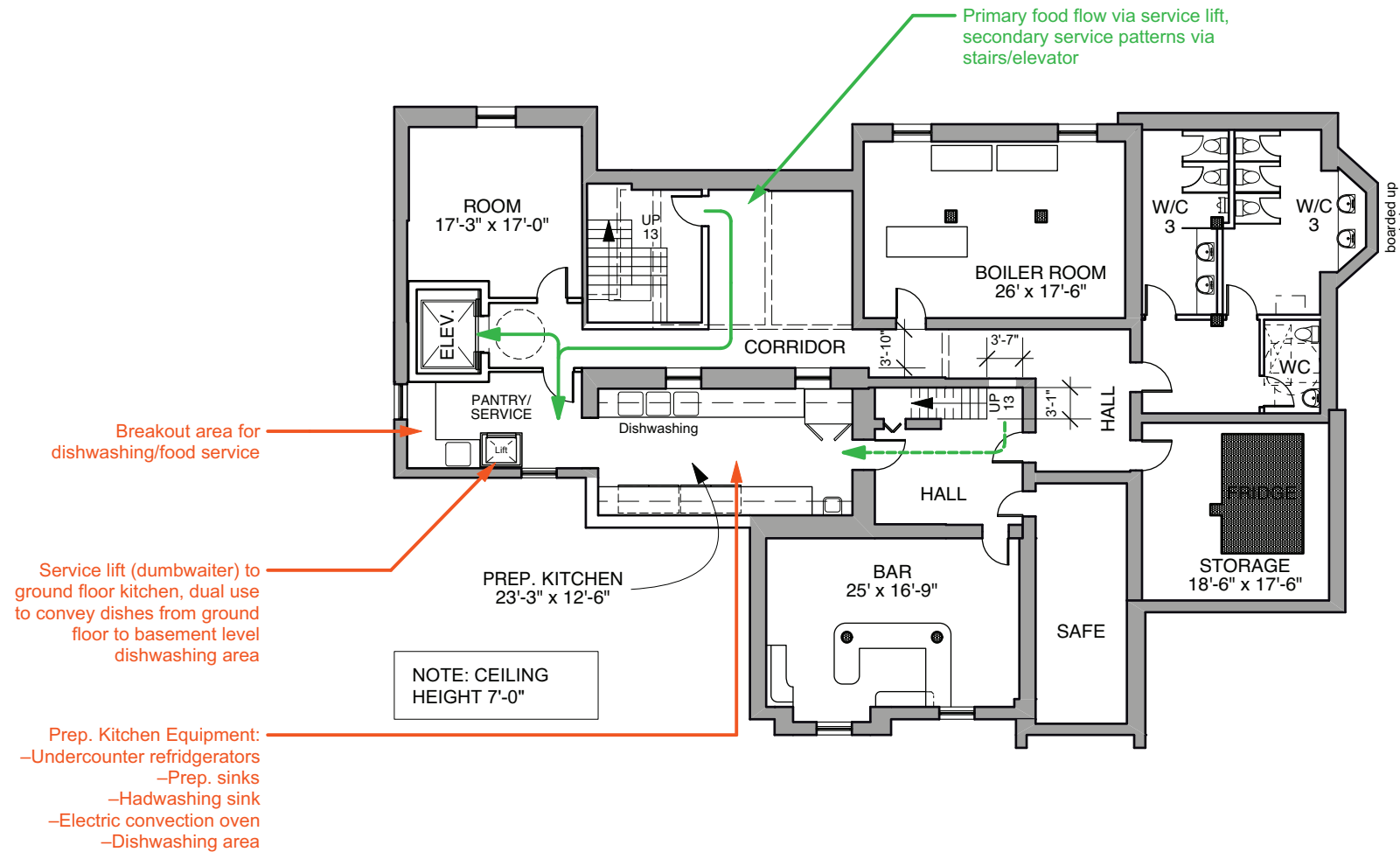
PAI PROJECT NO.: 19049

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TORONTO CANADA M5V 2K2
TELEPHONE 1-416-979-2012
WWW.BRANCHPLANT.COM

DRAWING TITLE: Basement Plan - Option 3 - Appendix DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

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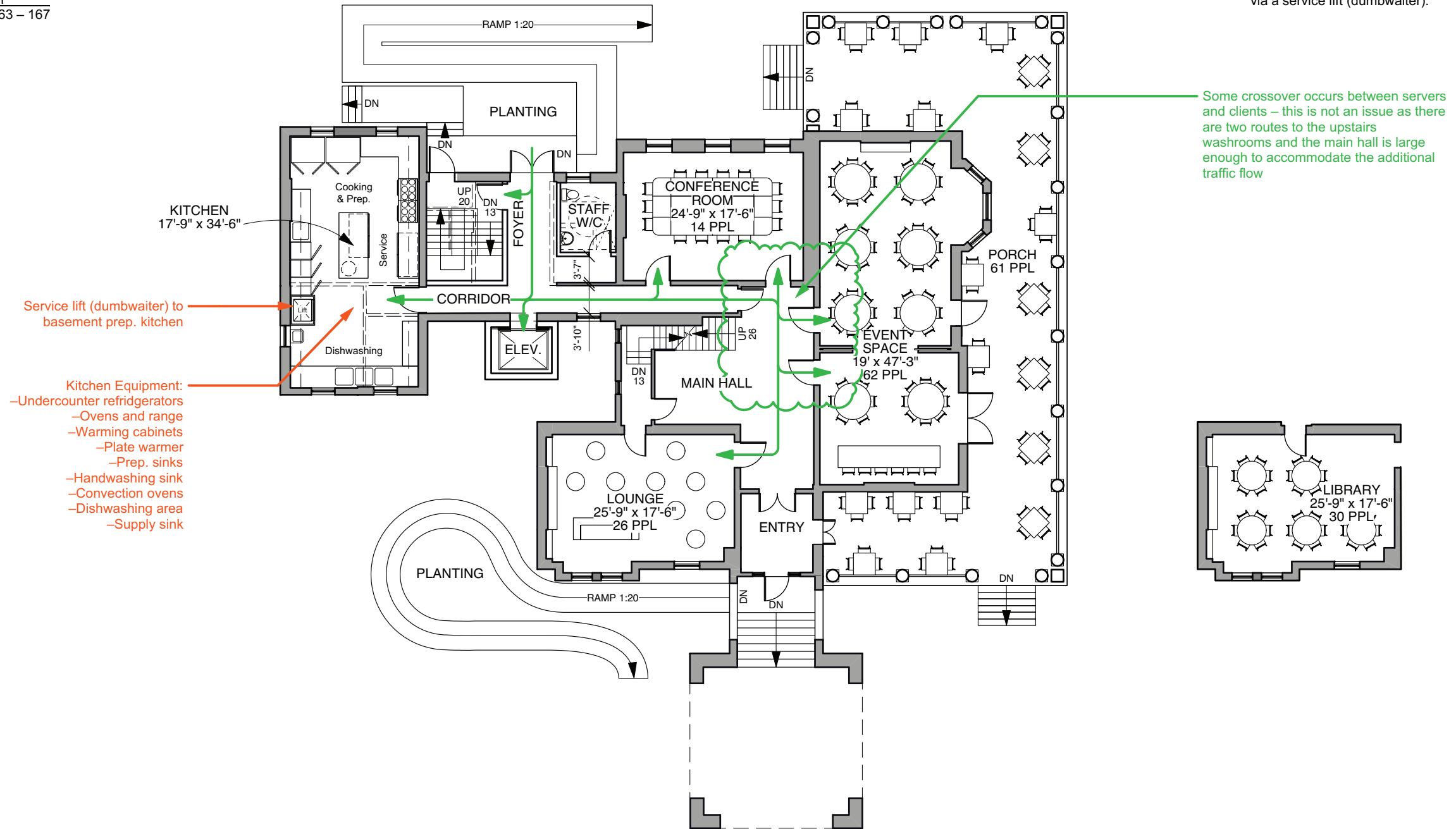
SEAT COUNT

Conference	14
Event Space	62
Lounge/Library	26 – 30
Porch	61
	<u>163 – 167</u>

GENERAL NOTES ON ALL KITCHEN OPTIONS:

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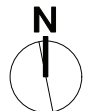
2. A separate prep. kitchen has been included in the basement level to support food service to the restaurant terraces in the greater landscape. These prep. spaces are connected to the main level kitchens via a service lift (dumbwaiter).



Some crossover occurs between servers and clients – this is not an issue as there are two routes to the upstairs washrooms and the main hall is large enough to accommodate the additional traffic flow

Service lift (dumbwaiter) to basement prep. kitchen

- Kitchen Equipment:
- Undercounter refrigerators
 - Ovens and range
 - Warming cabinets
 - Plate warmer
 - Prep. sinks
 - Handwashing sink
 - Convection ovens
 - Dishwashing area
 - Supply sink



ISSUED:

DATE:

PLANT ARCHITECT INC. SUITE 208 · 101 SPADINA AVENUE TORONTO CANADA M5V 2K2 TELEPHONE 1-416-979-2012 WWW.BRANCHPLANT.COM

DRAWING TITLE: Ground Floor Plan - Option 1 - Appendix

DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

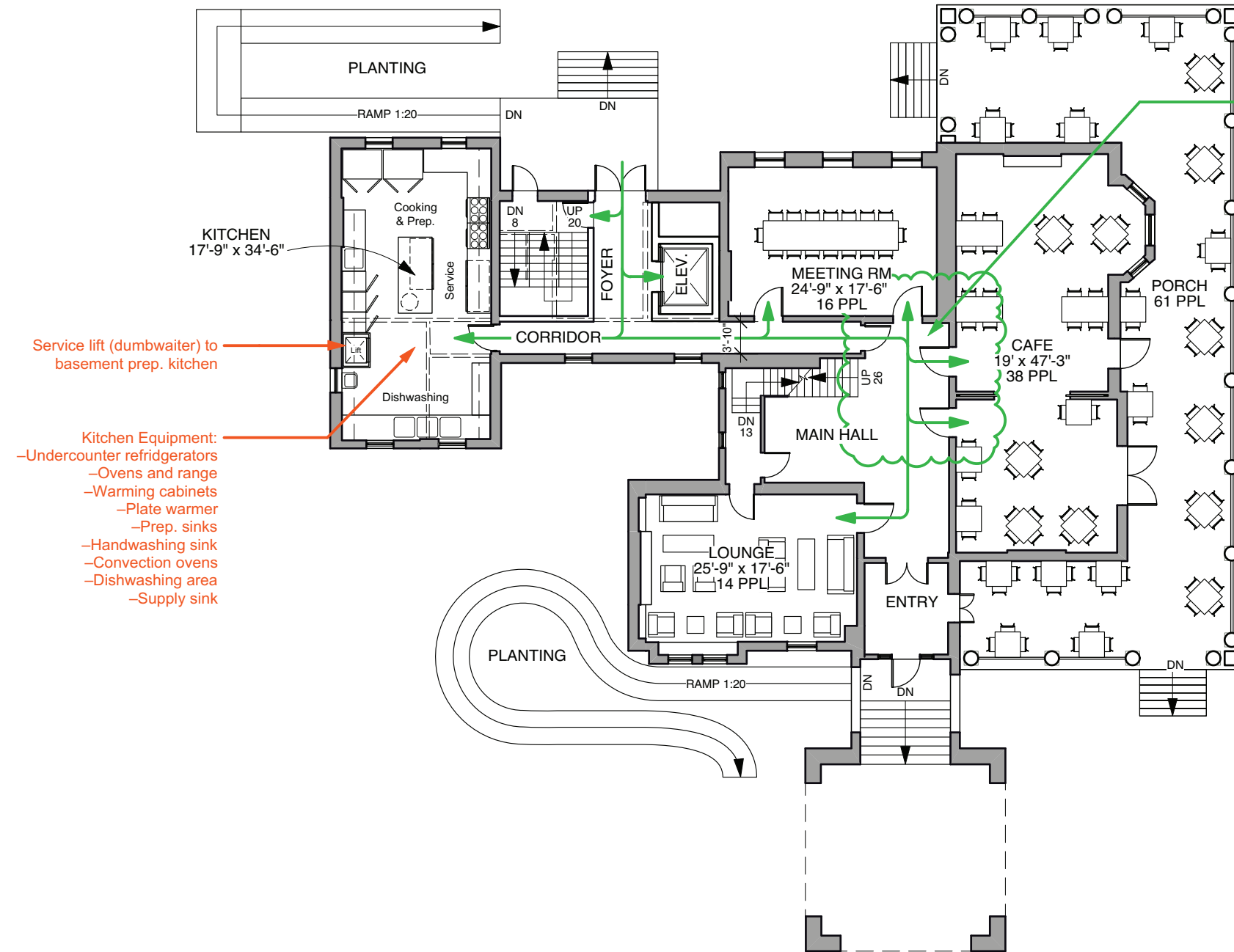
PAI PROJECT NO.: 19049

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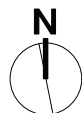
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Some crossover occurs between servers and clients – this is not an issue as there are two routes to the upstairs washrooms and the main hall is large enough to accommodate the additional traffic flow

Service lift (dumbwaiter) to basement prep. kitchen

- Kitchen Equipment:
- Undercounter refridgerators
 - Ovens and range
 - Warming cabinets
 - Plate warmer
 - Prep. sinks
 - Handwashing sink
 - Convection ovens
 - Dishwashing area
 - Supply sink



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DRAWING TITLE: Ground Floor Plan - Option 2 - Appendix

DRAWING SCALE: 1:200
DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

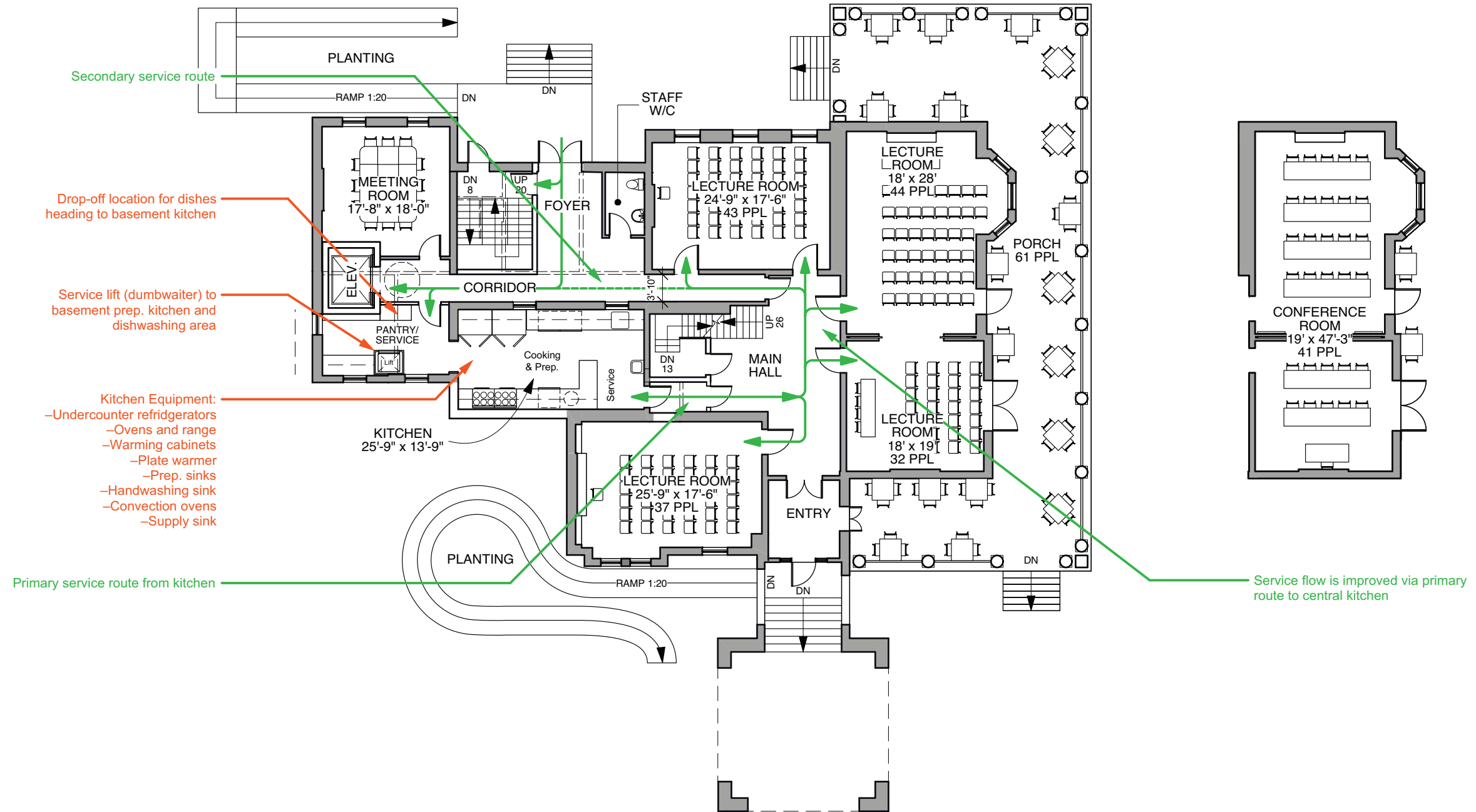
PAI PROJECT NO.: 19049

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Secondary service route

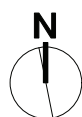
Drop-off location for dishes heading to basement kitchen

Service lift (dumbwaiter) to basement prep. kitchen and dishwashing area

Kitchen Equipment:
 -Undercounter refrigerators
 -Ovens and range
 -Warming cabinets
 -Plate warmer
 -Prep. sinks
 -Handwashing sink
 -Convection ovens
 -Supply sink

Primary service route from kitchen

Service flow is improved via primary route to central kitchen



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PLANT
ARCHITECT INC.

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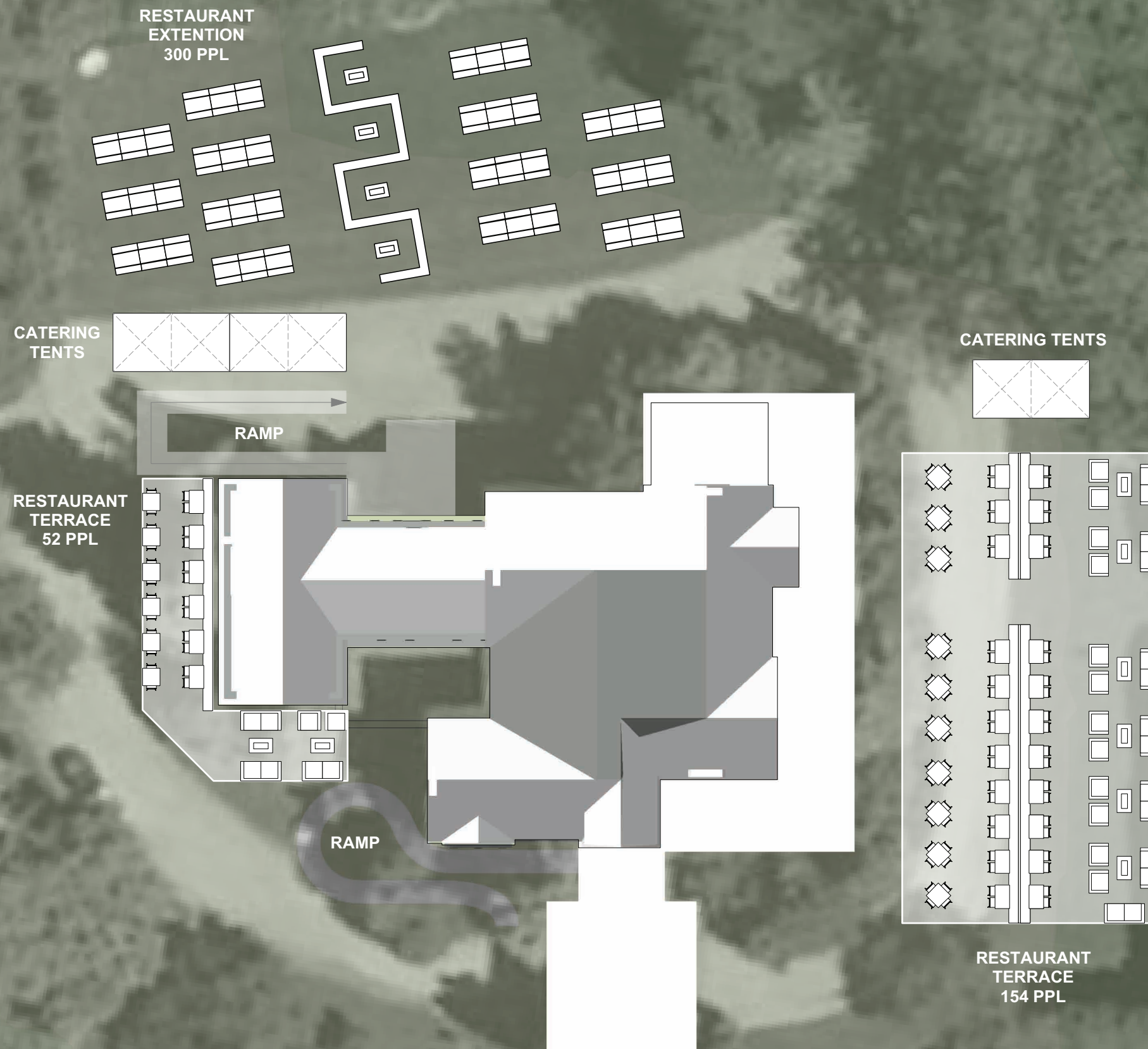
DRAWING TITLE: Ground Floor Plan - Option 3 - Appendix

DRAWING SCALE: 1:200
 DATE: 2020.05.01

PROJECT TITLE: Mulock Estate

PAI PROJECT NO.: 19049

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GENERAL NOTES ON OUTDOOR DINING TERRACES:

1. The restaurant terraces beyond the house, porch, and west terrace would require additional kitchen/catering facilities. This could be accomplished with outdoor catering kitchens (assembly tables, grills, etc. in tents or similar.), which could be tailored to each event. Temporary facilities can be rented for events, etc. For catered events, where most food is prepared off-site, a ratio of $\approx 5:1$ for dining:kitchen space is recommended.

2. Area needed to plate 300 dinner plates at once $\approx 250'$ or $\approx 21'-0"$. This is about 7-8 standard sized work tables if everything were to be plated at once. Assume a minimum 6 serving tables for 300 people.

3. Depending on the desired type of food service, the west dining terrace can be served via the kitchens shown in Options 1-3 without the need for additional (temporary) facilities. Generally, if café style food, brunch, formal tea service, or similar concepts are used, no additional facilities would be required – a similar form of service is used at Langdon Hall, where exterior facilities augment interior dining spaces, with a more casual type of food service. For a formal dinner or event such as a wedding, temporary facilities are encouraged.

4. Catering tents illustrated are standard 10'-0" x 10'-0" size and are intended to supplement the formal food service and preparation facilities within the building. These would be used for direct service to the associated dining terraces, and could house buffets & chafing dishes, minor cooking duties (grilling, eg.), beverage service, and serve as a staging area between the main kitchens and the dining terraces.

GENERAL NOTES ON ALL SCHEMES:

1. Kitchens have been sized for each interior plan option; Typically, sizes correspond to a 3:2 dining room:kitchen ratio (incl. all storage and prep). This is a good basis for the size of kitchen, though the area could be reduced depending on the type of food being prepared.

2. The restaurant terraces beyond the house and porch would require additional kitchen/catering facilities. This could be accomplished with outdoor catering kitchens (assembly tables, grills, etc. in tents or similar.), which could be tailored to each event. Temporary facilities can be rented for events, etc. For catered events, where most food is prepared off-site, a ratio of $\approx 5:1$ for dining:kitchen space is recommended.

4. Area needed to plate 300 dinner plates at once $\approx 250'$ or $\approx 21'-0$. This is about 7-8 standard sized work tables if everything were to be plated at once. Assume a minimum 6 serving tables for 300 people.

ISSUED:

DATE:



APPENDIX E
HOUSE PRECEDENT MATRIX
PLANT ARCHITECT INC



Mulock Masterplan- Possible uses for House Matrix													
Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
EVENT SPACE (PRIMARY AND ADJUNCT TO OTHER USES)													
Event Space Artist studios Cafe Historical displays / Museum	Alton Mill	http://altonmill.ca	1402 Queen St. West, Village of Alton, Caledon, ON	The Alton Development Group	3 incl free access to gallery spaces, museum display, public programs	suspect at least revenue neutral	staff on site, but unclear how many also has volunteers	courtyard spaces not usable in winter?	4,000sf annex courtyard (fits 160ppl in tent) 900sf waterfall courtyard for 64ppl seated (125 cocktail) 1,495sf Millrace Rm for 80-96ppl seated (120 cocktail / theatre) 1,025sf pond gallery for cocktail party/special events (apparently no seating) 450sf Riverside room for 30ppl(theatre) or 18 (boardroom)	adjacent to forest with park setting beside river (old mill). Doesn't appear to have trails into forest	DESTINATION walkable from downtown Alton, but town is very small and venue is at end of road	paired with artist studios, café, heritage exhibit	PR
Event Space	Alderlea House (recommended by York Region group)	https://www.eventsource.ca/alderlea https://www.brampton.ca/EN/Arts-Culture-Tourism/alderlea/Pages/Welcome.aspx	40 Elizabeth Street South, Brampton, ON L6Y 1R1	Municipal: Brampton	1 appears to be no public access to house	YORK Region group said it was losing money	event staff, but unclear how many	adjacent park has skate trail	rental of house and grounds. 85-100ppl seated (120 cocktail or theatre) separate bridal suite / green room on upper level	adjacent public park (does not appear to be part of venue)	at edge of downtown Brampton next to public park	Upscale rental price varies \$400-6000 does not appear to have public programming	PU
Museum/Event Space	Colborne Lodge	https://www.toronto.ca/explore-enjoy/history-art-culture/museums/colborne-lodge/	11 Colborne Lodge Drive, Toronto, ON	City of Toronto	3 guided tours (nominal fee) and programmed events, access to park any time and free	subsidized	rental coordination at City. Site staff / volunteers unclear	open year round, but assume veranda rental is seasonal	Veranda: 20 Coach house: 30	located in High Park	In large public park. Could be destination, but also easy to visit while in park anyway (High Park is the destination)	Colborne Lodge offers ongoing events and exhibits, popular kids programs, school trips, museum display	PU
Museum/Event Space	Dundurn Castle	https://www.hamilton.ca/attractions/hamilton-civic-museums/dundurn-national-historic-site	610 York Blvd, Hamilton	Hamilton	3 museum, some free events	subsidized entry fee \$14		museum open year round	"The Coach House": 72ppl seated (120ppl standing or theatre seating) The Cockpit: 70ppl (theatre style seating) outdoor pavilion: 50ppl (picnic table seating)	in Dundurn Park on outskirts of central Hamilton	could be destination, or "spontaneous discovery" (located on bike trail close to other parks and attractions)	guided tours by costumed interpreters	PU
Event Space Restaurant Exhibitions	Estevan Lodge	http://www.refordgardens.com/Locacion-du-site/ http://www.refordgardens.com/de-couvrir-les-jardins/Villa-Estevan/	Reford gardens, Metis Que	Les Amis des Jardins de Métis	2 ticketed entry (\$22)	Revenue neutral through donations, government and institutional sponsors, memberships, ticketed entry, restaurant function, rentals	20+ all year, 25 in summer, plus volunteers	closed Oct - May	house: 60ppl max, 4 rooms for "business meeting, corporate retreat or a corporate event" (i.e. not weddings) site: listed as possible to rent, but no size info on website (shown as rentable for weddings, incl. veranda of lodge)	in garden / park off St. Lawrence River	DESTINATION not within walkable distance from any significant settlement	restaurant with produce from garden, musical brunches and culinary events, cooking workshops, rentals (4 rooms), temp. & permanent exhibits (13 rooms)	PR
Event Space	The Foundry	http://www.thefoundry.info https://www.theweddingscanner.com/the-foundry	42-38 9th Street Long Island City, NY 11101	The Foundry	1 also hosts exclusive special events	revenue generating	3 staff, plus additional event staff		Main Space: 125 seated indoor (or 180ppl cocktail) Courtyard: 165 seated (or 180ppl cocktail) Greenhouse: 70 seated (120 cocktail) The Terrace: 80-90 cocktail Albra Rm: 40 seated / 70 cocktail Pool Rm: 40 (in conjunction w other space) 1500sf industrial kitchen	old warehouses (?) with courtyard, no park	DESTINATION industrial area w/ some housing, parks close by but space is not IN park, close to subway.	old warehouse / industrial buildings (not a historical mansion)	PR
Museum/Event space	Fulford Place	https://www.heritagetrust.on.ca/en/index.php/properties/fulford-place https://www.youtube.com/watch?v=dbRtqxHKLnQ https://hpoc.ca/blogs/au-revoir-to-summer/au-revoir-to-summer	287 King St E, Brockville, ON K6V 1E1	owned by Ontario Heritage Trust, operated by: The Friends of Fulford Place Association	3 operates as museum (nominal fee), guided tours available, public programs	unclear. Website has donations option	unclear how many staff volunteers for reception, monitors, tour guides	seasonal rentals of specific rooms	Covered South Veranda: 140m2 for 56ppl seated (90ppl cocktail) (summer only) Billiard Rm/Moorish Rm: 56 seated (90 theatre) Tea Rm: 24ppl max (off season only)	with large garden, overlooking the St Lawrence river	DESTINATION walkable from downtown (20min), but not part of trail, it's off a main road	also do tours and public programs / special events and historical displays	PU

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
EVENT SPACE (PRIMARY AND ADJUNCT TO OTHER USES)													
Event Space	George Brown House	https://www.weddingwire.ca/mansion-weddings/george-brown-house--e11959#app-layer-multisolicitud https://www.heritagetrust.on.ca/en/index.php/properties/george-brown-house	186 Beverley St, Toronto, ON M5T 1L4	owned by Ontario Heritage Trust, operated by: ???(Not by City of Toronto)	1 no access aside from event rentals (and odd special event like doors open)	unclear			max 50 ppl, 2 rooms	in the middle of mixed residential neighbourhood, small garden	downtown Toronto		PU
Event Space	Heintzman House (Recommended by YORK Region group)	https://www.markham.ca/wps/portal/home/arts/heintzman-house	135 Bay Thorn Drive Markham, Ontario, L3T 3V1	Town of Markham	2 infrequent free public programs, otherwise seemingly no access aside from space rentals	assume subsidized		open year round, but assume veranda rental is seasonal. No rentals on Sundays or holidays	Grand Ballroom: 113 ppl Thornhill Rm: 10 ppl Loyalist Rm: 10 ppl Heintzman Rm: 12ppl	immediately adjacent to public Royal Orchard Park with walking trail, otherwise surrounded by residential neighbourhood	can probably see from adjacent park/trail, but no access		PU
Museum/ Event Space	Homer Watson House & Gallery	https://www.homerwatson.on.ca	1754 Old Mill Rd, Kitchener, ON	Homer Watson Gallery?					incl venue rentals. 5 rooms with seating capacity between 20-55ppl, standing 40-100. Rooms vary in size between 15'x15' to 33'x18' has some outdoor space				PR
Event Space	McLean House	https://estatesofsunnybrook.com/venues/mclean-house/	125 Armistice Drive, Vaughan	Estates of Sunnybrook	1 no access outside of venue rental, gardens are not publicly accessible		yes, but can't tell how many	garden rentals not available in winter	Two houses and one coach house all operating as separate venues with varying capacities (see website) Conservatory Dining Rm: 72 Seated / 120 standing Mahogany Dining Rm: 32/40 Library: 8/15 Bayview Rm: 26 Gallery: 10 Stewart: 8 Garden: 8 other spaces on same estate not incl. here	adjacent to small forest with hiking trail and park, close to Sunnybrook hospital, surrounded by City	DESTINATION estate may be visible from adjacent forest and park, but access is restricted to venue rentals		PR
Event Space Gallery Performance Venue (?)	Old Town Hall, Newmarket	https://www.newmarket.ca/oldtownhall	460 Botsford Street, Newmarket	Municipal: Newmarket	3 no entry fee listed for exhibits or programs	based on 2019 data: revenue neutral	2 staff, plus event staff (and volunteers)	no	** add list from Colin	surrounded by parking, housing, commercial buildings (on main street)	downtown, just off main street	public programs, gallery space, concerts, theater, event rentals	PU
Event Space	Paletta Lakefront Mansions, Burlington	http://www.palettalakefrontmansions.com	4250 Lakeshore Road, Burlington, ON, L7L 1A6	Edge Hospitality Group	1 no access outside of venue rental, unclear whether gardens are publicly accessible	revenue generating		terrace rentals not be available in winter	see screen shot of floor plans	park setting on shore of Lake Ontario	DESTINATION. adjacent to "Paletta Lakefront" park, but not tied into trail system and surrounded by private residences		PR
Museum/Event Space Tea House, Restaurant (seasonal)	Parkwood National Historic Site - McLaughlin Estate	https://www.parkwoodestate.com	270 Simcoe Street North	Oshawa (charity)	3 suspect subsidized ticketed entry (\$15) call for donations on website, memberships, private / commercial sponsors		unclear how many staff, plus volunteers		Sunroom & Loggia: 100ppl seated (125 standing) Sunken Garden: 125ppl (park bench seating) and other garden spaces (capacity unclear) Tea House: 40ppl seated Tennis Court: 200ppl (under tent outside) South Lawn: 200ppl Formal garden: 130ppl Arbour: 100ppl Tea Rooms and Gardener's Lodge: 10-12ppl Gardener's Lodge: 20-23ppl	in park setting	close to some services (church, health centre etc.), botanical garden, otherwise mostly residential area	Both a museum and a conference/event centre, tea house restaurant in summer, public programs	PU

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
EVENT SPACE (PRIMARY AND ADJUNCT TO OTHER USES)													
Museum/Event space	Sharon Temple	sharon temple.ca	18974 Leslie St, Sharon, ON	Sharon Temple Museum Society w/ government support	3 incl. museum (nominal ticket price) and public programming	subsidized government support and private event sponsors, donation programs, memberships	2 staff listed on website, plus volunteers (general maintenance, administrative tasks, event staffing, program members)	outdoor space not available in winter	Sharon Temperance Hall: 80ppl seated (95 cocktail) Temple: 200ppl tent structures outside: 100-500ppl (4.5ha parkland)	in park setting	DESTINATION close to town hall and some shops, but no real downtown	Vice president of historical society (Playter) likes this paired with museum function	PR?
MUSEUMS													
Museum	Barnum House	https://www.heritagetrust.on.ca/en/index.php/properties/barnum-house	10568 County Rd 2, Grafton, ON	owned by ACO (Architectural Conservancy of Ontario)								first period house museum in ON	PU
Museum	Duff Baby House	https://www.citywindsor.ca/residents/Culture/Windsors-Community-Museum/Pages/Duff-Baby-Interpretation-Centre.aspx https://www.heritagetrust.on.ca/en/index.php/properties/duff-baby-house	221 Mill Street, Windsor, ON	owner by Ontario Heritage Trust operated by: Les Amis Duff-Baby								open by appt only. educational programs, public meetings	PU
Museum	Hillary House	http://aurorahs.com (terrible website) https://www.yorkregion.com/whatson-story/1440039-hillary-house-aurora/	15372 Yonge Street, Aurora	Aurora Historical Society?								much smaller than Mulock, no land around. Heritage personnel think this is not a successful example tours and special events Ballroom rental available for members of the AHS (37ppl with tables, or 55 without)	PU
Museum	Mather-Walls House	https://www.heritagetrust.on.ca/en/index.php/properties/mather-walls-house	1116 Ottawa Street, Kenora, ON	owned by: Ontario Heritage Trust operated by: Lake of the Woods Historical Society								society meeting space, community events on premises, public tours	PU
Museum	Macdonell-Williamson House	http://www.mwhouse.ca/news_events.html	25 Rue des Outaouais, Chute a Blondeau, Ontario	owned by Ontario Heritage Trust, custodian: Friends of the Macdonell-Williamson House Inc.								Heritage Tea Room, general store, museum, organized events	PU
Museum	Montgomery's Inn Community Museum	http://montgomerysinn.com	4709 Dundas St W, Etobicoke, ON M9A 1A8	City of Toronto Museum and Heritage Service	3 ticketed entry (\$8 for adults and \$5 for children)	Guess: subsidized through donations, government and institutional sponsors	90 volunteers, unknown if payed staff	Open all year round and heavily programmed	The Briarly Room (25'x30') and The Community Room (25'x40')	Adjacencies: parking lot, Dundas St West and a park on two sides (Montgomery's Meadow)	Located at a major intersection (Islington Ave and Dundas St W)	Tea party every Sunday, Corn Roast and Heritage Fair in September, art exhibition room, Thirsty Thursday's in summer, school programs, youth programs, adult and senior programs and community outreach	PU
Museum/ Event Space	Spadina Museum	https://www.toronto.ca/explore-enjoy/history-art-culture/museums/spadina-museum/	285 Spadina Rd, Toronto	Municipal: Toronto	3 ticketed entry to museum (\$10), some ticketed programs	subsidized		reduced opening hours for museum. Unclear for house rentals	East Sunroom: 25ppl (seated) / 30 standing Terrace & Gardens: 120 Basement MTG Rm	located in public Spadina Park, adjacent to Casa Loma	downtown-ish, next to another major tourist attraction	offers rental space, hosts ticketed public events	PU
Museum/ Event Space	Sir Harry Oakes Chateau (Museum of Northern History)	https://www.heritagetrust.on.ca/en/index.php/properties/sir-harry-oakes-chateau http://museumkl.com	2 Chateau Drive, Kirkland Lake, ON	Museum of Northern History	3 ticketed entry to museum for small fee	ticketed entry to museum (6.10\$)	staff, plus volunteers	museum closed in off season	2 rooms for event rentals (see floor plan on website), no sizes / capacity provided	edge of town, edge of provincial park	DESTINATION	also has travelling and permanent exhibits	PU

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
MUSEUMS													
Museum	The Tree Museum	https://www.thetreemuseum.ca	1634 Doe Lake Road/ Muskoka Road 6, Gravenhurst, ON	EJ Lightman and Anne O'Callaghan (founder and sponsor)	3	Founded and sponsored by EJ Lightman	volunteer. Self directed tour	The Tree Museum is open from May 1-Oct 31		Large landscape and art park off of the highway. There is nothing in walking distance	DESTINATION		PR
Museum/ Event Space	Whitehern Historic House & Garden National Historic Site	https://www.hamilton.ca/attractions/hamilton-civic-museums/whitehern-historic-house-garden-national-historic-site	41 Jackson St W, Hamilton	Municipal: Hamilton	2	likely subsidized		museum open year round, assume no garden rental in winter	the stable: 40 (standing or theatre seating), 25-30 (reception), 18 (boardroom seating) house & garden: capacity not specified	downtown with garden	downtown Hamilton, adjacent to Town Hall and Go Station		PU
INN AND SPAS													
Spa	The Briars	https://www.briars.ca	55 Hedge Road, Jacksons Point, Ontario,			revenue generating							PR
Hotel	Eaton Hall	https://eatonhall.bypeterandpauls.com https://en.wikipedia.org/wiki/Eaton_Hall_(King_City)#Further_uses	King City, ON on Seneca Campus, but away from school buildings	Peter and Pauls Hospitality and Entertainment Group	1	revenue generating??	yes	if park rentals, these may not be available in winter'	apparently yes, but can't find specifics online	surrounded by forest, hiking trails, on Lake Seneca, park lands	DESTINATION	house used to be part of Seneca College, but now used as Hotel and conference centre (Wikipedia says since 1991)	PR
Spa Hotel Restaurant	Langdon Hall	https://www.langdonhall.ca	1 Langdon Drive, Cambridge, ON, N3H 4Rb	Langdon Hall – Country House Hotel & Spa	1	revenue generating		no public access to house		in rural setting surrounded by forest / agriculture, walking trail near by	DESTINATION	paired with hotel, spa	PR
RESTAURANTS													
Micro brewery	Church Key	http://www.churchkeybrewing.com	1678 County Rd # 38 Campbellford, On K0L 1L0	Church-Key Brewery		revenue generating						1878 Methodist Church	PR
Gallery + Lounge	The Grange at AGO	https://ago.ca/about/the-grange	317 Dundas St W, Toronto, ON	The AGO	2	Revenue Neutral - Part of the AGO and a lounge is located inside	Assumed payed staff.	None. The adjacent (Grange) park is less busy in the winter.	Galleries within the AGO are rentable, however could not find information on specific rentals at The Grange.	Adjacent to large park (Grange) and the AGO.	In the middle of the city and likely visited as a result of going to the AGO.	Programming - The Norma Ridley Member's Lounge and exhibition spaces. No longer functions as a historic house. "Visitors to the AGO are free to enjoy The Grange and explore the exhibitions, or simply enjoy the beauty of the house."	PU
Micro brewery	Silversmith	https://www.silversmithbrewing.com	1523 NIAGARA STONE ROAD, VIRGIL ON	Silversmith Brewing		revenue generating						in historic church from 1890s	PR
Restaurant	The Keg Manion	https://kegsteakhouse.com/en/locations/mansion	515 Jarvis St, Toronto, M4Y 2H7	The Keg		revenue generating							PR
GALLERIES AND ARTIST RESIDENCIES (see other residency links in House Uses Memo)													
Multidisciplinary arts centre and markets	Basilica Hudson	https://basilicahudson.org/about/gallery/ http://basilicarentals.com/weddings/	110 S. Front St Hudson, NY 12534	Basilica Hudson	2	not for profit, sponsorships (private, institutional, arts councils), ticketed events, rentals, memberships	9 staff listed on website, plus volunteers, plus board of directors		Main Hall: 6,000sf, 1200ppl max North Hall: 1,740sf, 240ppl+ West wing bar: 1,340sf, 250ppl standing West wing entrance: 720sf Back gallery: 1,682sf outdoor space (e.g. parking lot) can also be rented	in old industrial park "on the waterfront of the historic City of Hudson", other functions close by: brewery, machinery warehouse, fancy hotel, furniture store, train station	DESTINATION (and catalyst for new development)	old forge & foundry building, later glue factory multidisciplinary arts centre, markets,	PR

Type of Use (based on suggestions from consultations)	Possible Precedents	URL	Location	Operated by	Publicness (1 least, 3 most public)	Funding	Staffing	seasonal effect on programming?	capacity for rentals	type of location, setting	cultural / social context	Comments	Private/Public
GALLERIES AND ARTIST RESIDENCIES (see other residency links in House Uses Memo)													
Arts centre and artist residency	Fool's Paradise – Doris McCarthy Artist-in-Residence Centre	https://www.heritagetrust.on.ca/en/index.php/properties/fools-paradise-doris-mccarthy-artist-in-residence-centre		owned by Ontario Heritage Trust	not open to the public except for special events								PU
Gallery and artist residency	Oakville Galleries	http://www.oakvillegalleries.com	1306 Lakeshore Road East, Oakville, ON L6J 1L6	Oakville Galleries	3 Publicly accessible gallery, nominal entry fee	revenue neutral		Open all year round			DESTINATION - within park on the lakeshore, very popular for wedding photos	incl. small event space	PU
Gallery + Community Programmed Space	Stewart Hall Cultural Centre	https://www.pointe-claire.ca/en/programming-2/	176 Lakeshore Dr, Pointe-Claire, Quebec	The City of Pointe-Claire	3 Reading and Reference Room available to students, researchers and general public	unknown - I assume it is revenue neutral		Open all year round	Room rentals available for meetings, wedding receptions and other occasions - Rental information available via phone.	Building in the centre of park - neighbouring residential	DESTINATION - within small park, however would likely not visit for park	Public space includes access to computers, internet and photocopying. The building houses the cultural centre and Stewart Hall including the art gallery and art rental and sales service. A lot of camp and community programmed activities.	PU
SCHOOLS AND ACADEMIES													
private school / part of secondary or post-secondary school campus	Collingwood Ski Academy	http://www.nsa.on.ca	Collingwood	the National Ski Academy		revenue generating						non-profit registered charity established in 1986 to provide an environment for student athletes to maximize individual potential through the pursuit of alpine ski racing excellence, academic achievement and personal growth. In 2010 the NSA became a Ministry of Education inspected private school, granting high school credits in Grades 9 to 12.	PR
private school	Blythe Academy Mississauga at Adamson Estate	https://blytheducation.com/blyth-academy/mississauga/ https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=9996 (appears to be out of date) http://www.mississauga.ca/portal/cityhall/findaplace?paf_gear_id=10100023&dirview=place&itemid=500033 https://www.mississauga.com/community-story/4043598-blyth-academy-relocates-to-historic-adamson-estate/	850, Enola Ave., Mississauga, Ontario, L5G, Canada	house: Blythe Academy (private middle and highschool) Park: Mississauga	1: school (no access) 3: park (free access w/ public WC)	Park: subsidized School: revenue generating	school: yes park: unclear	park: yes.	photography in park no access to house	house in park right on lake, off Martin Goodman trail	on rec trail, surrounded by residential neighbourhood, walking distance from Lakeshore Rd E with some big box / strip mall style stores	used to be part of Academy of Music (since 1996?), but taken over by Blythe Academy in 2013. Park used extensively for wedding photography. Pet cemetery is apparently a gathering of monuments from around the estate into one (very small) spot Check Blythe Website for 360 tour of inside of house	PR



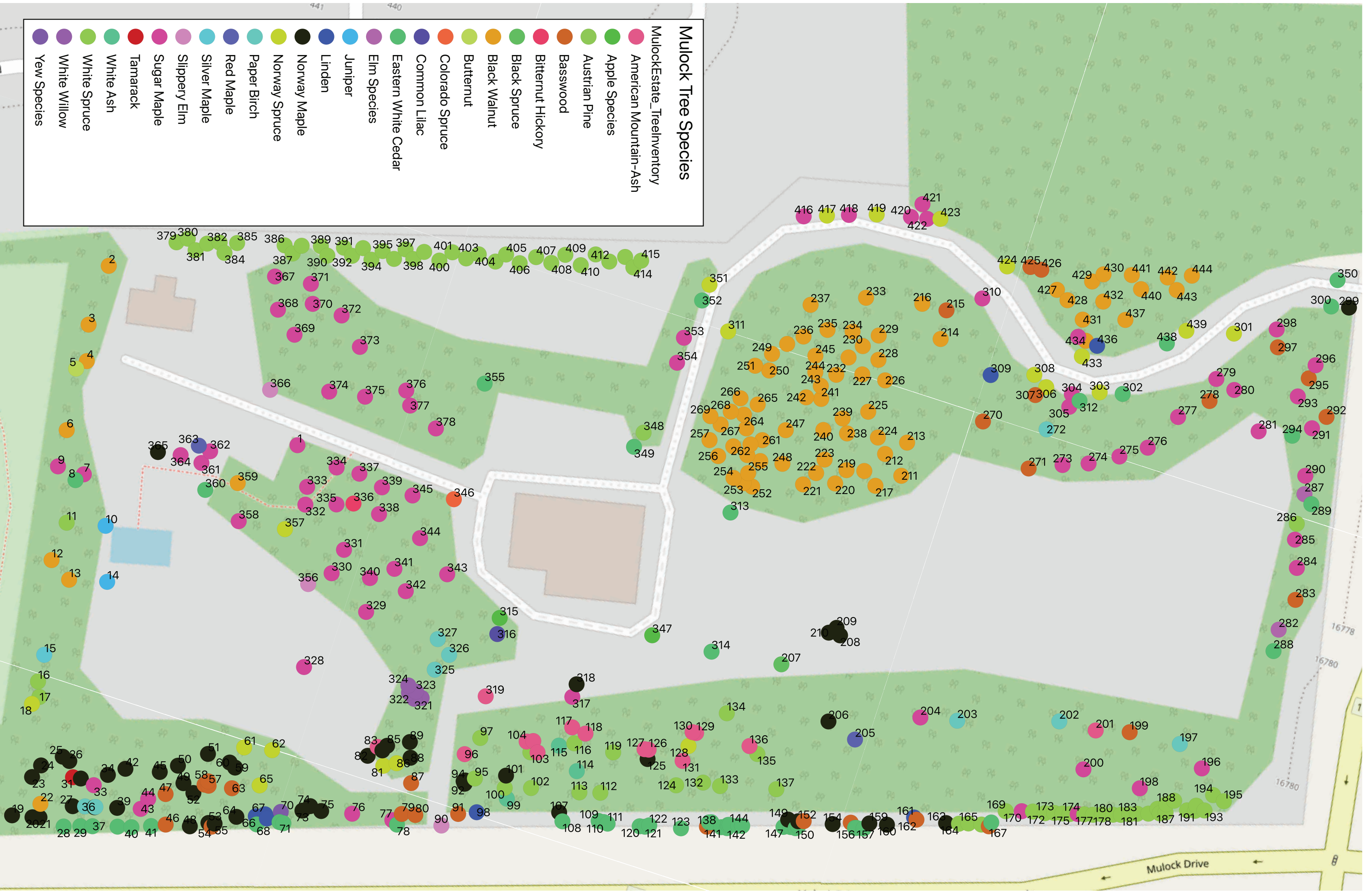
APPENDIX F TREE INVENTORY



Mullock Tree Species

MullockEstate_TreeInventory

- American Mountain-Ash
- Apple Species
- Austrian Pine
- Basswood
- Bitternut Hickory
- Black Spruce
- Black Walnut
- Butternut
- Colorado Spruce
- Common Lilac
- Eastern White Cedar
- Elm Species
- Juniper
- Linden
- Norway Maple
- Norway Spruce
- Paper Birch
- Red Maple
- Silver Maple
- Slippery Elm
- Sugar Maple
- Tamarack
- White Ash
- White Spruce
- White Willow
- Yew Species





**APPENDIX G
SITE SERVICING MEMO
WALTER FEDY**



2019-0527-10

April 8, 2020

Ms. Lisa Rapoport
PLANT Architects
Suite 208 – 101 Spadina Avenue
Toronto ON M5V 2K2

Dear Ms. Rapoport:

RE: Initial Site Servicing Investigation – Mulock Park

The following is a brief summary of our investigation of both the existing site servicing and possible future requirements for the proposed Mulock Park at the northwestern corner of Mulock Drive and Yonge Street in Newmarket, Ontario. The servicing described below is outlined graphically on the sketches attached to this letter.

Sanitary Servicing: The Jordanray (Criterion) subdivision sanitary system was designed with a fairly sizeable ultimate sanitary flow from the Mulock Homestead area, through an easement and 250 mm sanitary service between 100 and 104 Jordanray Boulevard at invert 207.74. Sanitary servicing using this outlet should be no issue for any park facilities proposed.

There is an existing septic tank bed to the south of the original house on the property that will need to be decommissioned and abandoned.

Water Servicing: There is an updated 50 mm copper water service at the northwestern corner of the property that is split at an existing valve pit (north of the pool house). A water service branches from that valve pit to both the house and the pool. Condition of these services from the valve pit is unknown.

Storm Servicing: Historically, this section of the area is considered “uncontrolled” storm flow to the Yonge Street catchment (no quality or quantity treatment has ever been considered for the site). Most of the Mulock Homestead property has been diverted to stormwater management ponds (both the dry pond at Jim Bond Park which is the major storm overflow for the Criterion/Jordanray subdivision, and the quantity/quality treatment pond south of Mulock and just west of Columbus Way). The 4.8 ha of the Mulock Homestead property is separate from Jim Bond Park, and all surface flows drain entirely through a 600 mm outlet pipe at the southeastern corner of the site. The existing infrastructure downstream of the site is limited in capacity.

Quantity Requirements: Based on the 1992 Stormwater Management Report and the 2002 storm design drawings for the Criterion/Jordanray site, the required quantity flow from the site is fairly limited. As of the 2002 design, this allowable outflow was 0.43m³/s for the 100-year storm, but this will have to be updated to current modelling standards and may be adjusted slightly (either positively or negatively). Any development on site will require controlling the outflow to this rate, through the use of quantity storage and attenuation (ponds, infiltration, rooftop storage, parking lot storage, rainwater re-use). Infiltration is an unlikely solution for this site as the existing soils are clay with slow T-times. There is no “overland” outlet for the site, so all flows up to and including the 100-year storm must be considered. The general site grading should be maintained, with the elevation dropping from the high point at the boundary of Jim Bond Park and the houses to the north, down to the outlet at Yonge/Mulock. This will enable a stormwater management design with the least noticeable impact,

natural flow, and ease of outlet, while still keeping the overland flow to Jim Bond Park distinct. Making the physical connection to Jim Bond Park would require that high point to remain.

Quality Requirements: Quality treatment of the runoff from the site must be to Level 1 as the outflow from the site is ultimately a part of the Holland River drainage area. This will not be difficult to achieve with the planned use of the property. TSS removal from the outfall should be at minimum 80% and can be managed with an oil/grit separator for the parking lot, with consideration for alternate quality treatment (i.e. wetland controls - quality treatment through plant selection, engineered wetland area, possibly at the site outlet near Yonge/Mulock).

Access to Site: Based on the grading of the site, the outlet of the stormwater management system at Yonge/Mulock, proximity to the intersection of Yonge/Mulock, and the profile of Yonge Street, access to the site from Yonge Street will be for pedestrian access only, and will require a platform and stair/ramp to bridge over the stormwater outlet (and possible wetland feature) to the Yonge/Mulock system. Vehicular access to the park will be from Mulock Drive.

All of which is respectfully submitted,

WALTERFEDY



Melissa Ostrowercha, P.Eng.
Project Manager, Civil

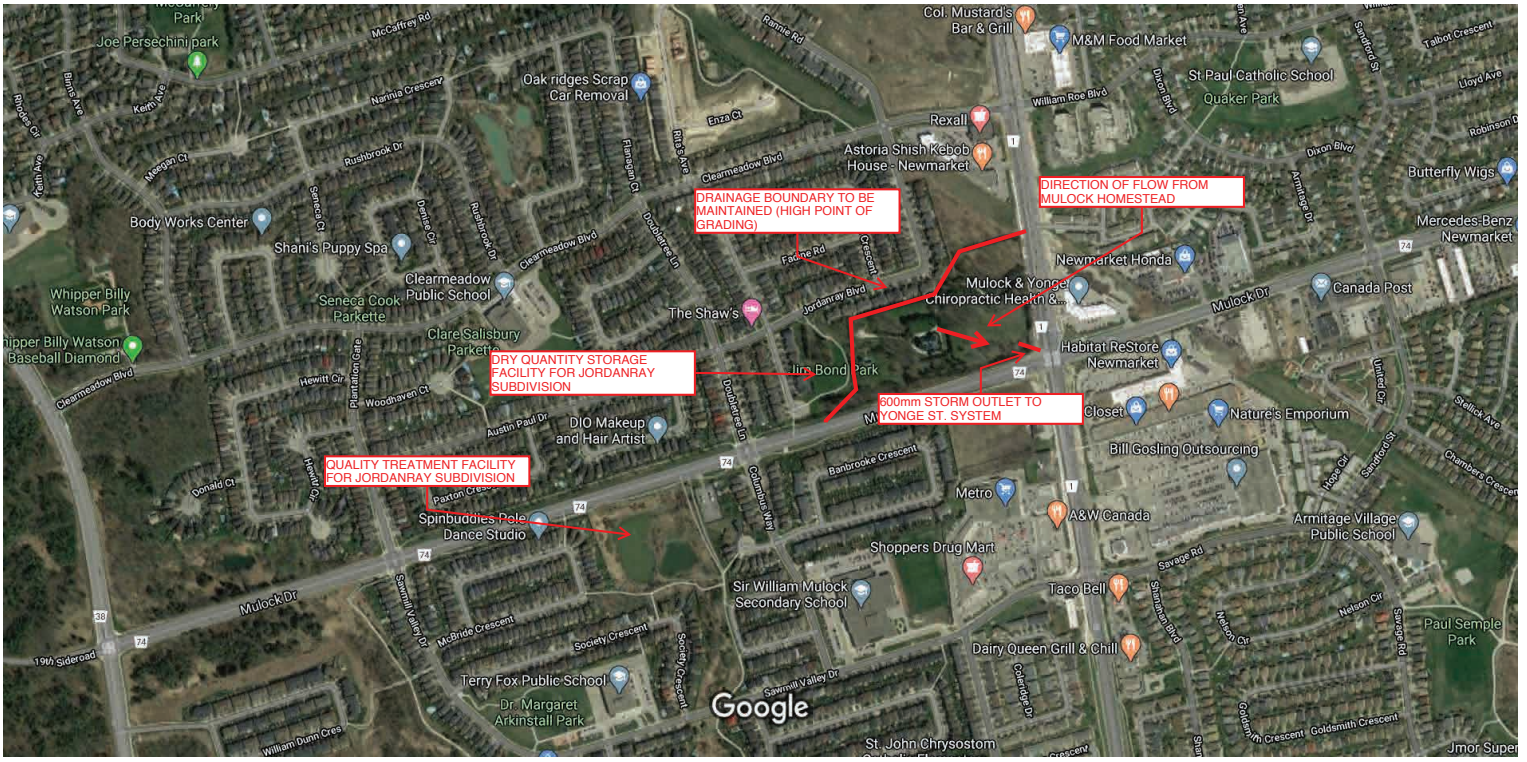
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Enclosure



Imagery ©2020 First Base Solutions, Maxar Technologies, Map data ©2020 20 m

Figure 1 - Existing Services



Imagery ©2020 CNES / Airbus, First Base Solutions, Maxar Technologies, Map data ©2020 100 m

Figure 2 - Existing SWM Facilities



**APPENDIX H
ICE/SKATING MEMO
CUSTOM ICE INC.**



March 31, 2020

Karen May, MLA OALA Associate
PLANT Architect Inc.
Suite 208 – 101 Spadina Avenue
Toronto ON M5V 2K2 Canada
416 979 2012

Further to our recent discussions here is some information together with some general comments about skating path design and a brief review of the three skating path options you provided.

1. Cost Considerations

As the size of the skating path changes the construction costs change at a similar rate..

- a. Costs are about the same (\$750-\$850 /m²) regardless of the configuration. Based on the sketches you sent I don't see a lot of savings when doubling the length. Important thing is that it is consistently 4m wide (or 3m) and that the width does not change. 4m is also a good width for maintenance because it fits well with two passes of the Zamboni.
- b. Cost of \$750-\$850m² includes: Skating path construction c/w fine grading, insulation, reinforcing steel and wire chairs, all piping, forming, concrete supply, placement and finishing, curing. AND includes Refrigeration system c/w all piping pumps, refrigeration chiller, ethylene glycol, startup, all gauges fittings and controls.
- c. Cost does not include: Site excavation and rough grading and 5-6" stone, retaining walls or landscaping, Electrical service and all electrical work, Lighting, Zamboni, Water supply, Trenching/excavation and backfilling, Landscaping, Zamboni Building.
- d. As the size doubles the Zamboni and Zamboni space remains the same. Zamboni capital cost is approx. \$100k and needs to be stored in an indoor heated space with drain and hot and cold water. Same size of machine is fine for either size skating path.
- e. I really like the 4m wide path because it represents exactly 2 passes of the Zamboni. You could go to 3 m or 3.5 m (if skating in one direction) but 4 m is very common.

2. Maintenance Considerations

As the size and area of the path changes the maintenance changes with it.

- a. Snow removal doubles as the size doubles
- b. Electrical energy cost doubles as the size doubles and depends a lot on the ice season. For example in cold months the refrigeration will operate less. In warmer months it will operate warm. Once we have an ice size I can do an energy projection.
- c. Ice resurfacing will also take longer but costs won't be that much more based on the sized you provided, both configurations can be resurfaced by a single full size Zamboni
- d. Water costs will double as the ice size doubles.
- e. I can provide better projections of we know the ice season and selected configuration

3. Geothermal Heat Pump Considerations

- a. We have used ground source heat pump chillers for ice rinks but the choice to do that depends heavily on being able to reuse the heat that is rejected to the ground. If there is no need to use the heat, a geothermal system is extremely expensive and will not save any energy. Main reason is that in winter it is easier to reject heat to ambient air which is usually colder (-15C to +10C) than ground temperatures in winter (+8C to + 10C). So refrigeration in winter is already more energy efficient.

4. General Skating Path Considerations

- a. Each skater typically needs 1.2m in width to account for their striding. Skaters also often skate in pairs thereby taking up 2.4 m. Skaters also tend to stay away from the edges (to prevent falling off) so in general a 4m width is better than 3m. Either way 3m will work if flow is only in one direction but it will still be somewhat difficult for a faster skater to pass when a pair is side by side.
- b. The path should be flat and level over its entirety. It should not be sloped.
- c. There is always a greater risk of injury when skaters skate in opposite directions or cross paths however the risks of crossing can be reduced if skaters are forced to slow down to do so. This type of short cut is also worthwhile for skaters preferring to take a shorter route.
- d. Skaters and their parents will not like to carry their things too far to change skates etc. From my experience it is better to keep the skate change area near the ice and as near as possible to parking etc
- e. Ice collection areas should be at least 150 sqM so younger toddlers can still skate without going too far along the path away from parents. This area also allows people to enter and exit the main more safely
- f. When a site has lot of trees the ice season would likely start only once all the leaves have fallen. As such the start of the ice season should be planned around this time each year.
- g. If possible it is helpful to be able to see all areas of the path from the main skate change area. This is because parents who are not skating will feel comfortable because they are still able to see and supervise the younger skaters.

5. Comments on the Three Layouts

Layout #1:

- a. I would not recommend the second collection/cross over area. This be more expensive difficult to refrigerate because of its irregular shape.
- b. This layout presents a greater chance for skaters to collide with one another
- c. The concentric circle layout might be considered a bit boring – especially compared to the other two options.
- d. Easiest to construct with entire path in close proximity

Layout #2:

- a. The numbers of turns will help slow skaters and reduce risk of injury
- b. The layout makes it easier to see the entire path from one location
- c. The layout is slightly easier to construct because it is not spread out as much

Layout #3:

- a. It will be difficult to see the entire path from the common skate change location
- b. Cross over area is good because it allows a short cut for skaters to return before committing to entire path
- c. Cross over area also forces skaters to slow down before crossing over

I hope this information is helpful.

Please feel free to contact me with any questions at (905) 632-8840 x12 or cell (905) 220-2580.

Sincerely,

Brendan Lenko, P.Eng.
President
Custom Ice Inc.



APPENDIX I ARCHAEOLOGICAL REPORT A.M. ARCHAEOLOGICAL ASSOCIATES



THE STAGE 1 ARCHAEOLOGICAL ASSESSMENT OF
THE MULOCK ESTATE, 16780 YONGE STREET,
TOWN OF NEWMARKET, REGIONAL MUNICIPALITY OF YORK,
PART 6, REGISTERED PLAN 65R-13937
(PART LOT 91, CONCESSION WEST, GEOGRAPHIC TOWNSHIP OF KING, YORK COUNTY)

Prepared for
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Original Licence Report
Andrew Murray, Licence P035
P.I.F. # P035-0314-2019
24-Jan-2020

EXECUTIVE SUMMARY

This report discusses the rationale, methods and results of the Stage 1 archaeological assessment conducted as part of developing long-term plan plans for the Mulock Estate property at 16780 Yonge Street, Town of Newmarket, Part 6, Registered Plan 65R-13937 (Part Lot 91, Concession West, Geographic Township of King, York County). The study area was assessed for archaeological potential in support of developing both passive and active recreation opportunities for lands identified as having archaeological potential by a master plan under the *Planning Act*. The residence that exists on the property is designated under the *Ontario Heritage Act*. A scoping site visit was made to the property on November 30, 2019, under mostly sunny conditions and temperatures around +0°C. Permission to enter the subject property was arranged with Laura Schembri, Town of Newmarket and facilitated by Lisa Dietrich and Lisa Rapoport at PLANT Architect Inc.

All archaeological assessment activities were performed according to the *Standards and Guidelines for Consultant Archaeologists* (MHSTCI 2011). All work was done under the archaeological consulting license, P035, issued to Andrew Murray of A. M. Archaeological Associates under the *Ontario Heritage Act*. All records pertaining to this project will be curated at the offices of A. M. Archaeological Associates.

The Stage 1 archaeological study area includes rectangular property (approximately 4.6 hectares) with frontages on the north side of Mulock Drive and on the west side of Yonge Street (Map 1). The study area includes the house and outbuildings and lands at the 16780 Yonge Street address. The surrounding lands have been developed as residential subdivisions in the last 30 years (Maps 16 - 18).

The main features of archaeological for the 16780 Yonge Street property, known as the Mulock Estate, are the proximity to historical features, the proximity to a water source and the proximity to a registered archaeological site. Both Yonge Street and Mulock Drive appear on nineteenth-century maps and served as historic settlement roads. Portions of the existing house date to the around 1880 and is designated under the *Ontario Heritage Act*. The standard for buffers around historic features is 100-metres. A former stream drained easterly through the southwestern portion of the study area and indicates the archaeological potential for precontact Indigenous sites. This requires a 300-metre buffer. The registered archaeological site, BaGu-41 (Augustus Rogers), also requires as a 300-metre buffer. As a result of the overlapping potential feature buffers, the potential for archaeological remains extends across 4.5 hectares of the Mulock Estate property.

There are several areas where intensive and extensive disturbances indicate that this potential for archaeological remains has been removed. The main area is immediately around the existing house. Although a portion of the house was built in the nineteenth century, there have been major changes to existing structure around the south, east and north faces in the twentieth century. The masterplan mapping indicates that there is no potential immediately around the house, but there is no clear indication of major disturbance around the west side of the building, which dates to around 1880. As a result, the total area of the removed potential has been reduced. The terraced lands surrounding the existing house may have been impacted by landscaping activities from before ground-level photographs and aerial photographs were taken. However, the soil report does not clearly indicate disturbed soils from the two boreholes cored in this area. As a result, any conclusions of disturbance will have to be confirmed by Stage 2 shovel test pits.

The masterplan also indicates removed archaeological potential around the former swimming pool. The concrete block garage and shed in the northwest corner of the property are twentieth-century constructions and there is no potential in their immediate vicinity. Although sections of the driveway have cut through portions of the sloped lands, it can not be concluded that it has deeply disturbed the lands and retains the potential for archaeological remains.

Approximately 4.5 hectares of the Mulock Estate property at 16780 Yonge Street has the potential for archaeological remains. Stage 2 assessment should be conducted in these areas before any future plans impact these areas (Map 16). The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2* (MHSTCI 2011: 31-32). Test pit survey method involves systematically walking the property along regularly spaced transects, excavating small pits by hand at regular intervals and examining their contents.

There may be more deeply buried conditions around the west side of the house that dates to the 1880s that can't be fully assessed using the test pit survey method described above (e.g. around the foundation). As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions.

On the basis of the above information, we recommend the following:

1. The Stage 1 background research has identified 4.5 hectares of the Mulock Estate property at 16780 as having the potential for archaeological remains. Stage 2 assessment

should be conducted in these areas before any future plans impact these areas (Map 17).

The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2*.

2. The Stage 1 background research has identified an area around the west side of the 1880s Mulock house that may have deeply buried remains related to the original construction. As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions (Map 17).

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PROJECT PERSONNEL

Project/ Field Director	Andrew Murray, P035
Report Graphics/ Preparation	Andrew Murray

ACKNOWLEDGEMENTS

The archaeological assessment reported here was undertaken on the Treaty Lands and Territory of the Mississauga's of the Credit.

1.0 PROJECT CONTEXT

1.1 Development Context

This report discusses the rationale, methods and results of the Stage 1 archaeological assessment conducted as part of developing long-term plan plans for the Mulock Estate property at 16780 Yonge Street, Town of Newmarket, Part 6, Registered Plan 65R-13937 (Part Lot 91, Concession West, Geographic Township of King, York County). The study area was assessed for archaeological potential in support of developing both passive and active recreation opportunities for lands identified as having archaeological potential by a master plan under the *Planning Act*. The residence that exists on the property is designated under the *Ontario Heritage Act*. A scoping site visit was made to the property on November 30, 2019, under mostly sunny conditions and temperatures around +0°C. Permission to enter the subject property was arranged with Laura Schembri, Town of Newmarket and facilitated by Lisa Dietrich and Lisa Rapoport at PLANT Architect Inc.

All archaeological assessment activities were performed according to the *Standards and Guidelines for Consultant Archaeologists* (MHSTCI 2011). All work was done under the archaeological consulting license, P035, issued to Andrew Murray of A. M. Archaeological Associates under the *Ontario Heritage Act*. All records pertaining to this project will be curated at the offices of A. M. Archaeological Associates.

The Stage 1 archaeological study area includes rectangular property (approximately 4.6 hectares) with frontages on the north side of Mulock Drive and on the west side of Yonge Street (Map 1). The study area includes the house and outbuildings and lands at the 16780 Yonge Street address. The surrounding lands have been developed as residential subdivisions in the last 30 years (Maps 16 - 18).

1.2 Historic Context

1.2.1 General Area

1.2.1.1 Pre-contact era

The importance of the Toronto area in the pre-contact and early historic period was due to the use of the Humber River, along with the Don and Rouge Rivers, as part of the northward transportation route to Lake Simcoe, Georgian Bay, and the Upper Great Lakes.

Archaeologists divide south-central Ontario's pre-contact history into the following temporal/cultural sequences:

Table 1: General cultural synthesis for south-central Ontario.

PERIOD	GROUP	TIME RANGE	COMMENT
Paleo-Indian	Big game hunters; small nomadic groups		
<i>Early</i>	Fluted Point	9500–8500 B.C.	Distinctive lanceolate and fluted points
<i>Late</i>	Hi-Lo	8500–8000 B.C.	Side-notched points
Archaic	Nomadic hunters and gatherers. Territories exploited on yearly round.		
<i>Early</i>	Nettling Bifurcate Based	7800–6900 B.C. 6900–6000 B.C.	More varied toolkit.
<i>Middle</i>	Stanly/Neville Otter Creek Brewerton	6000–5000 B.C. 5000–3000 B.C. 3000–2500 B.C.	Ground and polished stone tool industry; subsistence fishing.
<i>Late</i>	Narrow Point	2500–1800 B.C.	Bipolar lithic reduction as evidence of more extensive woodworking
	Broad Point	1800–1500 B.C.	Net fishing, nut harvesting, dog burials
	Small Point	1500–800 B.C.	Evidence of mortuary practices; bow and arrow technology.
Woodland	Introduction of pottery and agriculture.		
<i>Early</i>	Meadowood	900–400 B.C.	Earliest pottery; pop-eyed birdstones
<i>Middle</i>	Point Peninsula Princess Point	400 B.C. –500 A.D. 500–900 A.D.	Long-distance trade networks. Incipient horticulture.
<i>Late</i> <i>Early Iroquoian</i>	Pickering/ Glen Meyer	900–1280 A.D.	Transition to village life and maize agriculture.
<i>Middle</i> <i>Iroquoian</i>	Uren Middleport	1280–1330 A.D. 1330–1400 A.D.	Large village sites. Rapid population growth.
<i>Late Iroquoian</i>	Wendat (Huron) Neutral Petun St. Lawrence Haudenosaunee (Iroquois)	1400–1650 A.D.	Well-made ceramic pots Tribal differentiation and warfare.
Historic	European colonization		
<i>Early</i>	Odawa, Ojibwa, Mississauga, Six Nations	1700–1875 A.D.	Fur trade; social displacement.
<i>Late</i>	Odawa, Ojibwa, Mississauga, Six Nations Euro-Canadian	1790 A.D. –present	Consolidation of Indigenous people on reserves; continued presence throughout urban and rural areas European urban & rural settlement

1.2.1.2 Early contact era

The French adventurer Etienne Brûlé may have visited the Toronto area in 1615 using the Lake Simcoe, Holland River, Humber River portage route known to Indigenous populations for millennia to access Lake Ontario from the north. There is some dispute about whether Brûlé utilized the Credit River versus the Humber River as part of the route.

The Five Nations Iroquois established a series of strategic settlements along the north shore of Lake Ontario following the dispersal of the Wendat (Huron), Neutral and their Algonquin allies after 1649. The next twenty years are not well documented. However, a party of traders from Cataraqui (Kingston) who were employed by Cavalier René-Robert La Salle visited the Teiaiagon village site at Baby Point on the Humber River sometime in the 1670s. Recollet

missionary Father Louis Hennepin spent three weeks at the village in 1678 (Robinson 1933). The village of Teiaiaagon was primarily occupied by Seneca people but would also have had other Iroquoian Nations and possibly even people with ancestral ties to the Huron Confederacy. Another Seneca village, Ganatsekwyagon, was located on the Rouge River from 1665 to 1687.

By 1700, the Ojibwa had replaced the Iroquois from the North Shore of Lake Ontario, and a group of Ojibwa, known as the Mississauga, had settled around the mouth of the Credit River. In the 1720s, the French had established many trading posts around Lake Ontario, including the Magasin Royale, somewhere in the general vicinity of Baby Point on the Humber River. In 1750, the Chevalier de Portneuf constructed a storehouse enclosed by a palisade, known as Fort Toronto, on the east bank of the Humber. The structure was deemed too small for an adequate garrison, and a new fort was built near the bandshell on the present-day CNE grounds (Robinson 1933). The Mississaugas referred to the Credit River as “Missinihe” or “Trusting Water”, but the river came to be known as the Credit River, a name derived from the custom of trading on credit. After the decline of French power in the region, the British established their trade with the Mississaugas, building a trading post and Government Inn on the east bank of the mouth of the Credit River in 1798. On August 2nd, 1805, at the mouth of the Credit River, the Mississaugas signed a land treaty with the British Crown. The Mississaugas reserved a one-mile strip of land on either side of the River. Although the Williams Treaty in 1923 partially resolved some of the outstanding treaty issues with the Mississauga First Nations, the issue of the rights to the Toronto Islands was not resolved until 2010, and there are other outstanding claims within York Region (Myrvold 1996).

1.2.1.3 Colonial era

This area of central Ontario was originally named the District of Nassau in 1788 and was renamed the Home District in 1792. The district stretched from the Trent River west to Long Point on Lake Erie and north to the Severn River. In the 1840s, the Home District was subdivided and renamed the County of York (Guillet 1946). The County of York was the earliest to be surveyed because of the importance that John Graves Simcoe placed on the establishment of Yonge Street as an overland route north. Although the Don River was occasionally used as part of the important portage trail network that linked Lake Ontario to Lake Simcoe, the Humber River to Holland River was the preferred water route, and Yonge Street was the main overland route.

1.2.2 Property History

The land patent for the 210 acre Lot 91, Concession 1, West of Yonge Street, King Township, was awarded to Rufus Rogers on December 11, 1804 (Map 2). Rufus Rogers had come from Danby, Vermont in 1801 with his brother Asa (Lot 92, Con. 1 WYS) as part of a group of 20 Quaker families (Healey 2006). Rufus also received the crown patent for Lot 31 to the west. Others of the Rogers family also settled on nearby lots.

A Stage 1 and 2 assessment for most of Lot 91 was conducted by Archaeological Services Inc. in 1993 and included research of the assessment rolls of 1846 and 1848 (ASI 1993). The tax rolls provide the details that Augustus Rogers had lived in a one storey frame home, and only one-third of the 210 acres were cultivated (ASI 1993). The exact location of this dwelling is not certain since the earliest detailed map of 1860 does not depict a house anywhere on the lot (Map 3).

The 1851 census indicates that the Rogers family had built a two-storey brick house between 1848 and 1851 (ASI 1993). This is likely a reference to the brick house associated registered as site BaGu-41 by ASI approximately 65-metres to the north (see *Sections 1.3.2 and 1.3.3* below). Esek Rogers deeded 200 acres to Augustus Rogers (the younger) in February of 1868 (Instrument #5163). Schedules 1 and 4 of the 1871 census listed Esek, aged 34, and Augustus, aged 30, as the joint farmers of 310 acres, including Lot 91. Also living with them were their widowed mother Mary, aged 60, and four additional brothers and sisters, including James W. Rogers, aged 27, who purchased the south half of Lot 91 in 1874 (Instrument #1662).

William Mulock purchased the southern 105 acres from the Rogers family in 1881 for \$6300 and added the northern 100 acres in 1884 for \$9000 (Instruments 3715 & 4717). The \$2700 price differential is likely a reflection that the northern section contained the original Rogers brick home. William Mulock was enumerated in Toronto's St. John Ward in 1881 (LAC 1881). In 1881, Mulock was a lawyer at the offices of Mulock, Tilt, McArthur & Crowther on King Street East and a home at 52 St. Albans in Toronto (Might and Co. 1881). He is listed at 71 Avenue Road in 1884, and by 1891 he is at 518 Jarvis Street (Polk 1884; (Might and Co. 1891)). Sir William Mulock (1843 - 1944) was elected House of Commons from 1882 to 1905 and was postmaster general from 1896 to 1905 in Sir Wilfrid Laurier's Liberal government for which he was knighted in 1902. The Mulock Residence is designated under Part 4 of the Ontario Heritage Act. It is an example of a well-preserved Georgian and Neo-Classic Gothic architecture. The

west-facing section of the house is believed to be the original nineteenth-century portion of the house. Mulock continued at his main residence on Jarvis Street in Toronto but maintained the buildings as a retreat and the farm as a chance to experiment with trying out new methods and crops (Might and Co. 1911, 1921).

The existing house and grounds have continued in the hands of the Mulock descendants until the great-granddaughter of Sir William Mulock sold the lands to the Town of Newmarket in 2018. Early twentieth-century photographs indicate that the house has had more major alterations along the east, north and south sides (Images 1 - 4). Aerial photography from 1927, 1954, 1959, 1970, 1978, 2002 and 2019 indicates that the landscape changes have been minor (Maps 5, 9, 11-14 and 16). A porte-cochère was added to the south side of the house in the 1950s. The garage appears to have been expanded or rebuilt and a pool has been added by 1970.

Table 2: Summary of Mulock Estate property history from 1800 to 1911.

Year	Source	Occupant	Comments
1800	Registry- patent	Rogers, Rufus	210 acres- 11-Dec-1804; Map 2
1837	Walton Dir.	Rogers, A. G.	
1846	Brown Dir.	Rogers, Augustus	
1851	Armstrong Dir.	Rogers, Augustus	
1860	Tremaine Map	Estate of the Late Augustus Rogers	no buildings on lot depicted; Map 3
1866	Mitchell Dir.	Rogers, Amos (f)	
1870	McEvoy Dir.	Rogers, Augustus (f)	
1876	Fisher & Taylor Dir.	Rogers, Augustus (f), Newmarket P.O.	
1878	Miles and Co. Map	Rogers, James W.	Map 4
1881	Irwin Dir.	Rogers, Augustus & J.W. (f), Newmarket P.O.	
1881	Registry-B&S	Rogers, James W. et ux to Mulock, William (Inst.# 3715)	\$6300; 105 acres (S1/2)
1884	Registry-B&S	Rogers, Augustus et ux to Mulock, William (Inst. 4717)	\$9000; 100 acres (N1/2)
1888	Union Dir.	Mulock, William (f) Newmarket P.O.; Rogers, John (f), Newmarket P.O.	
1890	Union Dir.	Esten, J.P (t); Mulock, Wm (f) Rogers, John on L96, C1	
1892	Union Dir.	Moody, Luke (t); Mulock, William (f) Toronto	
1896	Union Dir.	Mulock, William (f) Toronto	
1900	Union Dir.	Mulock, William (f) Toronto P.O.	
1908	Union Dir.	Mulock, William Sr (f) Toronto P.O.	
1911	Union Dir.	Mulock, William Sr (f) Toronto P.O.	

1.3 Archaeological Context

The Stage 1 archaeological study area includes rectangular property (approximately 4.6 hectares) with frontages on the north side of Mulock Drive and on the west side of Yonge Street (Map 1). The study area includes the house and outbuildings and lands at the 16780 Yonge Street

address. The surrounding lands have been developed as residential subdivisions in the last 30 years (Maps 16 - 18).

1.3.1 Environmental Setting

The study area is located within a drumlinized area of the Simcoe Lowlands physiographic region (Chapman and Putnam 1984, 2007). This area includes the lowlands bordering Lake Simcoe and Georgian Bay that were flooded by glacial Lake Algonquin (Chapman and Putnam 1984). The soils of the general study are mapped as Schomberg clay loam with good drainage (Hoffman and Richards 1955). However, a more detailed soil survey conducted in 2017 describes the dark brown topsoil as having soils having very low permeability and ranges from 25 to 43 cm thickness over sandy silt or silty clay subsoils (Soil Engineers Inc. 2007a). The lands slope from 271-m elevation in the northwest to 263-m in the southeast (Map 16).

The nearest water source is a minor stream in the southwestern corner of the study area indicated on Ontario Basic Mapping (Map 16). As a result of the changes to the local drainage from surrounding developments, there is no longer any flowing water. However, there is still a patch of wetland reeds in the southeastern corner.

1.3.2 Registered Archaeological Sites

A search of the Ministry of Heritage, Sport, Tourism and Cultural Industries' archaeological sites database revealed 10 archaeological sites within a one-kilometre radius of the study area (MTCS 2019). The nearest site is the Augustus Rogers site, BaGu-41, where Archaeological Services Inc. (ASI) discovered artifacts from Stage 2 test pits around the remains of the nineteenth-century residence and barns (ASI 1993). All of the remaining sites are not within 300-metres of the study area but demonstrate the potential for precontact Indigenous sites as well as early Euro-Canadian sites (Table 2).

Table 3: Summary of registered archaeological sites within a 1-km radius of the study area (MHST 2019).

Borden #	Site Name	Time Period	Affinity	Site Type	Distance
BaGu-18	Hicksite Meeting House	Post-Contact	Euro-Canadian	Church / chapel	420-m
BaGu-37	Tempest	Archaic, Late, Woodland, Early	Indigenous	Findspot	570-m
BaGu-41	Augustus Rogers	Post-Contact	Euro-Canadian	Homestead, barns	65-m
BaGu-59	Andrew Clubine	Post-Contact	Euro-Canadian	Homestead	1265-m
BaGu-61	George Bodfish	Post-Contact	Euro-Canadian	Homestead	1360-m

Borden #	Site Name	Time Period	Affinity	Site Type	Distance
BaGu-78	Masongsong	Post-Contact	Euro-Canadian	Scatter	440-m
BaGu-80	Linton Springs	Pre-Contact	Indigenous	Findspot	1050-m
BaGu-81	SW Newmarket 2	Archaic, Late	Indigenous	Findspot	795-m
BaGu-82	SW Newmarket 3	Pre-Contact	Indigenous	Findspot	935-m
BaGu-164	Oliver Phillips Cheese Factory	Archaic, Late, Post-Contact	Indigenous, Euro-Canadian	Findspot, Manufacturing	645-m

1.3.3 Past Projects

A search of the MHSTCI’s PastPort site report database using keywords “Mulock”, “Yonge,” and Lot 91, Concession 1 in King Township failed to retrieve the titles of any project reports within 50 metres.

The Town of Newmarket provided a copy of a nearby Archaeological Services Inc. project. ASI conducted a Stage 2 assessment of a large tract of land on most of Lots 90, 91 and 92, Concession 1 West of Yonge Street in 1993 and registered new sites as BaGu-36, BaGu-37, BaGu-38, BaGu-39, BaGu-40 and BaGu-41 as well as the discovery of one isolated historic Euro-Canadian artifact (ASI 1993). A band of land along the north and west side of the current Mulock Estate study area was not included in the 1993 Stage 2 assessment mapping (ASI 1993: 4). A search of the MSHTCI report database did not find any report indicating that these areas have been assessed, but approximately 1.5-hectares immediately adjacent to the study area has been developed as part of the large residential subdivision to the northwest.

ASI also conducted a Stage 1 study adjacent to the east side of the Mulock Estate prior to the installation of watermain on Yonge Street in 2006 (ASI 2007). The study described the current Mulock Estate study area to be “relatively undisturbed” (ASI 2007: 6). However, the adjacent Yonge Street right-of-way was determined to be disturbed. No further work was recommended within the right-of-way. An additional ASI Stage 1 assessment for the VivaNext transportation corridor along Yonge Street overlapped with the watermain study and made the same conclusions and recommendations for the stretch of Yonge Street adjacent to the Mulock Estate study area (ASI 2008).

A 2.8-hectare portion of the study area is identified as having archaeological potential by the mapping that accompanies the Region of York Archaeological Management Plan prepared by Archaeological Services Inc (ASI 2013; York Region 2013) (Map 15). The archaeological potential shown on this mapping is based on a 100-metre buffer around Yonge Street and Mulock Drive, which functioned as colonial settlement roads. This 100-m buffer archaeological potential zone excludes the area immediately around the existing house (approximately 2100m²)

and the former swimming pool (approximately 550m²). The potential zone did not identify several other features of archaeological potential, including the house itself, or the stream in the southeastern corner or the registered archaeological site, BaGu-41.

2.0 METHODOLOGY

2.1 GIS Methods

The existing survey plan was overlaid with nineteenth and twentieth-century mapping using the best available landmarks. The maps were rotated and stretched in both east-west and north-south direction to provide the best fit.

2.2 Property Visit

A scoping site visit for bidding purposes was made to the property on November 30, 2019, under mostly sunny conditions and temperatures around +0°C. Snow blanketed the property before the award of the contract, so the photographs from the scoping visit are used in this report. Permission to enter the subject property was arranged with Laura Schembri, Town of Newmarket and facilitated by Lisa Dietrich and Lisa Rapoport at PLANT Architect Inc.

Photograph locations were logged by GPS (Images 5 - 13; Maps 16 and 17). At no point did the weather and lighting conditions (e.g., snow cover, frozen ground, excessive rain or drought, heavy fog) reduce the ability to identify and document any part of the archaeological subject property.

The property is accessed via a crushed stone driveway from Yonge Street, curving through the northern portion of the property to the main house then continuing to the garage and storage building in the northwestern corner. The driveway encircles the house through the 1950s porte-cochère on the south-facing side. The house is situated atop a terraced slope visible on the earliest photographs available (Images 1 - 4). The other three buildings on the property include a concrete block garage, a concrete block shed or storage building and a pool house. The adjacent swimming pool has recently been removed. The remaining land is a mix of mown lawns and mature trees that is virtually unchanged from the 1927 aerial photograph.

2.3 Inventory of the Documentary Record

The documentary record of the project consists of one GPS track and 18 geo-tagged digital photographs and this report. The documentary record will be stored at the office of A. M.

Archaeological Associates until they can be deposited at a long-term storage facility with the approval of the Ministry of Tourism, Culture, and Sport.

3.0 ANALYSIS AND CONCLUSIONS

3.1 Archaeological Potential

The main features of archaeological for the 16780 Yonge Street property, known as the Mulock Estate, are the proximity to historical features, the proximity to a water source and the proximity to a registered archaeological site. Both Yonge Street and Mulock Drive appear on nineteenth-century maps and served as historic settlement roads. Portions of the existing house date to the around 1880 and is designated under the *Ontario Heritage Act*. The standard for buffers around historic features is 100-metres. A former stream drained easterly through the southwestern portion of the study area and indicates the archaeological potential for precontact Indigenous sites. This requires a 300-metre buffer. The registered archaeological site, BaGu-41 (Augustus Rogers) also requires as a 300-metre buffer. As a result of the overlapping potential feature buffers, the potential for archaeological remains extends across 4.5 hectares of the Mulock Estate property.

There are several areas where intensive and extensive disturbances indicate that this potential for archaeological remains has been removed. The main area is immediately around the existing house. Although a portion of the house was built in the nineteenth century, there have been major changes to existing structure around the south, east and north faces in the twentieth century. The masterplan mapping indicates that there is no potential immediately around the house, but there is no clear indication of major disturbance around the west side of the building, which dates to around 1880. As a result, the total area of the removed potential has been reduced. The terraced lands surrounding the existing house may have been impacted by landscaping activities from before ground-level photographs and aerial photographs were taken. However, the soil report does not clearly indicate disturbed soils from the two boreholes cored in this area. As a result, any conclusions of disturbance will have to be confirmed by Stage 2 shovel test pits.

The masterplan also indicates removed archaeological potential around the former swimming pool. The concrete block garage and shed in the northwest corner of the property are twentieth-century constructions and there is no potential in their immediate vicinity. Although

sections of the driveway have cut through portions of the sloped lands, it can not be concluded that it has deeply disturbed the lands and retains the potential for archaeological remains.

3.2 Conclusions

Approximately 4.5 hectares of the Mulock Estate property at 16780 Yonge Street has the potential for archaeological remains. Stage 2 assessment should be conducted in these areas before any future plans impact these areas (Map 16). The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2* (MHSTCI 2011: 31-32). Test pit survey method involves systematically walking the property along regularly spaced transects, excavating small pits by hand at regular intervals and examining their contents (see Standards below).

1. Test pit survey only on terrain where ploughing is not possible or viable, as in the following examples:

- a. wooded areas
- b. pasture with high rock content
- c. abandoned farmland with heavy brush and weed growth
- d. orchards and vineyards that cannot be strip ploughed (planted in rows 5 m apart or less), gardens, parkland or lawns, any of which will remain in use for several years after the survey
- e. properties where existing landscaping or infrastructure would be damaged. The presence of such obstacles must be documented in sufficient detail to demonstrate that ploughing or cultivation is not viable.

f. narrow (10 m or less) linear survey corridors (e.g., water or gas pipelines, road widening). This includes situations where there are planned impacts 10 m or less beyond the previously impacted limits on both sides of an existing linear corridor (e.g., two linear survey corridors on either side of an existing roadway). Where at the time of fieldwork the lands within the linear corridor meet the standards as stated under the above section on pedestrian survey land preparation, pedestrian survey must be carried out.

2. Space test pits at maximum intervals of 5 m (400 test pits per hectare) in areas less than 300 m from any feature of archaeological potential.

3. Space test pits at maximum intervals of 10 m (100 test pits per hectare) in areas more than 300 m from any feature of archaeological potential.

4. Test pit to within 1 m of built structures (both intact and ruins), or until test pits show evidence of recent ground disturbance.
5. Ensure that test pits are at least 30 cm in diameter.
6. Excavate each test pit, by hand, into the first 5 cm of subsoil and examine the pit for stratigraphy, cultural features, or evidence of fill.
7. Screen soil through mesh no greater than 6 mm.
8. Collect all artifacts according to their associated test pit.
9. Backfill all test pits unless instructed not to by the landowner.

There may be more deeply buried conditions around the west side of the house that dates to the 1880s that can't be fully assessed using the test pit survey method described above (e.g. around the foundation). As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions (MHSTCI 2011: 36-37) (Map 17). These standards are given below.

1. Survey strategies must be designed to be most effective in identifying potential archaeological resources (e.g., ensure that excavation covers all areas identified in Stage 1 as possessing historic structures, or ensure that buried natural soil horizons are fully investigated).

2. For properties where there is the potential for both deeply buried archaeological resources and for archaeological resources to be present near the surface, and where it is viable to carry out surface survey methods (i.e., pedestrian survey or test pitting), survey of the upper layers to identify any archaeological sites and to determine the extent and degree of disturbance must be carried out prior to using more invasive methods such as backhoe trenching.

3. Use backhoes or equivalent heavy excavating machinery instead of shovels when deep subsurface excavation is necessary to verify the presence of and to assess deeply buried archaeological resources. Excavate trenches within the core of the planned development area and over any areas of archaeological potential:

- a. at maximum intervals of 10 m within those areas
- b. to obtain sections and clear profiles of those areas

4. If other techniques have not made a conclusive determination regarding the presence of deeply buried archaeological resources expected as a result of Stage 1 evaluation, the consultant archaeologist must monitor excavation and the removal of fill as follows:

- a. Conduct on-site monitoring where and when work is proceeding in areas where archaeological sites are predicted to exist, or where construction excavation is extending to a depth that warrants concern. (Onsite monitoring may not be required across the entire development site or at all times during construction.)
 - b. Prepare, in consultation with the proponent and contractors, a contingency plan outlining procedures, documentation, and time requirements in the event that archaeological resources are exposed.
 - c. Recover all diagnostic artifacts related to the archaeological site of cultural heritage value or interest that are exposed during monitoring. Do not recover diagnostic artifacts related to 'fill'.
5. If an archaeological site (i.e., artifacts or features possessing sufficient cultural heritage value or interest to support a recommendation to proceed to Stage 3) is uncovered or affected, construction and monitoring activities must cease in that location.

4.0 RECOMMENDATIONS

On the basis of the above information, we recommend the following:

1. The Stage 1 background research has identified 4.5 hectares of the Mulock Estate property at 16780 as having the potential for archaeological remains. Stage 2 assessment should be conducted in these areas before any future plans impact these areas (Map 17). The property is partially forested, and most will remain as parkland for the Town of Newmarket. As a result, the appropriate Stage 2 assessment method is test pit survey following the standards and guidelines laid out in *Section 2.1.2*.
2. The Stage 1 background research has identified an area around the west side of the 1880s Mulock house that may have deeply buried remains related to the original construction. As an alternative, the fieldwork should follow the standards and guidelines of *Section 2.1.7* for survey in deeply buried conditions (Map 17).

5.0 ADVICE ON COMPLIANCE WITH LEGISLATION

1. Advice on compliance with legislation is not part of the archaeological record. However, for the benefit of the proponent and approval authority in the land use planning and development process, the report must include the following standard statements:
 - a. This report is submitted to the Minister of Heritage, Sport, Tourism and Cultural Industries as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18. The report is reviewed to ensure it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Heritage, Sport, Tourism and Cultural Industries, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.
 - b. It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.
 - c. Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and, therefore, subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with sec. 48 (1) of the *Ontario Heritage Act*.
 - d. The Cemeteries Act, R.S.O. 1990 c. C.4 and the Funeral, Burial and Cremation Services Act, 2002, S.O. 2002, C.33 (when proclaimed in force) requires that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.

6.0 BIBLIOGRAPHY AND SOURCES

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7.0 IMAGES



Image 1: South-facing view towards the northeast corner of Mulock house in the early 1900s (NewmarketToday.ca 2018).



Image 2: Northwest facing view of the southeastern corner of Mulock house (NewmarketToday.ca 2018).



Image 3: Northwest facing view of the southeastern corner of Mulock house in 1912 showing larger veranda and terraced slope (NewmarketToday.ca 2018).



Image 4: Northwest facing view of the southeastern corner of Mulock house in 1939, showing larger veranda and landscaped slope (Toronto Public Library 1939).



Image 5: West view of the garage (left) and shed (right).



Image 6: South view of the former pool with the existing pool house on the right.



Image 7: East view of mown lawn with terraced landscape on the left.



Image 8: South view of the west (original) section of the house and terraced landscape in the foreground.



Image 9: North view of west (original) section of the house and terraced landscape in the foreground.



Image 10: South view of the terraced landscape on the east side of the house.



Image 11: East view of mature trees and gradual slope the east.

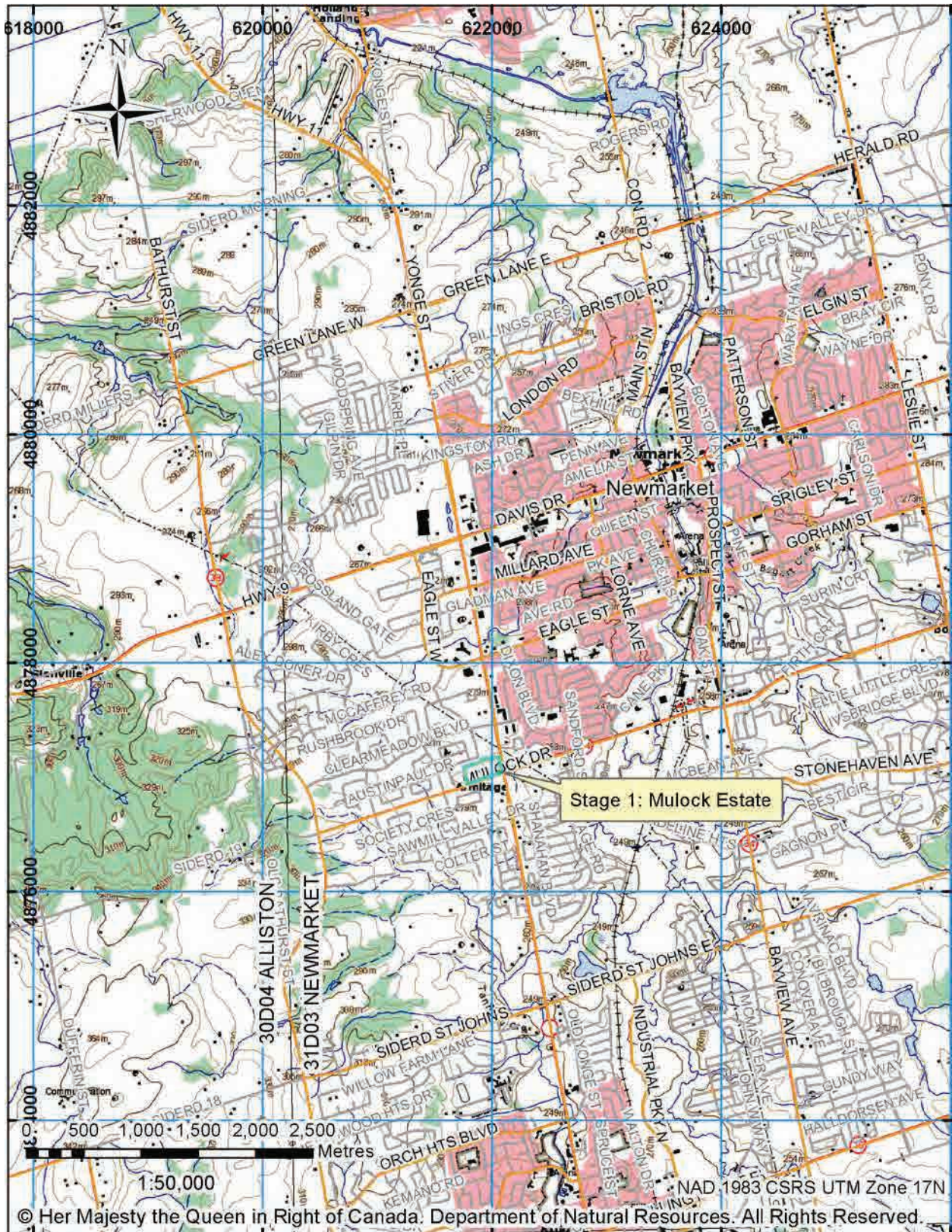


Image 12: Northwest view along gravel drive showing slight cut bank on the right.

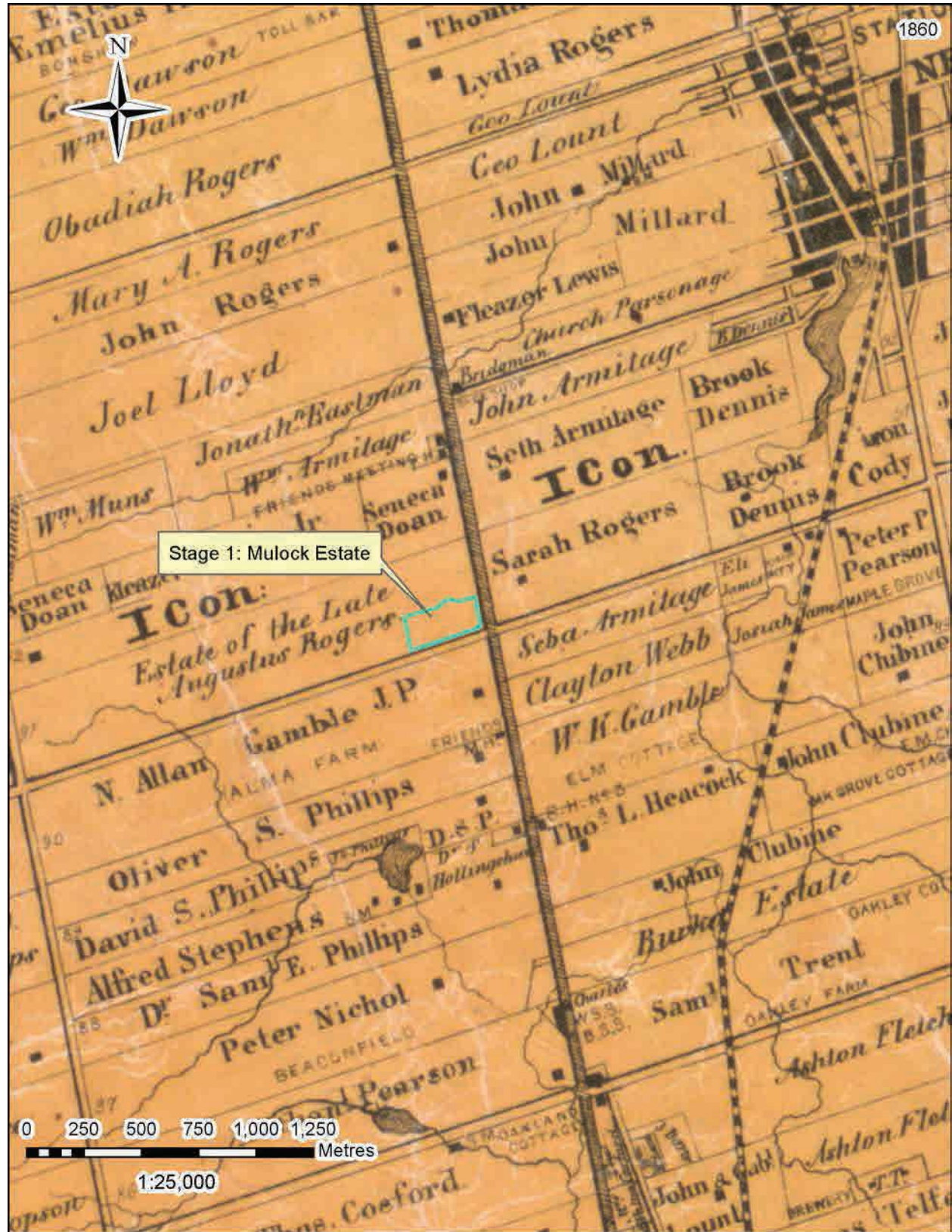


Image 13: Northwest view across the gradual slope with wetland plants on the right near the former stream.

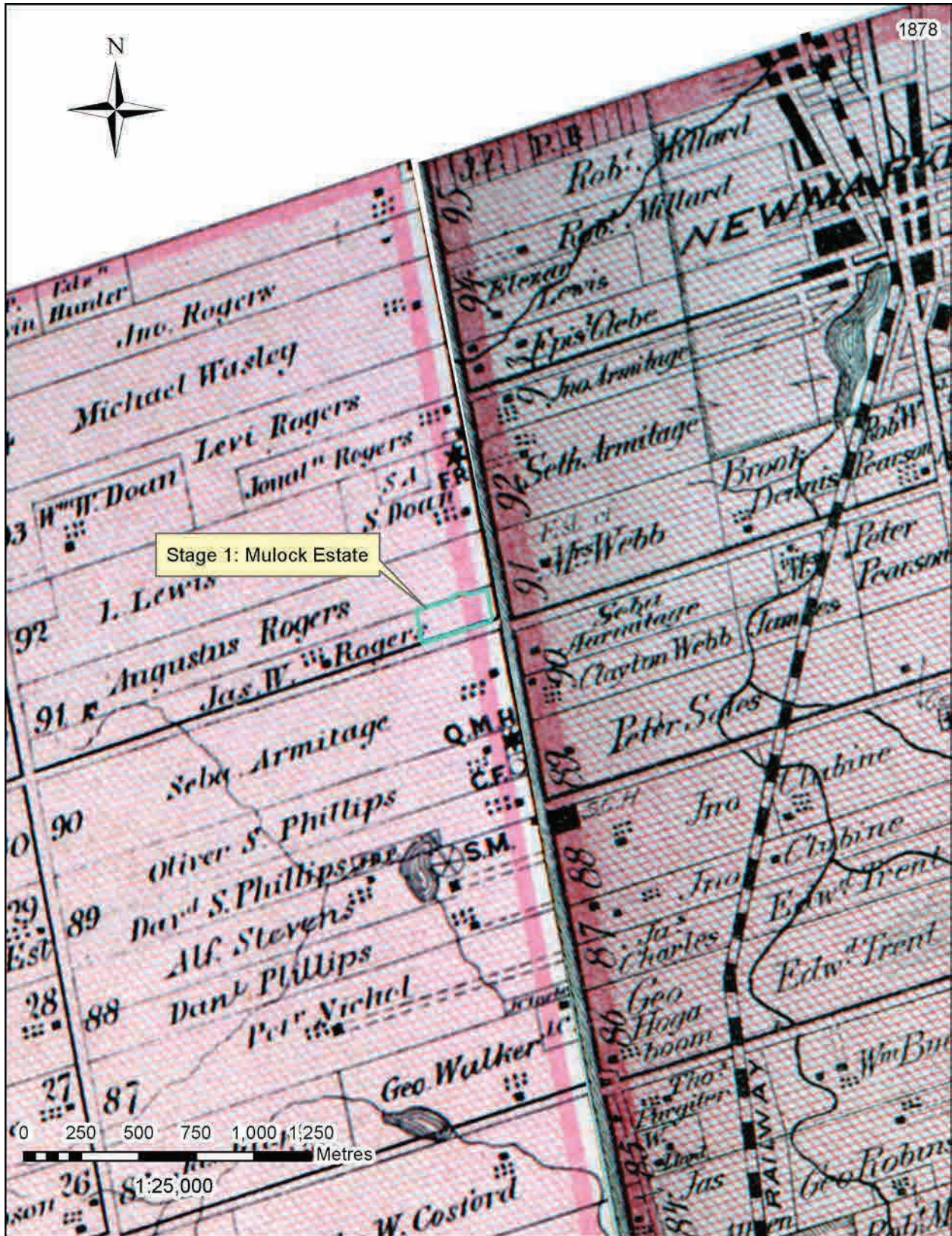
8.0 MAPS



Map 1: Location of the Mulock Estate study area (NRC 2010).



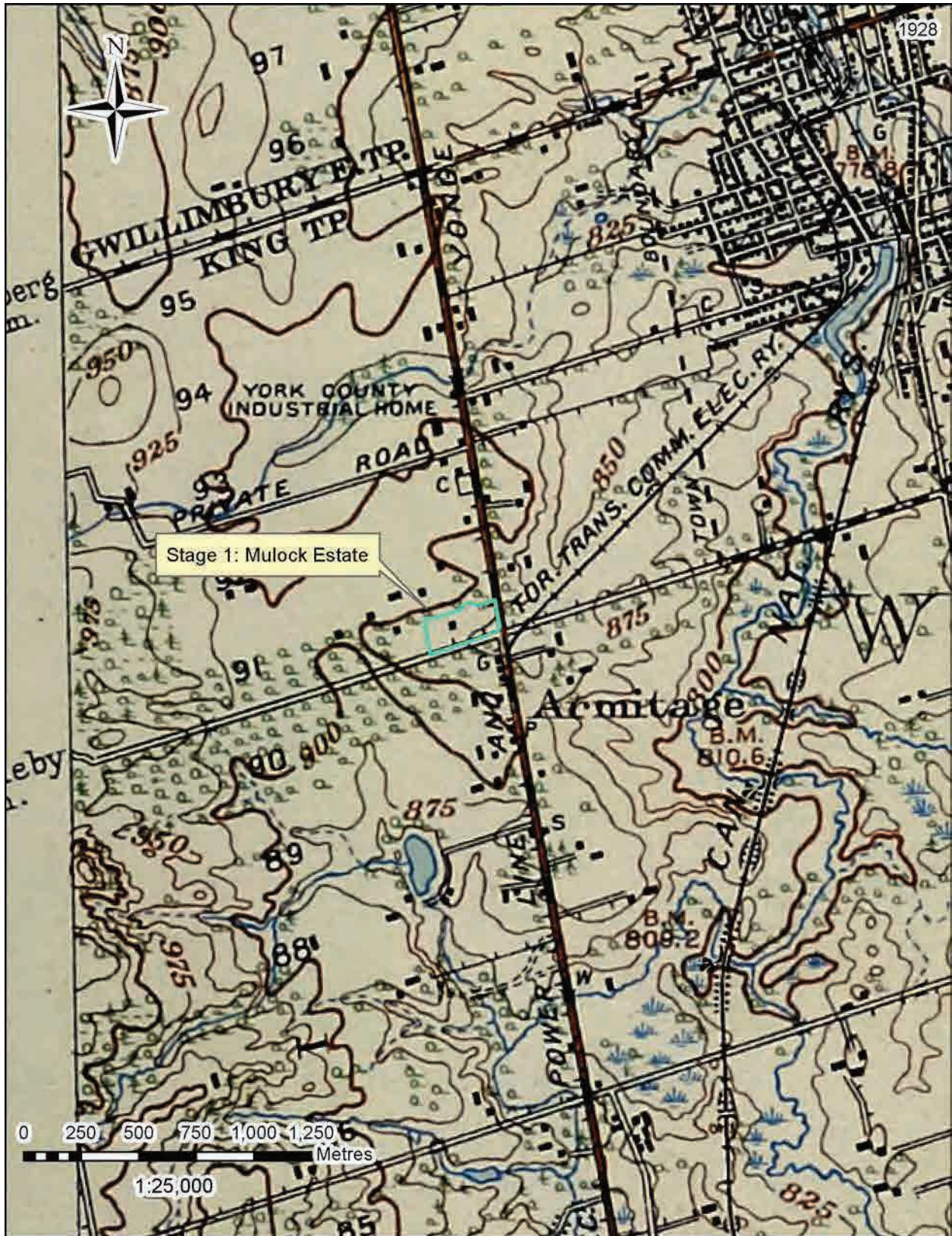
Map 3: Location of the study area on the 1860 map of York County, showing ownership of the Estate of the Late Augustus Rogers (Tremaine 1860).



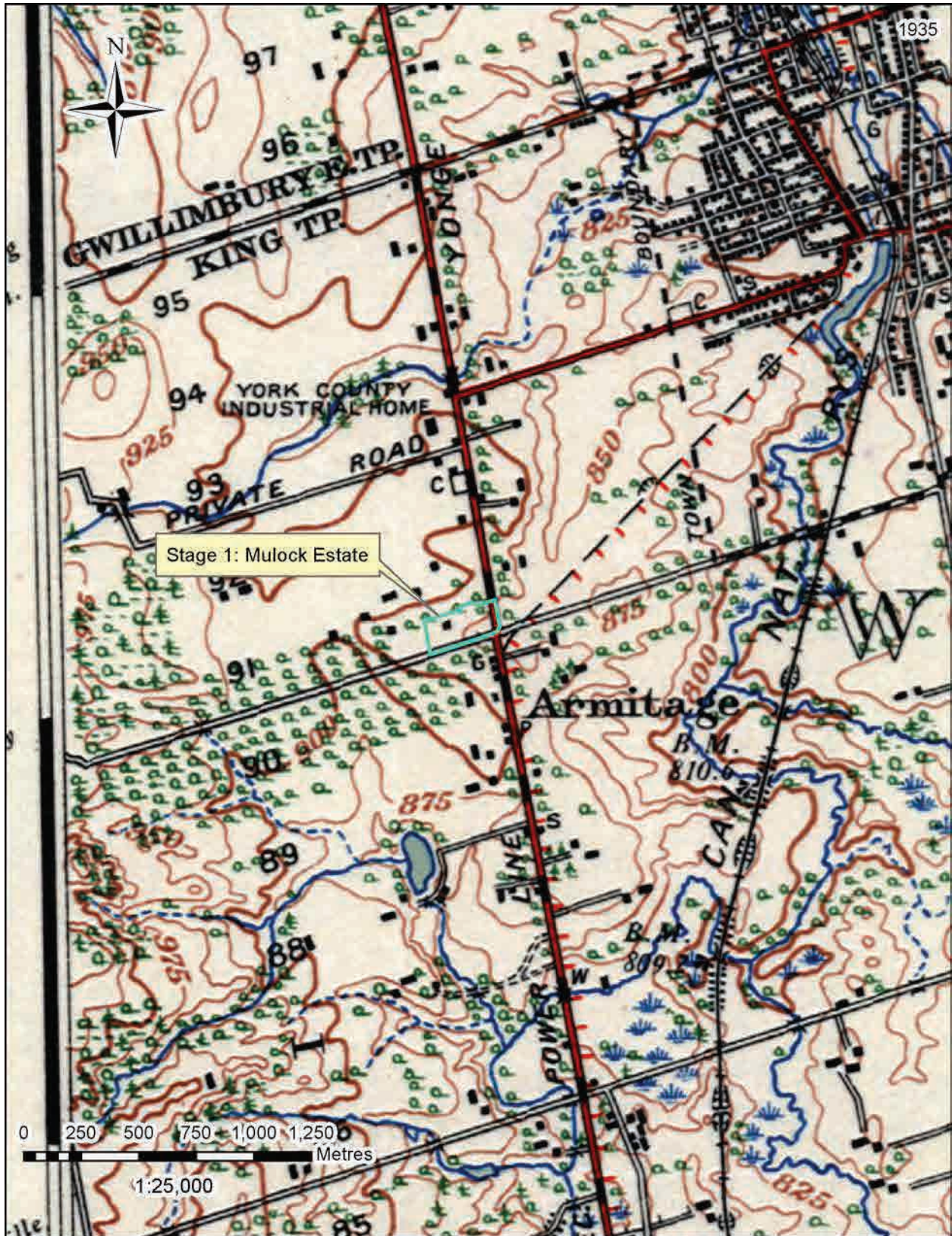
Map 4: 1878 King Township map location of study area showing ownership of James W. Rogers (Miles and Co. 1878).



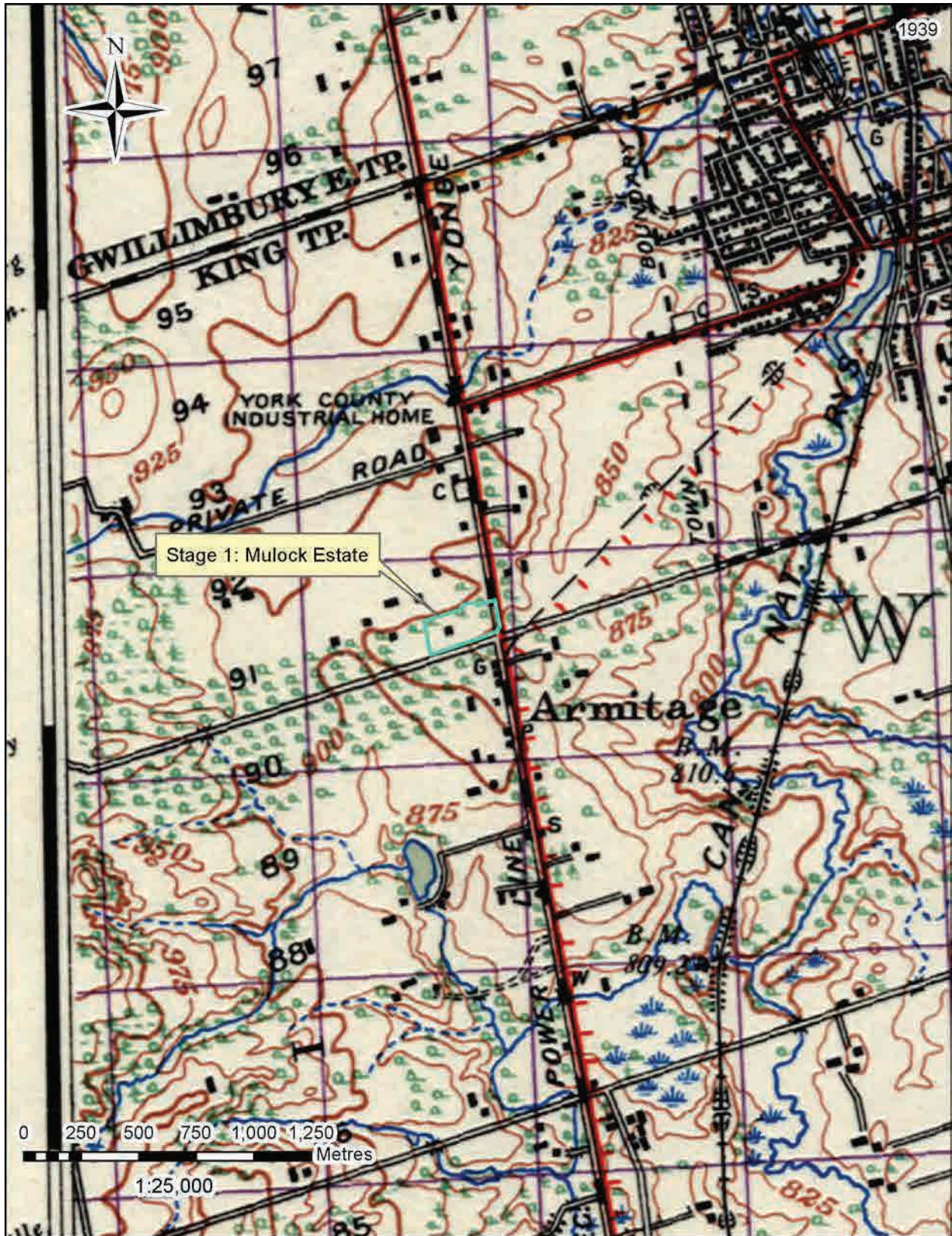
Map 5: 1927 aerial photograph showing a similar landscape within the study to the existing landscape (NAPL 1927).



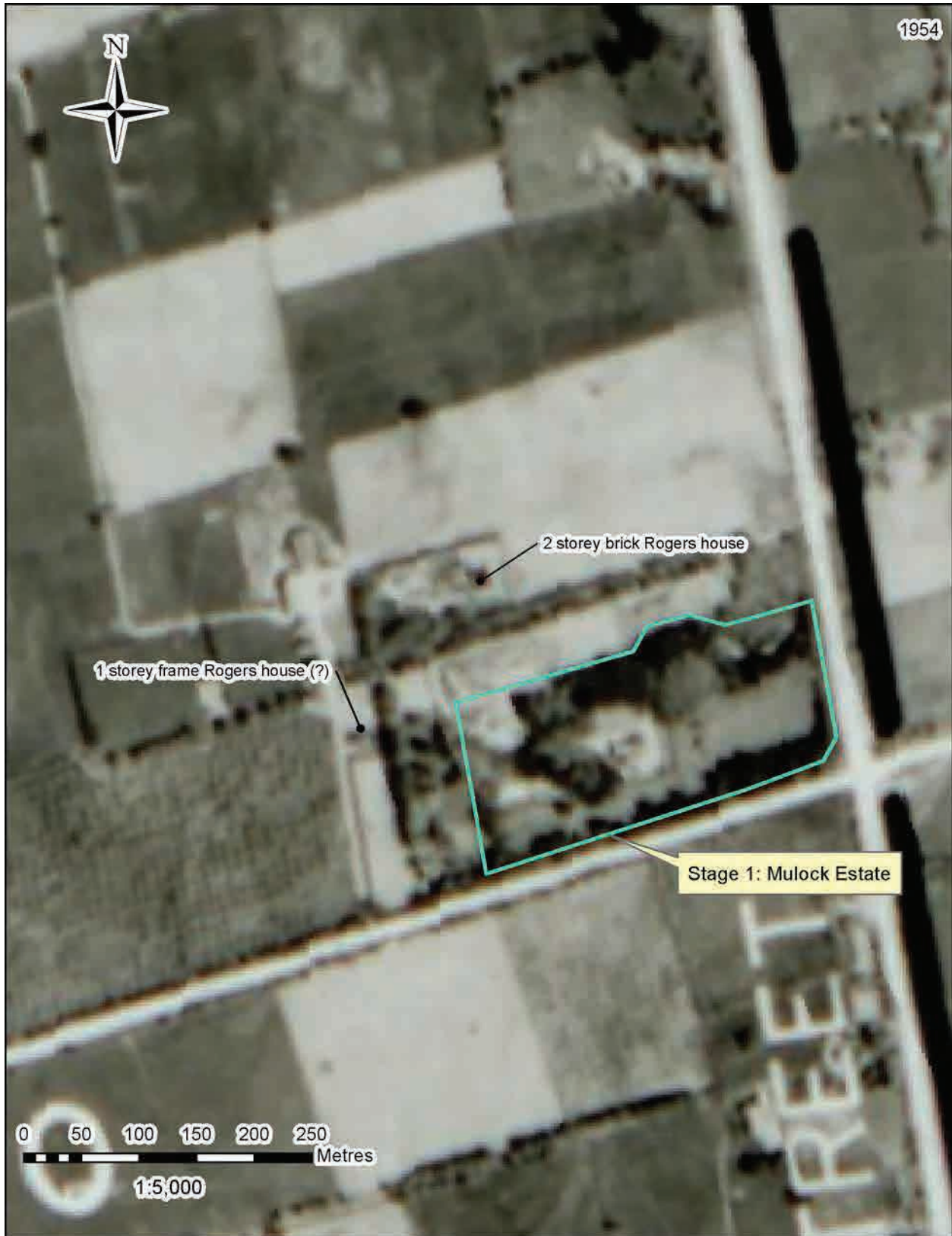
Map 6: Topographic mapping from 1928 of study area showing existing house (DND 1928).



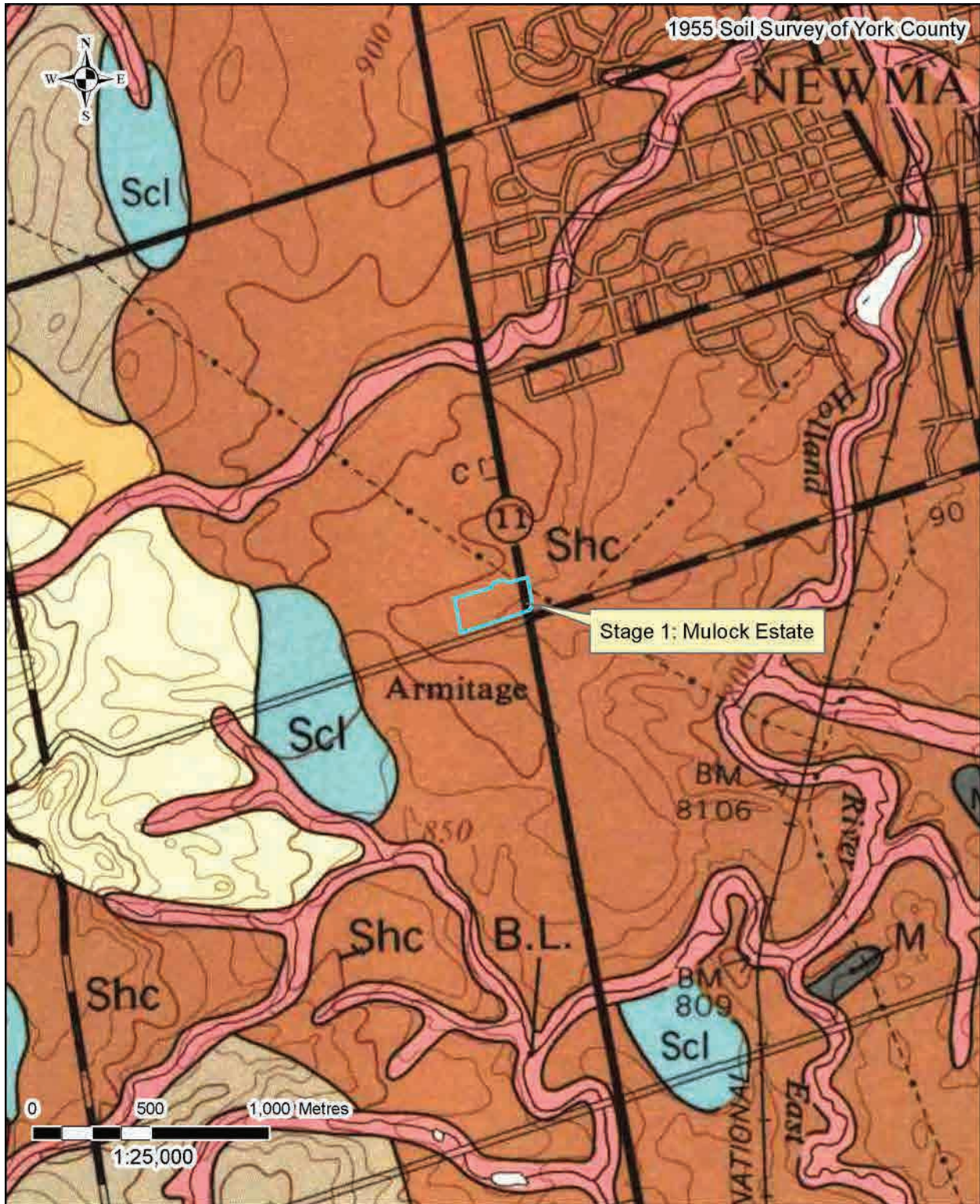
Map 7: Topographic mapping from 1935 of study area showing existing house (DND 1935).



Map 8: Topographic mapping from 1939 of study area showing existing house (DND 1939).



Map 9: 1954 aerial photograph showing study area in relation to adjacent original Rogers family houses (Huntingdon Survey Corporation Limited 1954).



Map 10: 1955 soil map showing Schomberg clay loam (Sch) surrounding study area (Hoffman and Richards 1955).



Map 11: 1959 aerial view of the study area showing a new swimming pool and expanded garage (NAPL 1959).



Map 12: 1970 aerial view of the study area showing a similar view to 1959 (York Region 2019).



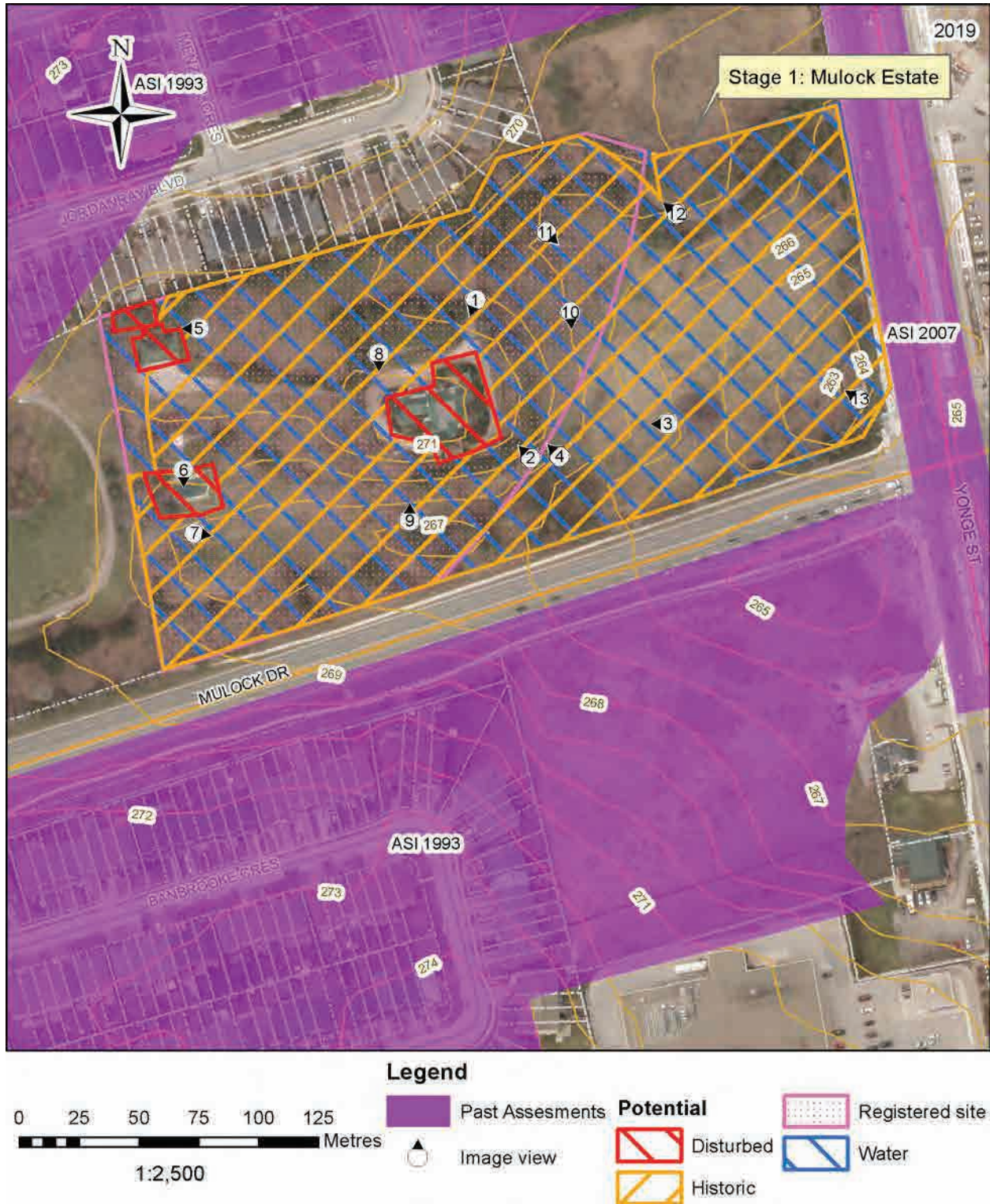
Map 13: 1978 aerial photograph showing a similar landscape to the 1970 view (York Region 2019).



Map 14: 2002 aerial photograph ongoing showing development of Jim Bond Park (west) and Jordanray Boulevard (north) (York Region 2019).



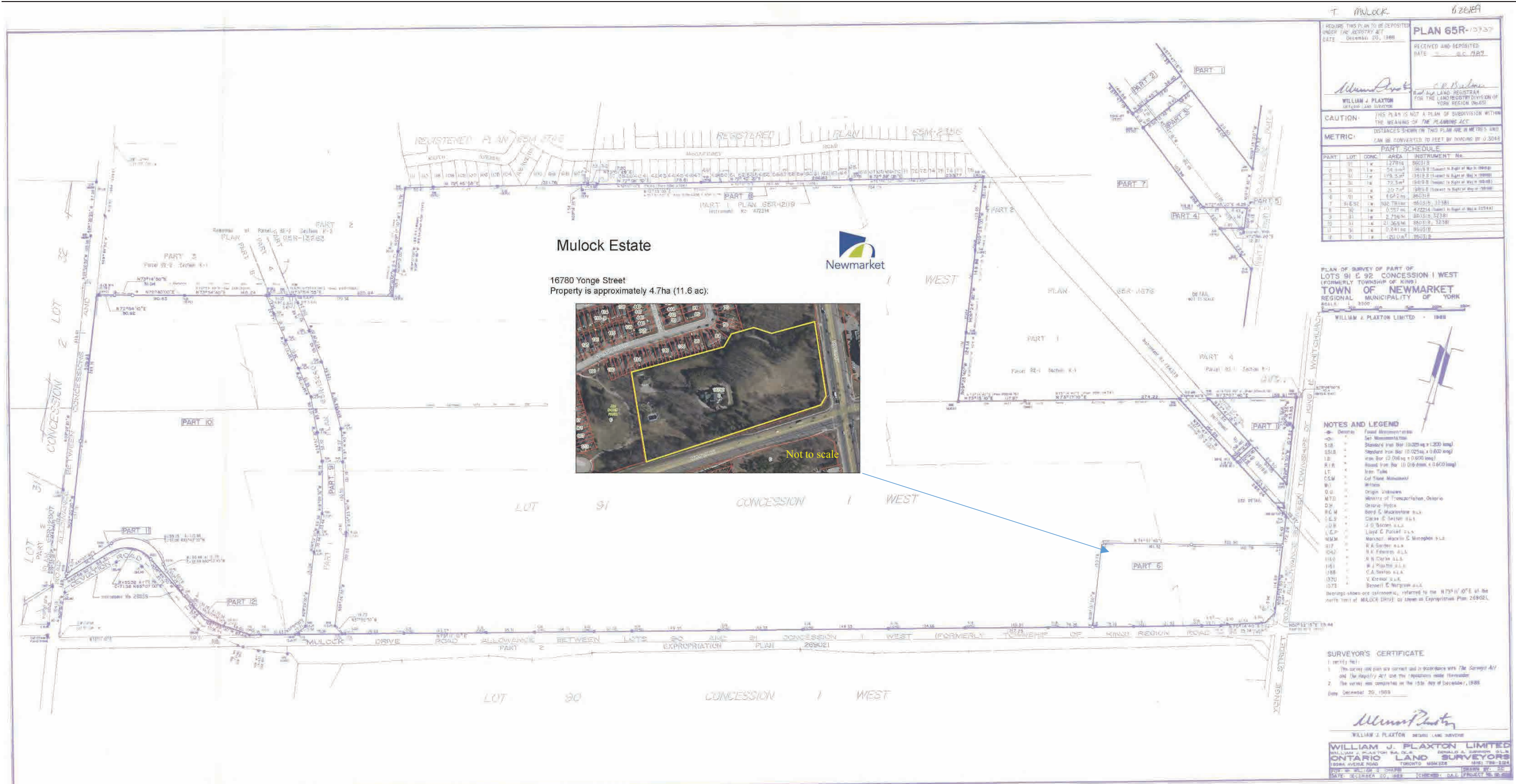
Map 15: Zone of archaeological potential from York Region Archaeological Master Plan mapping (York Region 2013).



Map 16: Current study area showing archaeological potential zones and areas of disturbance with contours and water sources (York Region 2019; MNR 2004).



Map 17: Current study area showing Stage 2 recommendation methods (York Region 2019; MNR 2004).



Map 18: Survey plan for Registered Plan 65R-13937, Part 6 with Mulock Estate, 16780 Yonge Street study area in the southeastern corner (at scale provided by client).



APPENDIX J
SITE WALK-THROUGH NOTES
NOV. 26/27, 2019
PLANT ARCHITECT INC.



PLANT ARCHITECT INC.

Newmarket Old Town Hall Walk-Through Notes

November 26, 2019

Present: Lisa Rapoport/PAI, Eric Klaver/PAI, Colin Service/ToN

General

- Didn't want addition to compete with existing building – modern clearly different.
- Reoriented the entrance to the new building, rarely use front entrance, back entrance used as well.
- Exterior spaces – code issues, want to expand the terrace in the future, use for concerts and readings e.g. 10 minute plays 10 to 20 people.
- Facilities – timely and good repairs are an issue.
- Now into 3rd year of use now booked solid/year round in advance.
- Sponsorship – should be value attached, year end report on space use as well as ongoing engagement with sponsors year round. Sponsors are invited to meet renters.
- Now booked solid/year round in advance
- 10am-8pm hours/not formal
- All spaces are sponsored, and labeled.

Uses

- Programming mix: currently 60 rental/40 own programming, ideally 85 rental/15 own – struggling to achieve this.
- Atrium – used as a serverey for private events
- 180 ppl upstairs and 180 ppl downstairs for separate events. Only 180 if an event is held on both floors.
- Main floor/Gallery is a multifunctional space with kitchen available for catering
- Gallery has panel lock system that allows for movable partitions, includes wet bar (currently concealed)
- Entry to the spaces are flexible
- Weddings – not really done/are rare due to logistics and service, functional issue, interested but want to do it right
- Corporate fundraising Gala held 100-150ppl
- Baby showers
- Attractive to renters – new and pretty
- Concerts upstairs – local conservatory uses for recitals
- 180 max tickets for the auditorium.
- Auditorium – great acoustics, chandeliers sponsored (new– period appropriate design) and has wetbar. Windows have – full blackout shades but don't function properly.
- Event space – could be programmed for double (enough demand) for up to 410 seats
- Auditorium 170 with alcohol/190 without. 220 seat can fill comfortably, 110 with round tables (served food, buffet requires additional tables and is challenging)
- Green Room – sponsored, functions as a serverey sometimes.
- Piano in auditorium \$100K was sponsored

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- 10 minute play festival in July: 24 original plays, 177 submissions from across Canada, professional equity actors, hired for the month and billeted locally, each play performed 4x runs Tuesday to Sunday, 4 “pods” of 6 plays each.
- Basement – not public uses.

Staffing

- Box office is full presence 1 person box office, 1 facilities worker, 1 delivery person
- Part time staff for events + volunteers + Event rental own staff
- Performance arts coordinator oversees/manages
- Finance can provide operations costs

History/Artworks

- Nokiidaa Trail is traced in floor finish
- Gallery: 10 curated shows a year – in-house curator (Logan) also curates other shows
- Mulock painting show – Deborah bought all and donated them to the town.
- 2 contests – Heritage and High School, professionally run and judged.
- Cultural map of public art is not currently up to date – Colin will provide.
- Ted Fullerton sculpture – won commission and town rejected. Held exhibit and installed and kept sculpture outside.
- Historic uses – courtroom, jail in basement (bars on display), farmer’s market
- Mosaic outside of current Council Chambers executed for Canada 150, representative of the “lives” of this building.

To send:

Operated Budget

Set of Plans

Cultural Map

Archives are available. Colin can help get info/documents.

Groundskeeper and Arborist Site Walk-Through Notes

November 27, 2019

Present: Eric Klaver/PAI, Carla Lipkin/PAI, Mark Agnolotto/ToN, Ruurd van de Ven/ToN, Andrea Cafissi, ToN, Andy Sytsma, ToN

Groundskeeper – Andy Sytsma

He has been there for over 25 years.

- Cedars were planted in the 50s – They are over 75 years old.
- Noted that the front lawn is a fescue
- Noted that the last Mrs Mulock loved annuals
 - Scaevolas, had some in pots
 - Loved white impatiens, BLITZ impatiens
 - White geraniums
 - Zinnias
 - Marguerite daisies
 - Cosmos (Deborah loved)
- Loved bulbs, certain perennials
 - Double white tulips
 - White with green tulips
 - Daffodils
 - Snapdragons
 - Hostas
 - Phlox – Medium Height
 - Lemon Balm
 - Crabapples
 - There are 80-100 peonies on site – Very old and very special. Double pinks and double whites.
- Dogs buried to the left of the cedars
- Spruces were planted on site before Deborah, likely some 100+ years old Spruce on site.
- Big gates on Yonge have always been the main entry – No planting.
- Hurricane Hazel likely damaged pool and they then made it smaller.

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- There were 4 cars in the 4-car garage. Mulock had a Packard.
- Foxes and coyotes used to keep squirrels in control.
- There has never been any fertilizer used on site.
- There used to be Viburnum in the shrub area, wild roses and mountain ash have appeared on site.
- Some trees were removed in the 60s

Arborist – Ruurd Van de Ven

- Walnut grove: Roughly 50 walnut trees in the stand:
 - Walnuts will fall where they may fall - Will need to figure out warning system, August - end of September is roughly one month when they fall.
 - These trees will NOT be cut down
 - Conversation with legal regarding reasonable precautions for falling walnuts.
- All the trees will be well taken care of, they've been ignored for decades, they will be rid of the deadwood and will be made as safe as possible.
 - A maintenance plan will be developed for each tree.
 - Planning will be put in place for rejuvenation as well as succession.
- An estimated 75% of trees will be lost over the next 100 years.
 - There are likely 50+ 200 year old trees.
- Anticipation of density and stress - Severe mulch will aid in mitigating this.
 - Compaction: Check how Boston, NYC and Jean Drapeau in Montreal have dealt with this amount of stress around trees.
- Black willow, very dangerous, could fall at any minute.
- Sugar Maples have never been tapped.
- There is one Hickory amongst the Sugar Maple grove, speculation that this was a mistake and the nursery sent an accidental hickory with the sugar maples at the time of planting.
- Sugar maples were treasured. Whole bunch cabled to girder the structure of the tree.
- Identifying significant and cultural trees is more important than simply keeping trees because they're old and big.



APPENDIX K COSTING REPORT A.W. HOOKER

- PARK ELEMENTS (TO BE UPDATED IN PHASE 2)
- HOUSE CLASS D (PENDING)



TOTAL PROJECT BUDGET SUMMARY

TOWN OF NEWMARKET MULOCK ESTATE MASTER PLAN

ORDER OF MAGNITUDE ESTIMATE (Rev.1)

NOVEMBER 18, 2019

			Area (m2)	Unit Rate (\$/m2)	Total	
A	Direct Construction					
A.1	Base Construction Cost					
A.1.1	PARK ENTRANCE (Refer to PAGE A1 for detail)		5,000	\$360.60	\$1,803,000	
A.1.2	OUTDOOR MULTI-USE PAVILION (Refer to PAGE B1 for detail)		2,100	\$3,769.52	\$7,916,000	
A.1.3	TRAIL AND AMENITIES (Refer to PAGE C1 for detail)		6,550	\$443.21	\$2,903,000	
	SUBTOTAL		13,650	\$924.69	\$12,622,000	
B	Mark-ups					
B.1	General Requirements	10.0%			\$1,262,000	\$13,884,000
B.2	Overhead & Profit	4.0%			\$555,000	\$14,439,000
B.3	Design & Pricing Contingency	25.0%			\$3,610,000	\$18,049,000
B.4	Escalation Contingency	0.0%			\$0	\$18,049,000
B.5	Construction Contingency (Post Contract Changes)	0.0%			\$0	\$18,049,000
	SUBTOTAL			\$397.58	\$5,427,000	
	HARD CONSTRUCTION TOTAL			\$1,322.27	\$18,049,000	
C	Project Soft Costs					
C.1	Consultant Fees (Architect, Engineers, Special Consultants, Etc.)	10.5%			\$1,895,000	
C.2	Disbursements and Reimbursable Expenses (on item C.1)	9.7%			\$182,868	
C.3	Project Management Fees	7.4%			\$1,344,000	
C.4	Legal Fees (assumed nominal)				\$10,000	
C.5	Independent Inspection and Testing				\$10,000	
C.6	Municipal Permit				\$7,500	
C.7	Operational Expenses				Excluded	
C.8	Financing and Loan Fees				Excluded	
C.9	FF&E Allowance				Excluded	
C.10	Harmonized Sales Tax (HST)				Excluded	
C.11	Soft Cost / Owner Contingency	25.0%			\$862,000	\$3,449,368
	SUBTOTAL			\$315.82	\$4,311,000	
	TOTAL PROJECT BUDGET			\$1,638.10	\$22,360,000	

Notes:

1. The above costs are Order of Magnitude (rule of thumb) and are meant to provide an idea of the magnitude of potential cost.
2. The actual cost would depend on the final design and details.
3. The accuracy is intended to be +/- 20%. This estimate is meant to reflect the fair market value for the construction of this project; it is not intended to be the prediction of the lowest bid and should be representative of the median bid amount received in a competitive bidding scenario.
4. A Design & Pricing Contingency of 25% has been included in the estimate. This contingency is meant to cover design and pricing unknowns in the preparation of an estimate to reflect the incomplete nature of the design information provided at the time the estimate is prepared.
5. An Escalation Contingency has been excluded from the estimate. This is meant to provide for increases in construction costs due to changes in market conditions between the time of the estimate and the potential construction commencement date.
6. A Post Construction Contingency has been excluded from the estimate. This contingency is meant to cover the potential cost of post contract changes that may occur after the project is tendered.
7. Annual Operation Budget is excluded.
8. The estimate includes project related soft costs, such as Consultant Fees, Legal Fees, Municipal Permit, etc. These costs include items traditionally funded by the owner and separate from the hard construction costs which would be applicable to the contract.
9. A.W. Hooker Associates Ltd. (HOOKER) cannot control over the cost of labour and materials, the general contractors or any subcontractors' methods of determining prices, or competitive bidding and market conditions. This opinion of probable cost of construction is based on the experience, qualifications, and best judgement of the professional consultant familiar with the construction industry. HOOKER cannot and does not warrant that proposals or actual construction costs will not vary from this or subsequent estimates.

PARK ENTRANCE	5,000 m2	\$360.60	\$1,803,000
	53,820 SF	\$33.50	
Direct Construction			
A Site Preparation and Removals			
A.1 - mobilization and demobilization	1 LS	\$25,000.00	\$25,000.00
A.2 - construction hoarding to the corner of Yonge Street and Mulock Drive	200 m	\$80.00	\$16,000.00
A.3 - modu-loc temporary construction fence	200 m	\$30.00	\$6,000.00
A.4 - tree protection fence	1 LS	\$15,000.00	\$15,000.00
A.5 - tree removal (clear, grub stump and roots)	1 LS	\$7,500.00	\$7,500.00
A.6 - demolition of existing concrete sidewalk (assumed 3000mm width from ROW concrete curb)	450 m2	\$20.00	\$9,000.00
A.7 - strip existing topsoil (assumed 150mm depth)	683 m3	\$35.00	\$23,887.50
A.8 - dispose stripped existing topsoil off site	683 m3	\$40.00	\$27,300.00
B Site Services			
B.1 - site servicing (watermain, sanitary, storm, natural gas)			Excluded, assumed not required
B.2 - irrigation			Excluded, assumed not required
B.3 - lighting			Excluded, assumed not required
B.4 - smart city technology (public access wifi, sensor technology, electric vehicle charging stations)			Excluded, assumed not required
C New Hard Surfaces			
C.1 - rough grading	2,500 m2	\$5.00	\$12,500.00
C.2 - fine grading	2,500 m2	\$2.50	\$6,250.00
C.3 - concrete paving (assumed 50% of area)	2,500 m2	\$100.00	\$250,000.00
C.4 - signature grand staircase 2-3m in grade change (assumed 4000mm width) + railings	75 m	\$1,000.00	\$75,000.00
D Planting			
D.1 - pollinator garden planting (assumed 50% of area)	2,500 m2	\$40.00	\$100,000.00
E Site Furnishings			
E.1 - recycled plastic bench			Excluded, assumed not required
E.2 - trash receptacles			Excluded, assumed not required
E.3 - bike racks			Excluded, assumed not required
E.4 - armour stone			Excluded, assumed not required
F Miscellaneous / Provisional Items			
F.1 - signature public art (placeholder allowance)	1 LS	\$500,000.00	\$500,000.00
F.2 - signature water feature, recirculating system (assumed similar to Millenium Park Fountain located at 131 King St, Peterborough, ON K9J 0A5)	1 LS	\$725,000.00	\$725,000.00
F.3 - signage allowance	1 LS	\$5,000.00	\$5,000.00
SUBTOTAL (Direct Construction Cost), nearest \$1,000	5,000 m2	\$360.60	\$1,803,000
	53,820 SF	\$33.50	

OUTDOOR MULTI-USE PAVILION	2,100 m2	\$3,769.52	\$7,916,000
	22,604 SF	\$350.20	
Direct Construction			
A Site Preparation and Removals			
A.1 - mobilization and demobilization	1 LS	\$25,000.00	\$25,000.00
A.3 - modu-loc temporary construction fence	1 LS	\$15,000.00	\$15,000.00
A.4 - tree protection fence	1 LS	\$15,000.00	\$15,000.00
A.5 - tree removal (clear, grub stump and roots)	1 LS	\$7,500.00	\$7,500.00
B Site Services			
B.1 - site servicing (watermain, sanitary, storm, natural gas)			Excluded, assumed not required
B.2 - irrigation			Excluded, assumed not required
B.3 - lighting			Excluded, assumed not required
B.4 - smart city technology (public access wifi, sensor technology, electric vehicle charging stations)			Excluded, assumed not required
C New Hard Surfaces			
C.1 - rough grading	1,800 m2	\$5.00	\$9,000.00
C.2 - fine grading	1,800 m2	\$2.50	\$4,500.00
C.3 - concrete paving for full sized ice rink	1,800 m2	\$300.00	\$540,000.00
D Planting			
D.1 - pollinator garden planting			NIL
E Site Furnishings			
E.1 - recycled plastic bench			Excluded, assumed not required
E.2 - trash receptacles			Excluded, assumed not required
E.3 - bike racks			Excluded, assumed not required
E.4 - armour stone			Excluded, assumed not required
F Miscellaneous / Provisional Items			
F.1 - removable dasher boards and glass	1 LS	\$450,000.00	\$450,000.00
F.2 - refrigeration system	1 LS	\$270,000.00	\$270,000.00
F.3 - signage allowance	1 LS	\$5,000.00	\$5,000.00
G Structures			
G.1 - Field house including space for washrooms, changerooms, M&E space and zamboni room	300 m2	\$5,750.00	\$1,725,000.00
G.2 - Pavilion (assumed similar to The City of St. Louis Park Recreation Outdoor Centre)	1,800 m2	\$2,694.50	\$4,850,100.00
SUBTOTAL (Direct Construction Cost), nearest \$1,000	2,100 m2	\$3,769.52	\$7,916,000
	22,604 SF	\$350.20	

TRAIL AND AMENITIES	6,550 m2	\$443.21	\$2,903,000
	70,504 SF	\$41.18	
Direct Construction			
A Site Preparation and Removals			
A.1 - mobilization and demobilization	1 LS	\$25,000.00	\$25,000.00
A.3 - modu-loc temporary construction fence	1 LS	\$15,000.00	\$15,000.00
A.4 - tree protection fence	1 LS	\$15,000.00	\$15,000.00
A.5 - tree removal (clear, grub stump and roots)	1 LS	\$7,500.00	\$7,500.00
B Site Services			
B.1 - site servicing (watermain, sanitary, storm, natural gas)			Excluded, assumed not required
B.2 - irrigation			Excluded, assumed not required
B.3 - lighting, 48W LED pole mounted fixture with pole, concrete base and associated underground wiring (assumed 16m O.C. along 1000m long trail)	63 NO	\$6,000.00	\$378,000.00
B.4 - smart city technology (public access wifi, sensor technology, electric vehicle charging stations)			Excluded, assumed not required
C New Hard Surfaces			
C.1 - rough grading	4,500 m2	\$5.00	\$22,500.00
C.2 - fine grading	4,500 m2	\$2.50	\$11,250.00
C.3 - concrete paving for 500m long x 4.5m wide skating trail	2,250 m2	\$300.00	\$675,000.00
C.4 - limestone screening for 500m long x 4.5m wide walking trail	2,250 m2	\$75.00	\$168,750.00
D Planting			
D.1 - pollinator garden planting for 1000m long x 1m wide per side of trail	2,000 m2	\$40.00	\$80,000.00
E Site Furnishings			
E.1 - recycled plastic bench			Excluded, assumed not required
E.2 - trash receptacles			Excluded, assumed not required
E.3 - bike racks			Excluded, assumed not required
E.4 - armour stone			Excluded, assumed not required
F Miscellaneous / Provisional Items			
F.1 - refrigeration system for skating trail	1 LS	\$1,125,000.00	\$1,125,000.00
F.2 - signage allowance	1 LS	\$5,000.00	\$5,000.00
G Structures			
G.1 - Washroom (self-cleaning) facility including M&E space	50 m2	\$7,500.00	\$375,000.00
SUBTOTAL (Direct Construction Cost), nearest \$1,000	6,550 m2	\$443.21	\$2,903,000
	70,504 SF	\$41.18	

**HOUSE CLASS D COSTING
PENDING FOR MAY 19TH, 2020**

**HOUSE CLASS D COSTING
PENDING FOR MAY 19TH, 2020**



APPENDIX L HISTORICAL CHRONOLOGY

- MULOCK PROPERTY/GBCA ARCHITECTS
- MULOCK FAMILY/ERIC BECK RUBIN



Mulock Property, Newmarket

Historical Chronology

1881 – purchase by William Mulock of south half of Lot 91 (Instrument #3715) – 105 acres for \$6000.00

1883 – “improvements” (October 5 Newmarket Era article)

Wm. Mulock, Esq., is making great improvements to his residence on Yonge Street. The mound between the house and street is being removed and the declivity at the south side is filled in. A large quantity of stone has been taken out and is being broken up to macadamize the drives and walks. Mr. ?? is making a light iron fence which will be placed around the house.

1884 – Mulock acquires north half (Instrument #4717) – 105 acres for \$9000.00

Mulock was the son of Mary Cawthra and Dr. Thomas Homan Hulock. Mulock’s wealth came from his mother’s side – Mary Cawthra was descended from Toronto’s first millionaire family. The early death of his doctor father, Thomas Homan Mulock, precipitated some financial constraint in his student years, but in later life Mulock made a fortune speculating in real estate and the stock market. Called to the bar in 1868, he received his KC in 1890. His brilliant negotiation and organizational skills are credited with the consolidation of nine separate colleges and professional schools into the University of Toronto, and the development of a telecommunications cable linking Canada, Britain, Australia and New Zealand.

1893 – Mulock employed a farmer, labourer and yardman (1893 Assessment Roll)

1896 – on a visit, William Lyon Mackenzie King commented on the charm of the beautiful farm

1898 – a Department of Agriculture Report called Mulock’s farm a “model farm” – noting his crops (apples, corn and turnips) and his cattle

1902 – article on Mrs. Wm. Mulock notes that she lives in one of the most beautiful houses in Toronto (on Jarvis Street) and that she shares her husband’s love for agriculture but pays frequent visits to his model farm in the County of York.

1913 – William Mulock (Jr) and his wife Ethel Pate appear in Dau’s Blue Book of 1913 (p124) as living at 518 Jarvis Street along with “Master W.P. Mulock”

1916 – The Newmarket Era states that Sir Wm Mulock “gave farmers such an object lesson in buildings and stockraising that it became known as the North York Model Farm.”

1919 – significant improvements were made along Yonge Street from Toronto to Barrie

C1915-1919 – Dunington-Grubb designs an Iris and Pond Garden

1926 – when Sir William Mulock was 82 years old he purchases a 150-acre Markdale, Ontario farm to be used for trout fishing and reforestation of pines. He called the farm “Holland House” and planted thousands of trees. (1944 Obit)

1929 – farm is transferred from Sir William Mulock to his grandson Colonel William Pate Mulock
William Pate Mulock was educated at UCC and UofT and attended Osgoode Hall Law School – he first ran unsuccessfully for the House of Commons in the riding of York North in the 1930 federal election, but was elected in a 1934 by-election and re-elected in 1935 and 1940 – he was Postmaster General from 1940 to 1945 (the Postmaster General of Canada was the Canadian cabinet minister responsible for the Post Office Department) - in 1948 William Pate Mulock inherited some of the estate of Joseph E. Atkinson, founding publisher of the Toronto Star
(in 1920 William Jr lives at 518 Jarvis with Sir William, in 1920 William Jr at 8 Cluny Drive, in 1928 and 1930 William P (of Mulock, Millken, Clark and Redman Barristers) lives at 85 South Drive)

1931 – by this date (according to an article in Canadian Homes and Gardens) the estate was referred to as “The Elms” – the writer of the article called it “one of the most beautiful estates in this section of Canada”

- by the 1930s the estate was akin to an English estate with trees, shrubs and lawns, clipped shrubbery/hedges (including clipped cedars and spruces)

- in addition to the Black Walnuts were elms, butternuts, maples, and evergreens of every sort

- several planting beds are backed by white trellising or a summerhouse

- west of the house was the kitchen garden, beyond which a hedge separated the garden from the Apple orchard – **160** acres (a sight during blossom-time)

- (**75** acres of original forest – in this bush was the source of the spring, 94 feet above house-level, which caught in a reservoir and piped down from level to level, supplies the house and all its outbuildings with a perpetual flow of crystal water)

- (**67** acres of arable land)

- bordering the orchard to the south was a cross-road lined with Maples, and across this divide is a **50**-acre section of land recently purchased by Sir William to ensure the privacy of his estate – planted with black walnuts

- the reforestation of the province with black walnuts was considered “an important item in Canadian development” – the Ontario Forestry Branch was then supplying seedlings to landowners and tax exemptions were offered – “any part of a farm used for forestry purposes or being “woodland” is exempt from taxes, provided that such exemption shall not be greater than one acre in ten acres of such farm, and not more than 20-acres held under a single ownership”

1932 – description in biography of property by Loudon:

During the past 50 years improvements have been made from time to time, so that, at the present day, a beautiful country home has replaced the original house: and all the modern conveniences of the city are added to the rural pleasures of the farm. The landscape, which in former days was harsh and naked, has been softened gradually by the planting of innumerable walnut trees, of the black variety, indigenous to the southern portion of Ontario. Sir William, from his earliest days, had a keen interest in the culture of trees; and shortly after obtaining possession of the property began to plant an orchard, which now covers 160 acres and is one of the largest in the province. It contains several varieties of apples but preference has been given to the Northern Spy – there are also 75 acres devoted to farming, small fruits and vegetables.”

1932 – description of use by Loudon:

Throughout all the past fifty years his farm on Yonge Street has been a meeting place for Sir William and his children, his grandchildren, his friends and their friends. A few years ago, he gave the property to his grandson, William Pate Mulock, the eldest son of his son William who died in 1928. The new incumbent is carrying on the farm, as usual, although engaged in his practice of the legal profession in the City of Toronto.

1933 – The Nemarket Era newspaper publishes an article on Mulock’s Farm entitled “The Enchanted Garden”

- unique gateway to the curved driveway along which you pass stately trees
- to the left of the house, a grove of walnut trees
- as the driveway sweeps up to the house, you see down a series of terraces set with wonderful flower beds, beyond a cedar hedge, a delightful parterre, divided from Yonge Street by a fringe of evergreens and other trees, and a picturesque rustic fence
- the sweep of trees curving down the circular flower-beds filled with blossoms, with curved seats backed by high trellised fences, one facing another with long sweep of lawn and trees between, and in the distance a spacious rustic summer-house with deep beds of tall perennials surrounding it
- there are cedar hedges everywhere – the one to the north of the house encloses a delightful square filled with beds of flowers
- at the far side, two taller cedars form an archway, making a little curved doorway to the orchard

1935 – William P. Mulock retires from law and began farming at Armitage – since then he has listed his profession as farmer (TS, 26 Aug 1954).

Sir William comes to the farm for the summers, spending most of his time at his Jarvis Street home where he lives with his sister, Mrs. G.W. Monk.

1937 – on his overnight stay at the farm, William Lyon Mackenzie King comments about the orchard and walnut groves.

1939 – Men of the Trees visits Sir William Mulock at the farm.

Men of the Trees (now International Tree Foundation) is an international, non-profit organization involved in the planting, maintenance and protection of trees. Founded in Kenya in 1922 by Richard St. Barbe Baker (an English environmental activist), there are

chapters in over 100 countries (including Canada/Toronto) and they have planted 26 billion trees internationally. While working in Prince Albert Saskatchewan, Baker became convinced that the wanton waste of timber and agricultural practices (including the razing of the natural scrub trees) by European settlers were leading to deplorable soil degradation and potential aridity on Canada's prairies. Sir William Mulock was honorary president of the Canadian branch of the organization.

1944 – Prime Minister William Lyon Mackenzie King speaks when the Men of the Trees presents a black walnut tree to Sir William Mulock on his 100th birthday, January 19, 1944. Planted temporarily at his Jarvis Street home where the celebrations were – to be transplanted to a “North York park.”

1944 – Sir William Mulock dies

1947 – Thomas Homan Mulock (son of Colonel William Pate Mulock) weds – newspaper refers to the Mulock Farms, Armitage

1948 – renovations under W.P. Mulock (as per drawings of millwork by Aurora Building Company)

1949 – the house had recently been remodeled and redecorated by W.P. Mulock, transforming it into a palatial country residence suitable for year-round occupancy

- the “outmoded rococo” woodwork was removed (Painting and Decorating Contractor Magazine, 1949)

- the large carriage porch was erected over the remodeled entrance, giving the building an entirely different and more imposing appearance

- the exterior was painted – “the brick walls, darkened with age, were painted white, as were the columns and woodwork around the verandahs and sun decks (the “brick walls, which had not been painted for 18 years....” suggests that it was previously painted)

- colour accents were provided by green shutters

- the entire interior of the house was also redecorated at this time and a number of alterations were made

- ceilings were lowered, oak floors refinished

- two tall narrow windows on the stairway were enlarged to make one big window

- library was remodeled – walls were paneled and painted white, bookshelves and a red brick fireplace were added

- all of the lighting fixtures carried the Mulock crest, which also appeared over the mantel

- living room has a dividing archway – new fireplaces and bookshelves were built in – large windows open onto the verandah

- dining room lower walls were panelled and doors rebuilt to match

- the kitchen and pantry were entirely modernized and redecorated – blue inlaid linoleum floors

- new basement recreation room – walls covered with studded leather with a bar, built-in upholstered settees and checkered pattern tile floor

- all upstairs bedrooms were redecorated

- four new bathrooms were designed to supplement the existing one – all three of them in space formerly occupied by a bedroom
- the old bedrooms lacked clothes closets so one room was converted into a dressing room with built in cupboards, with the remaining space made into clothes closets for the adjoining bedrooms
- two large rooms at the rear of the house were divided into four for staff use

1949 - a 1949 newspaper classified advertisement shows that a cook and chauffeur couple were being sought for the estate (26 miles north of Toronto on Yonge Street) (Globe 28 October 1949)

1951 - The wood frame and clapboard one-storey plus partial basement pool house was constructed – designed by architects Hanks and Irwin, added during the occupation of William Pate Mulock and family

1954 – William P. Mulock dies “at his farm home near Newmarket” – surviving are his widow and two sons, William Johnston and Thomas Homan who operate the Mulock Farm

1958 – description by Herbert A. Bruce – when he was over 80, Mulock invited Bruce to spend a weekend with him at Holland House, near Markdale, where he had a fishing preserve

1961 – Ethel Pate Mulock (mother of William Pate Mulock) dies (while living at the Park Plaza Hotel, where she had lived for 30 years).

1968 – Toronto Star photo – the Mulock home is one of 6 houses in King Township which will be open Thursday afternoon on a tour of country homes sponsored by the Ontario Humane Society. Occupied by Sir William Mulock’s great granddaughter.

1968 – Kathleen E. (Johnston) Mulock, wife of the late William P. Mulock dies at Newmarket

1970 – land transferred from William P. Mulock to Thomas Homan Muloch (16 years after William Pate’s death and 2 years after their mother’s death)

1993 – Plan of Subdivision for the “Mulock Country Estates” (north of Mulock Road 19T-90010) for 774 single family homes, 330 townhouses, 408 “Mansion Townhouses” and 427 apartment units and (south of Mulock Road 19T-90031) for 197 single family houses, plus industrial and commercial – Plan 65R-13937 severs current property from former Lot 91

1995 – prior to 1995, the barn was demolished/destroyed - by 1999 the current property boundaries were all that remained of the original Mulock farm

William Mulock, 1844-1944

U of T and related

As student:

1859: after 'backwoods education', Entered University College, U of T;
1859: with U of T's endowment under threat, Mulock defended the role of the university (as distinct from the practical college) and helped guarantee its continued funding; 1862: organised student meeting that led to University College volunteers, who would later become part of Queen's Own Rifles Army reserve regiment; 1863: Graduated with Gold Medal in Modern languages, enrolled in law school

As Administrator:

1873-1944: University Senator; 1876, '78: founds, with others first science and engineering departments; 1881-90: Vice-chancellor, brings other professional schools (agriculture, dentistry, medical college for women, pharmacy, music, veterinary science, etc) and previously independent colleges under direction of university, successfully advocated for public support of medical education; did not accept a salary in this role; 1924-44: Chancellor

Lawyer and Law Society

1863: Enrolled in law school (Osgoode?), articling in Newmarket and Toronto; 1868: called to the bar; 1873: Lecturer, Examiner, Vice-Chancellor of Upper Canada Law Society's law school; 1923-36: Chief Justice of Supreme Court of Ontario

Sportsman

1861: Captained first recorded football game in Canada, as student at U of T.

Founder or Co-founder

Among others: Wellesley Hospital; Dominion Bank; Frederick Banting Institute, supporting young scientists; while not an official founder of U of T, influenced its current form, the breadth of its departments and inclusion of its professional schools, some of whose enrollees he insured would be underwritten by the public

Communications

1903: negotiated agreement to establish publicly owned telecommunications lines between Canada, Australia and New Zealand

Politics

1882-1905: Liberal MP for North York; 1896-1905: Postmaster General, introduced first postage stamp; 1900-05: (first) Minister of Labour, abolishing government contracts with sweatshops, implementing minimum wage; brought William Lyon Mackenzie King, an economist, into politics (WLMK was Mulock's first Deputy Minister of Labour); 1905: part of negotiations that established Alberta and Saskatchewan, expanding Canadian confederation

Friends

Hosted at farm, among others: Guglielmo Marconi, Frederick Banting and Charles Best; Prince of Wales (Edward VIII)

Recent History of the Land in Newmarket

Land was part of 210 acre grant by government of Upper Canada to an American Quaker displaced by American Revolution, Rufus Rogers; descendant Augustus Rogers built the eponymous house on the site; Mulock bought the residence and surrounding farm in 1880s from Augustus Rogers, and it was expanded to almost 400 acres

Mulock was regarded as an experimental farmer for practices in cross-breeding and testing different crop varieties; the grove of black walnuts was imported from overseas

Joseph Cawthra, 1759-1842

Founder of family dynasty, based on a 200 acre land grant from government, in Mississauga, which he supplemented with a purchase of additional 200 acres; opened Toronto's first apothecary; became principal grocery importer for Upper Canada; profited (profiteered, according to many) from the latter especially during War of 1812; regarded as a non-conformist for working outside, and occasionally speaking against, the ruling Family Compact of Upper Canada; son William multiplied the family's wealth through financial management and established a contagious diseases hospital with William Gooderham and James Worts, and a home for girls; principal supporter of the Cathedral Church of St James (Church and King), the oldest congregation in the city; considered Toronto's richest man through the 19th century; underwrote the Jarvis' family's completion of Jarvis Street

Cawthra Mulock, 1882-1918

Son to William and his wife, Sarah Ellen Cawthra Crowther; heir (to exclusion of siblings) to a large portion of Cawthra estate; referred to as 'Boy Millionaire'; active in philanthropy, theatre (including construction of Princess Alexandra Theatre), politics; dies of Spanish Flu

Colonel William Pate Mulock, 1897-1954

Grandson; MP for North York; youngest minister in Mackenzie King's cabinet; as postmaster general, developed Canada's modern mail system

Alfred Mulock Rogers, 1926-68

Great-grandson; actor in television series and spaghetti westerns, and for the latter moved to Andalusia to work with Sergio Leone, who regarded him as unstable and violent; jumped off a building after a day of shooting, allegedly in costume.

William Lyon MacKenzie King, 1874-1950

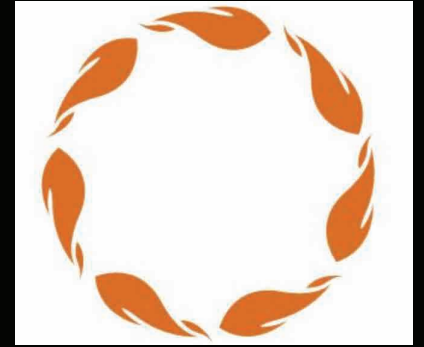
Liberal Prime Minister of Canada from 1921-30 and 1935-48; longest serving in Canadian history; consulted, via medium, spirits of Wilfrid Laurier, Leonardo da Vinci, his (WLMK's) deceased dog; during WWII he refused entry to Jewish refugees from Europe and interned Japanese-Canadians (categorised as 'enemy aliens'); managed Canada's expanding wartime economy and oversaw increase in welfare state, including establishing unemployment insurance and family allowances



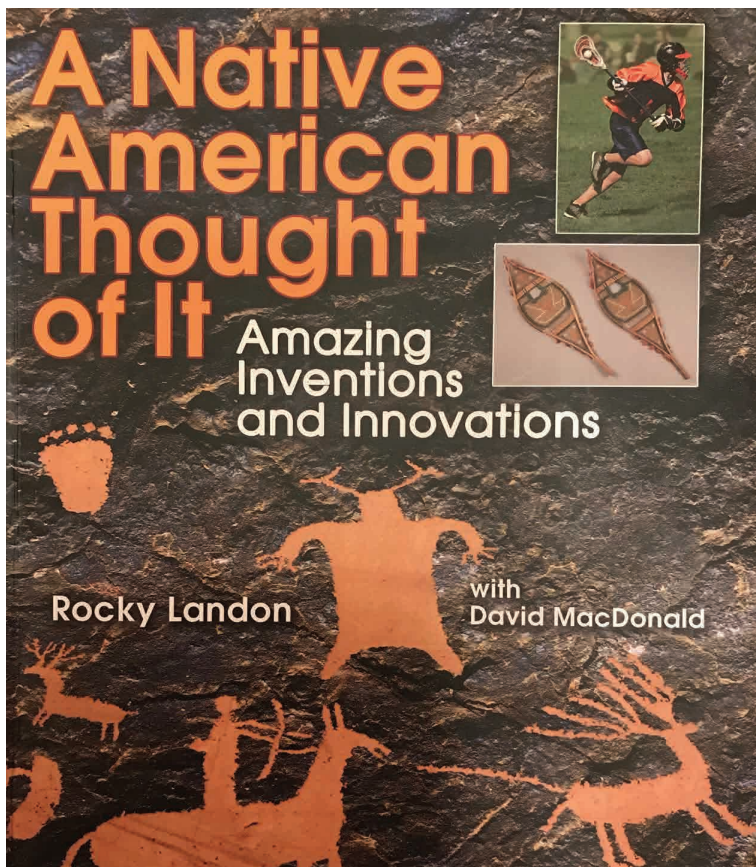
APPENDIX M
INDIGENOUS HISTORY SLIDE DECK
TRINA MOYAN BELL



TRUTH & RECONCILIATION



Who are you? Where are you from?



Can you think
of any?

So who was here?



1500-1550 – Wendat (Huron)

1660s- Seneca
(Haudenosaunee)

1660s- 1700s – Anishnabek

LARGEST WENDAT VILLAGE 20 MINUTES FROM NEW MARKET



- AD 1500 to 1530

- 98 longhouses

- multi-row perimeter palisades

- central “plaza” area

- middens and upward of 200,000
cultural artifacts

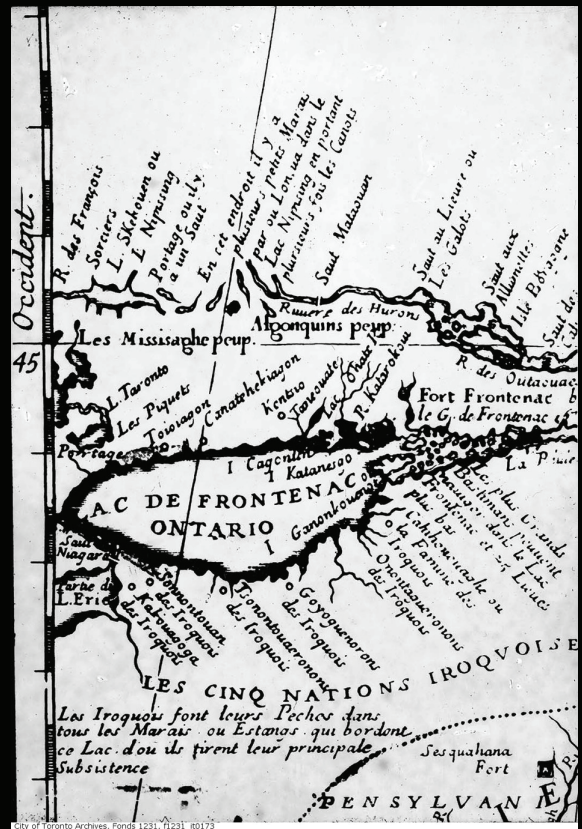
- corn fields 1 Km in each direction

- Hunting and harvesting would have
included the land New Market sits on

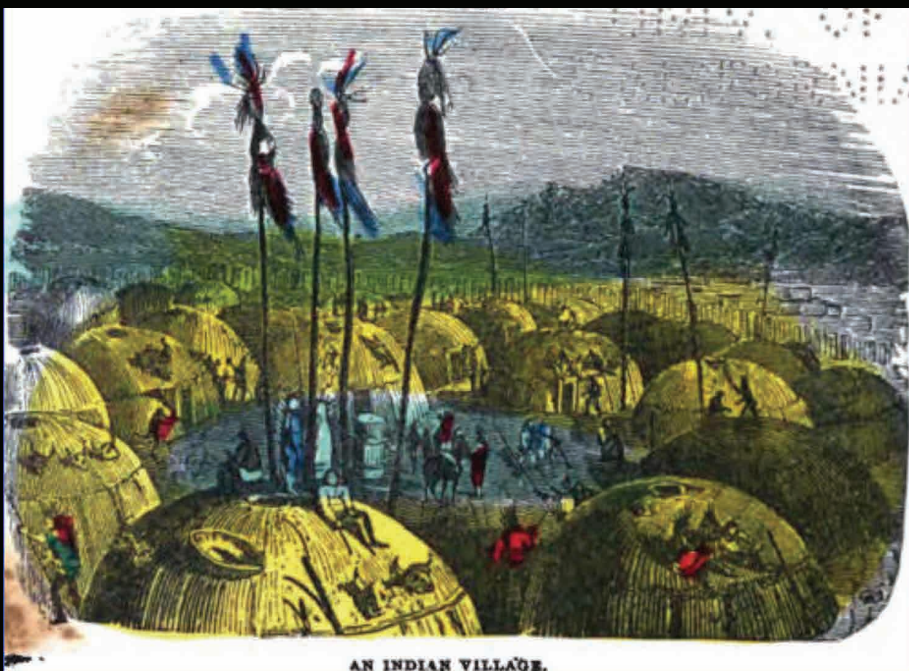
Seneca

MAP OF LAKE ONTARIO, CA. 1680.

THE VILLAGES OF TEIAIAGON AND GANESTIQUIAGON APPEAR IN PLACE OF MODERN DAY TORONTO AT THE HUMBER AND ROUGE RIVERS.



ANISHNABEK VILLAGES



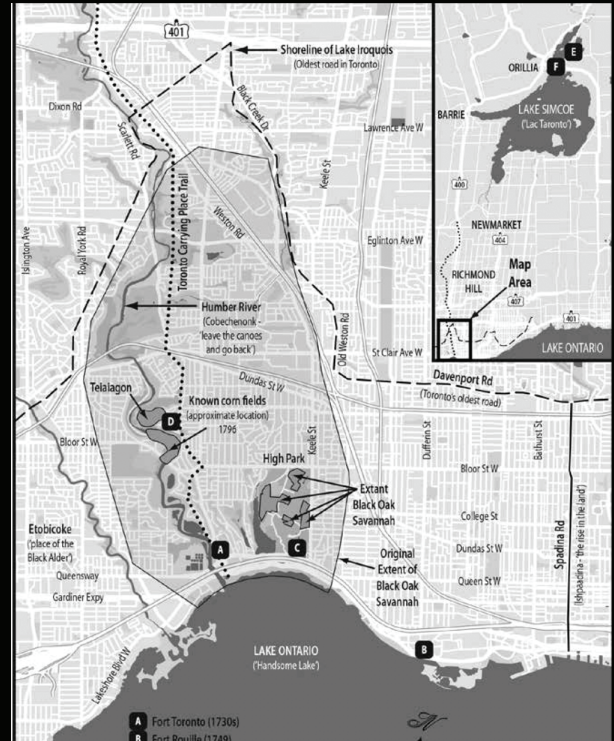
THREE FIRES CONFEDERACY:

- ODAWA
- OJIBWE/CHIPPEWA
- POTAWATOMI

EUROPEANS DEPENDED ON FIRST NATIONS FOR THEIR SURVIVAL – FUR TRADE



Toronto Carrying Place – Where is New Market?



LAKE SIMCOE/LAC TORONTO



The Doctrine of Discovery, The Valladolid Debate, Manifest Destiny



De Las Casas, Bartolomé, *The Devastation of the Indies*, Johns Hopkins University Press, Baltimore & London, 1992.



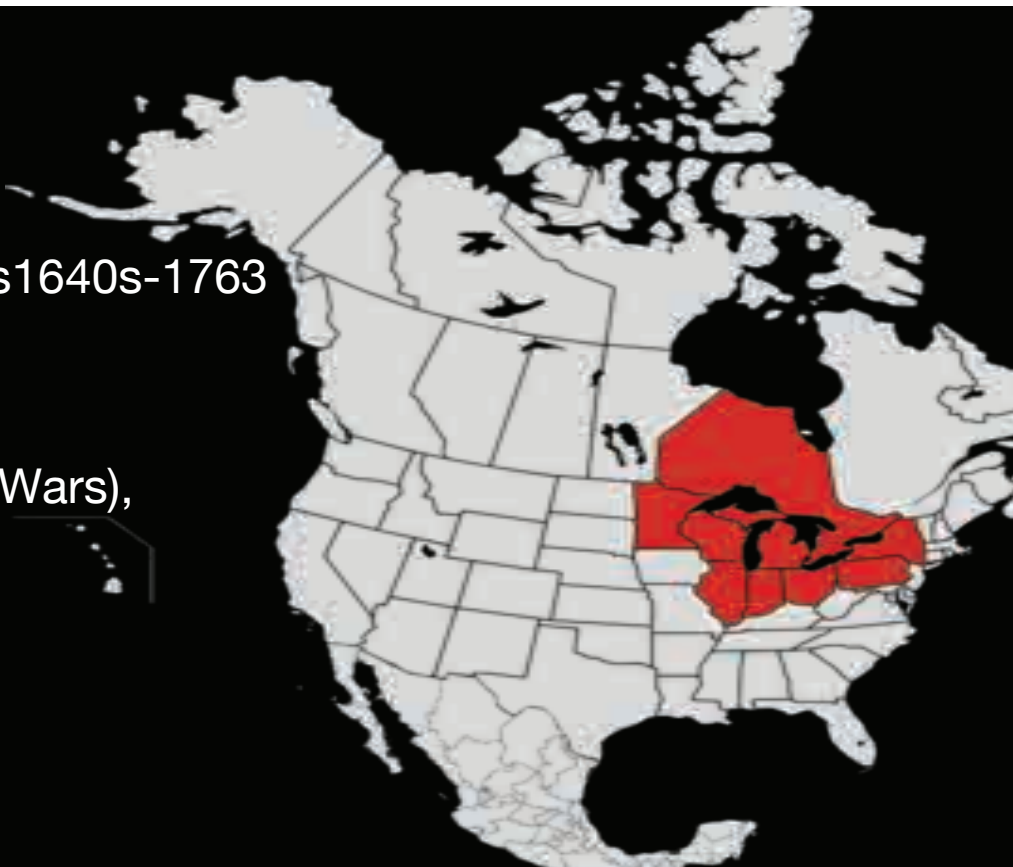
John Gast, *American Progress*, 1872

DISEASE

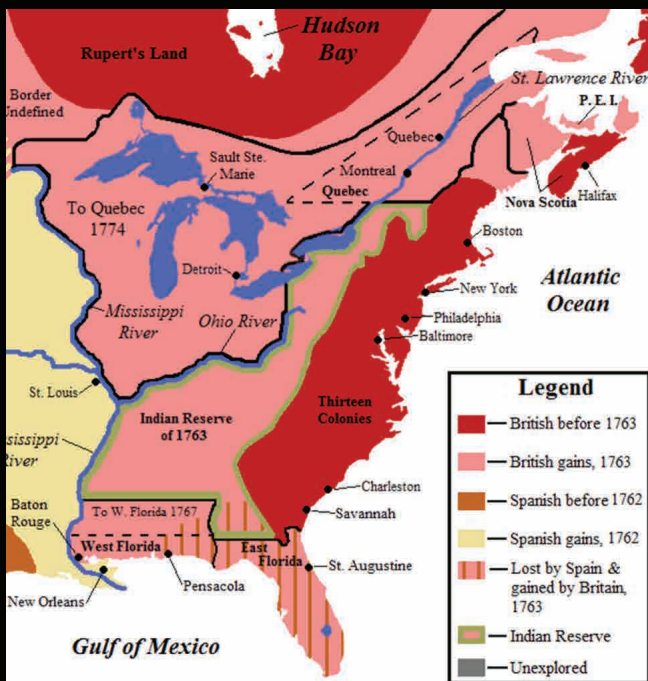


- Millions died. In fact, some people believe that more than half the Indigenous people alive at the time died from these diseases.

- ▶ Monopoly Trade Wars 1640s-1763
- Beaver Wars
- (French and Iroquois Wars),
- resource depletion
- 7 Years War



ROYAL PROCLAMATION 1763



- Set up core elements of the relationship between the Crown and First Nations – fiduciary responsibility

- Laid the foundation for the Treaty making process

- Acknowledged Indigenous title of Indigenous lands

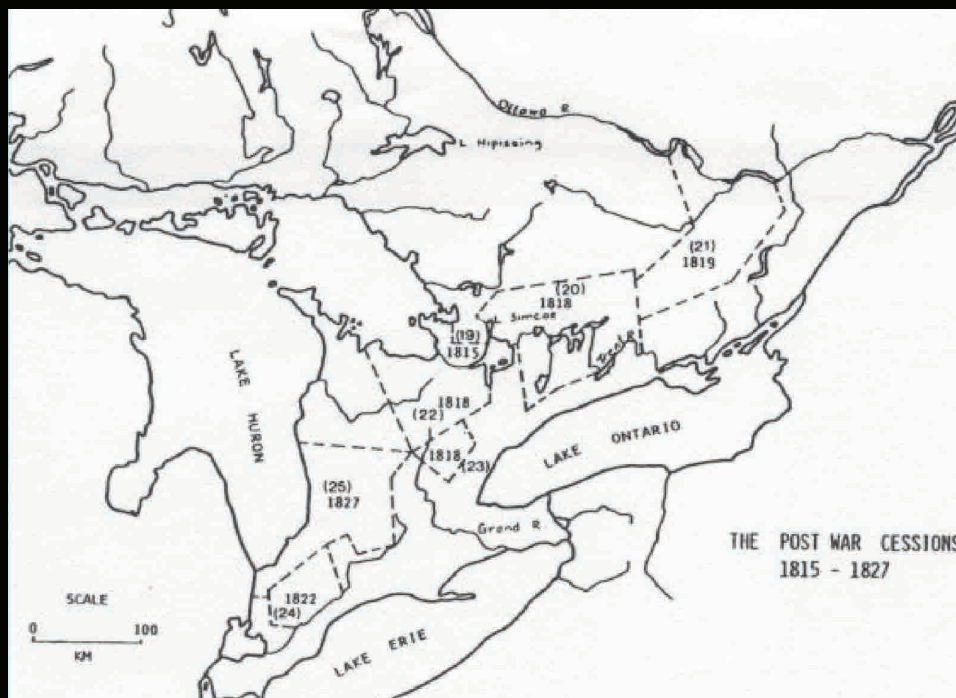
- British claim right to “purchase” Indian land through Treaty

- Métis kept out of ‘Treaty’ processes

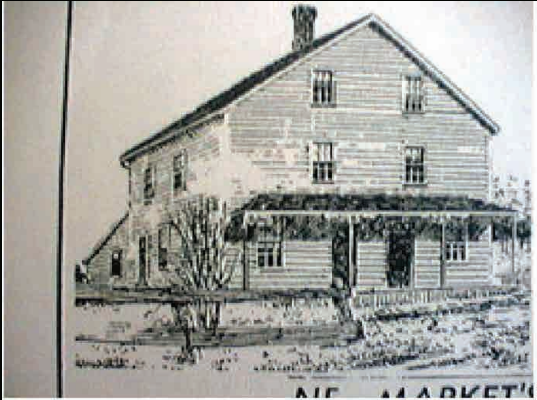
WAR OF 1812 (1812-1814)

- The War of 1812 was a military conflict between the United States and Great Britain. As a colony of Great Britain, Canada was swept up in the War of 1812 and was invaded a number of times by the Americans.
- The war was fought in Upper Canada, Lower Canada, on the Great Lakes and the Atlantic and in areas of the United States
- However, in Canada, the war contributed to a growing sense of National identity, including the idea that civilian soldiers were largely responsible for repelling the American invaders – but in fact it was the First Nations allies that ensured victory.
- In contrast, the First Nations allies suffered much because of the war

POST WAR – FIRST NATIONS PEOPLE PUSHED OUT & FORCED LAND SURRENDERS



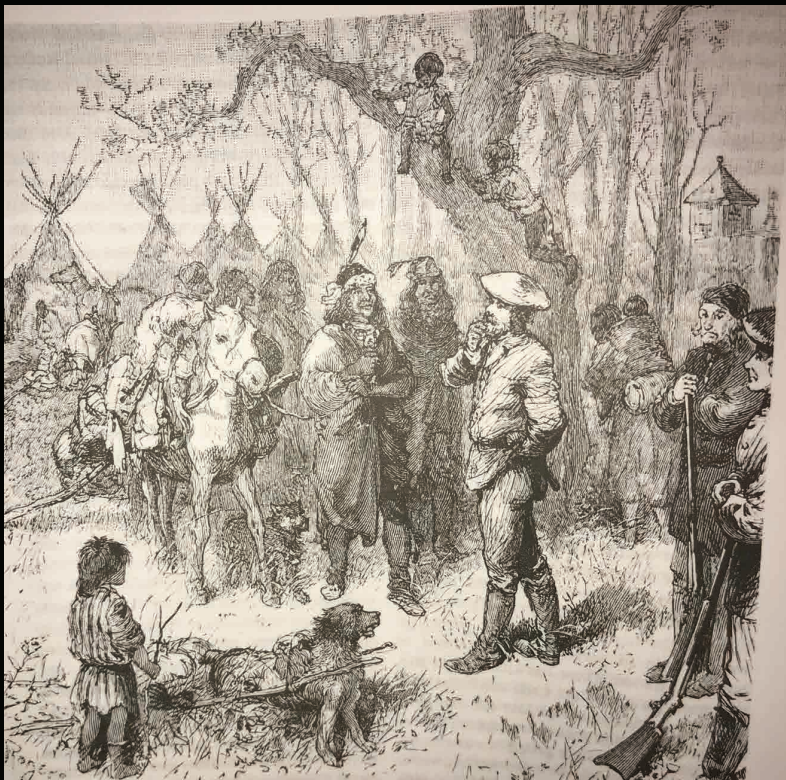
MEANWHILE NEW MARKET IS ESTABLISHED- 1801



*Hill Trading Post,
Main and Water Streets,
1801*

In 1801, Rogers, leading several Quaker families, left their homes in Vermont and Pennsylvania and secured land grants of 8,000 acres located at the east end of lots 93, 94, and 95 along along Yonge Street in the former Townships of Whitchurch and King. It was easy for them to see the potential in these fertile rolling lands, through which flowed the Holland River, an important trading artery for both aboriginals and fur traders.

New Market Trading Tree



CIVILIZING PROJECT BEGINS

Policy on “Aboriginal Tribes in British Possessions” in 1834:

Policy Goal:

- eventually relieving His Majesty's Government from the expense of the Indian department

Objectives:

1. To collect the Indians in considerable numbers, and to settle them in villages, with due portion of land for their cultivation and support.
- 2.d. To make such provision for their religious improvement, education and instruction in husbandry...

(Great Britain. 1968 British Parliamentary Papers of 1834)



January 19, 1843 – October 1, 1944



William Mulock was a longtime politician who served as Canada's postmaster general and then labour minister.

Legislative History

- 1857 Gradual Civilization Act
- 1860 Indian Lands Act
- 1867 Confederation of Canada (BNA)
- 1869 Gradual Enfranchisement of Indians Act
(Chief and Council system)

INDIAN ACT 1876

1881: Officers of the Indian Department - Indian Agents – given the same legal power of Magistrates

1884: Prohibited 'religious ceremonies and dances'

1884: Prohibited Indigenous people to gather in groups of 3 or more

1885: Pass system policy imposed

1905: Power to remove Indian peoples from reserves near towns with more than 8,000 people

RESIDENTIAL SCHOOLS



Canada's first prime minister, Sir John A. Macdonald, in 1883: "When the school is on the reserve the child lives with its parents, who are savages; he is surrounded by savages. Indian children should be withdrawn as much as possible from the parental influence" (Truth and Reconciliation 2015).

Undated before and after photos of Thomas Moore at the Regina Indian Industrial School



GENOCIDE

- Forced sterilization (eugenics)
- Nutritional experiments (i.e. prolonged starvation, trials on food supplements and medicines, withholding of medicines)
- Psychological experiments (i.e. electroshock, confinement)
- Infectious disease studies

Some children died as runaways and were found frozen to death in snowy fields; others who tried to escape their abusers drowned



PETER BRYCE



- In 1904, Dr. Bryce was hired by the Department of the Interior to manage public health issues in both the Immigration Department and Indian Affairs.
- In 1907, he issued a report critical of the health conditions in the residential school system of western Canada.
- His report also laid blame on the federal government for negligence that led to shocking death rates due to communicable disease, primarily tuberculosis.

BRYCE REPORT

- Statistics showed students were dying at rates between 24 to 69 per cent.
- Although the report was shared widely within the department, it did not gain much publicity.
- Duncan Campbell Scott, then head of Indian Affairs, dismissed Dr. Bryce's recommendations to establish proper hospitals and overhaul the Indian education system, and eventually terminated funding for his research.

RESIDENTIAL SCHOOLS BECOME MANDATORY IN 1920

"I want to get rid of the Indian problem. Our objective is to continue until there is not a single Indian in Canada that has not been absorbed into the body politic and there is no Indian question, and no Indian Department, that is the whole object of this Bill."

**Duncan Campbell Scott, 1920 in Johnston
1983**

Odds of **dying** for
children in **Indian**
residential schools:

1 in **25**

Odds of **dying** for
Canadians serving
in **WWII:**

1 in **26**

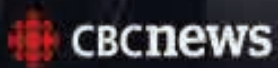


Image courtesy: Library and Archives Canada



**New Market
sits upon the
lands of the
Williams Treaties**

The Williams Treaties, seen in blue, cover a large part of central Ontario, including

Looking back: the Williams Treaties

1700s to 1800s

Treaties made for southern part of First Nations' traditional lands that protect their harvesting rights

Mid-1800s

First Nations first petition Crown about settlers on northern part of their traditional lands who are interfering with their harvesting

1923

Williams Treaties signed to try to deal with First Nations' complaints, but lead to longstanding disputes about compensation, land and harvesting

1992

First Nations file litigation seeking justice and fair compensation



The claim

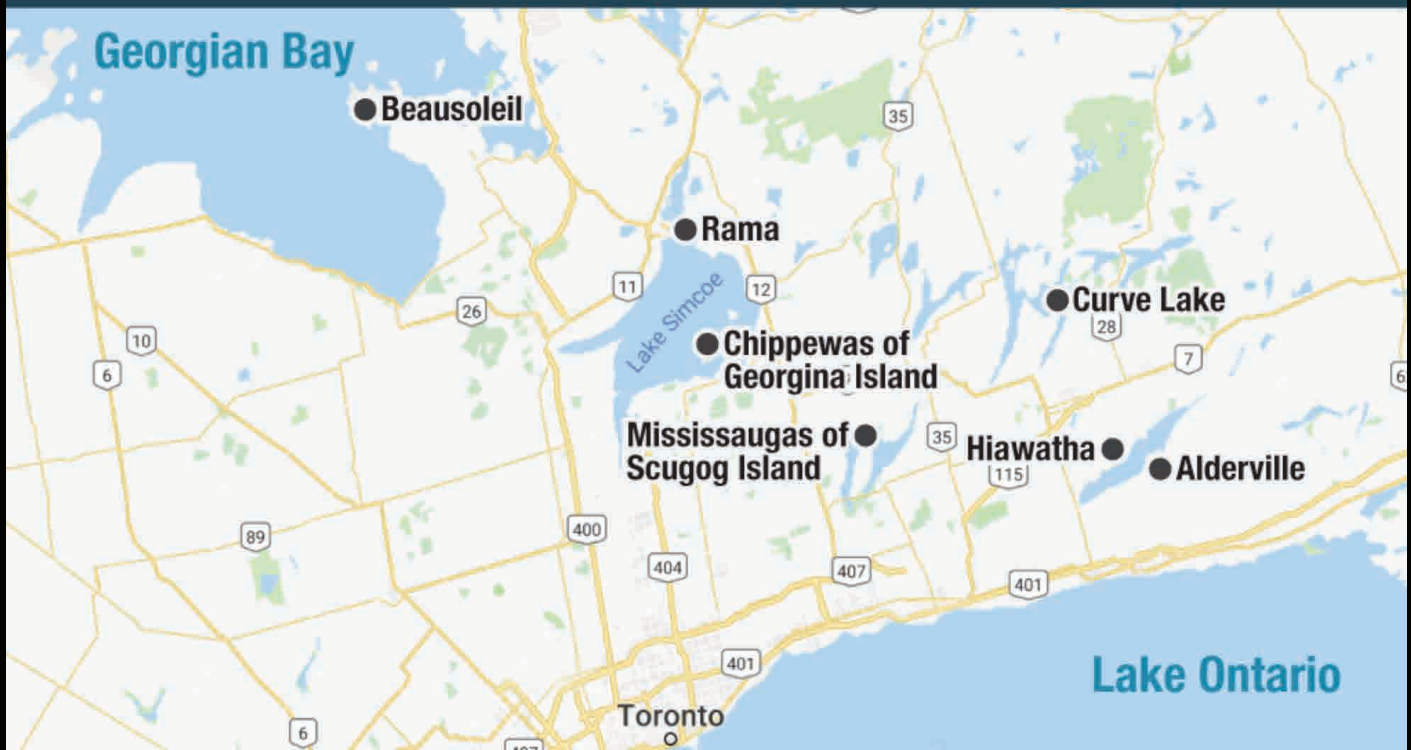
Crown did not act honourably when making and implementing Williams Treaties:

- proper compensation and additional lands not provided in 1923
- First Nations' harvesting rights unjustly denied

WILLIAMS TREATIES FIRST NATIONS

- The Williams Treaties First Nations are:
- Chippewas of Beausoleil, Georgina Island and Rama
- Mississaugas of Alderville, Curve Lake, Hiawatha, Scugog Island
- These seven First Nations are signatories to various 18th and 19th century treaties that covered lands in different parts of south central Ontario. In 1923, the Chippewas and Mississaugas signed the Williams Treaties and together, over 90 years later, the Williams Treaties First Nations have joined to ensure their rights to and the relationship with the land is respected.

Who are the Williams Treaties First Nations?



GEORGINA ISLAND FIRST NATION



Life on Georgina Island began in the early 1800's. The Department of Upper Canada wanted to separate the Indians from the white settlements, putting them on reservations was a way of accomplishing this.

In 1826, camp meetings were held by the Methodist missionaries who worked vigorously to convert Indians to Christianity. Schooling was encouraged and children were placed with mission families. They were trained to spread the Christian faith and were forbidden to practice their Native Teachings or to use their Native tongue. Boarding schools were to follow, taking children away from heart broken families.

STATEMENT OF APOLOGY FOR THE IMPACTS OF THE 1923 WILLIAMS TREATIES

Instead of protecting harvesting rights in your pre-Confederation treaty areas, the Williams Treaties were viewed as extinguishing ... This led to many challenges, injustices, and indignities ... mothers and fathers were unable to provide for their families as they had before. This, along with other colonial policies and practices, led to hardship and increased dependence on government. Other members who continued to hunt, fish, trap and gather off reserve or out of season were prosecuted under the law for harvesting. In some cases, these members had their nets, traps, or fishing lines taken from them, while others were fined or imprisoned. Still others were compelled to pursue traditional activities secretly — trapping and catching frogs at night or ice fishing under white blankets — so as not to attract the attention of authorities.... At times, only those who could outrun, outskate, or outmaneuver the authorities through the islands and shallows were able to escape prosecution.

Honourable Carolyn Bennet

The negotiated Settlement Agreement

Recognition of pre-existing treaty harvesting rights

for First Nations members in certain treaty areas

Federal and provincial apologies

for negative impacts of the Williams Treaties on First Nations

Financial compensation

\$666 million from Canada and \$444 million from Ontario

Additional reserve lands

each First Nation can acquire and apply to add up to 11,000 acres to their reserve land base

Total Indigenous population in Ontario:

374,395

Total Indigenous population in York Region:

695

First Nations
425

Métis
250

Inuit
20



STATS CAN – 2016

IDEAS: INDIGENOUS HISTORY AT MULOCK



Moccasin Identifier Project
Former Chief Carolyn King
MCFN

Indigenous Medicine, Teaching or Story Gardens



STORY TELLING INSTALLATION

- Indigenous memory and story telling – the missing stories
- Indigenous history of the area
- History of the treaties
- Told by members of the Williams Treaties First Nations

Celebrating Indigenous Authors & Artists from the Seven First Nations



**Drew Hayden Taylor
Playwright & Author
-Curve Lake First Nation**



**ARTHUR SHILLING
INTERNATIONALLY ACCLAIMED
PORTRAIT ARTIST
- RAMA FIRST NATION**



LEANNE BETASAMOSAKE SIMPSON
WRITER, MUSICIAN, ACADEMIC,
AND AUTHOR
- ALDERVILLE FIRST NATION



APPENDIX N MAGAZINE/BOOK ARTICLES

THE ESTATE RECEIVED FROM DEBORAH BARBOUR



The Newmarket Era



WHERE THERE ARE THE BREEZES OF HEALTH AND JOY

Sir Wm. Mulock's Farm The Enchanted Garden

It was with much pleasure I saw Sir William Mulock's "Farm" (as he loves to call it) the other day. It grows more and more beautiful every year, and well may it be called "The Most Perfect Farm."

The wonderful beauty, color and perfume of Sir Wm. Mulock's "Farm" is not only a pleasure to the eye, but a pleasure to the nose.



A close-up of the Brome Lake Boat Club on the shore of Brome Lake. In the foreground is on its way to the diving rack in the lake.

As you turn from Yonge St. at the unique gateway, and proceed up the driveway, you pass between stately trees, along a curved way that makes you fancy you are going to some remote spot in some ancient castle in England.

And that brings back the day of the hunt every body to my mind. What a day that was! Sir Wm.'s estate had plenty of color that day, but it was the "Huntsman's pink"!

30,000 Miles of Good Roads Attract Quebec Visitors

Province Criss-Crossed With Scenic Routes

THIRTY THOUSAND miles of good roads! It sounds like a description of the highway system of the entire Dominion of Canada, but it is not.

Social and Personal Paragraphs

Bullitt Trickett and family spent a week-end at Lambton Park. Mrs. J. H. Jones and family, and Mr. and Mrs. C. D. Evans and family, are holidaying on Georgian Bay.

EDDIE, THE AD MAN

IF YOU WOULD WATCH JUST ONE IN THE PHILE, WOULD YOU EXPECT SOME MERCHANTS EXPECT A VERY FLOW OF BUSINESS OCCASIONAL AD



25,000 Attend Lennox Picnic

(Mail and Empire Staff Writer.) Jackson's Point, Aug. 7.—Canada's most chosen between the forces of radicalism and conservatism because of the next Federal and Provincial elections the test between the two camps was held here today.

ENCOURAGEMENT FOR WESTERN FARMERS

St. Paul, Aug. 1.—Canada's wheat still stood supreme as the world's grain food and conference came to a close here today. Pockets of the biggest winnings of the \$100,000 in cash prizes, the Dominion Farmers' wheat banner at the top of the next with hopes rising that demand for Canadian wheat from foreign countries would cut down the 1933 carryover.

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Coming Events

Friday, Aug. 11.—Big Comedy Co. and Art Week's Orchestra at Cookstown. Friday, Aug. 12.—Art Week's Orchestra at Cookstown. Wednesday, Aug. 16.—Folk Picnic at Woodville Park. Sept. 13 and 14.—Street Dance and Coronation in Newmarket under Loyal Club.



NEW FACE FOR A COUNTRY HO

Paint and wallpaper join in color styling Mulock home, Aurora, Ont.

By J. C. MONTGOMERY

A LOFTY and ancient house, surrounded by groves of walnut trees, served the late Sir William Mulock for many years as a summer home. Located on highway No. 11 a few miles north of Aurora, Ont., the house was used for only a short period each year. Hence it had been left in its original state—a large and well built but old-fashioned country residence.

The present owner, Col. W. P. Mulock, had the house remodelled and redecorated recently, transforming it into a palatial country residence suitable for year-around occupancy.

Around verandahs and gables, the building had a lot of outmoded, rococo woodwork which was all removed. The entrance was remodelled and a large carriage porch erected over it, giving the building an entirely different and more imposing appearance.

However, the greatest improvement in exterior appearance was probably made by painting the whole building. The brick walls, darkened with age were painted white, along with the columns and woodwork around verandahs and sun decks. Color accents were provided by green shutters. Now, the large white building in its setting of green lawns, shrubbery, flower

borders, and hedges, makes an eye-pleasing picture.

The walls were prepared for painting by extensive wire brushing to clean them and remove loosened particles, according to Chas. Davies, painter and decorator who did the job. The brick walls, which had not been painted for 18 years, were given two coats of exterior gloss white, the first one thinned with turpentine. The new carriage porch received three coats, one of exterior primer and two of exterior gloss paint. About 20,000 sq. ft. of wall had to be covered, requiring 110 gals. of paint. The paint was burned off most of the verandah columns before they were refinished.

Interior Decorations

The entire interior of the house was also redecorated, and a number of alterations were made. Most of the ceilings were lowered one and a half or two feet, leaving them about 12 feet high. Oak floors throughout had the old finishes removed by sandpapering, and were then filled, varnished and waxed.

Walls in the entrance hall were papered in a floral monotone pattern, and doors and woodwork were painted white. Colorful scatter rugs cover most of the oak floor. The decorations and set off by carved

chairs and other pieces of antique furniture in dark finishes.

The stairway to the second floor is finished in black, with white risers and red carpet. Two tall and narrow windows on the stairway were enlarged to make one big window, which had red drapes matching the carpet. The large upstairs hall has the same wallpaper as downstairs, and a rug in which red shades predominate.

The remodelled library, at the front of the house on the ground floor, is a room of considerable character. Its walls were panelled and painted white, and the piano and stool were refinished to match. The ceiling is in texture-surfaced plaster also in a white finish. Color is introduced in the drapes and furniture upholstery, which are red. A large black desk and black rug help to tone down the room, creating a suitable atmosphere for reading.

New bookshelves and a red brick fireplace were built in across one end of this room. Swords and scabbards hang on the upper wall above the panelling. All lighting fixtures carry the Mulock crest, which also appears over the mantel.

Across the hall, the large living room has an archway with doors to divide it into two rooms when desired. New fireplaces and book

Y HOME

shelves were built in at each end of the room and the ceiling was lowered. Wall papers with patterns in monotone were applied on the walls and the ceiling was finished white.

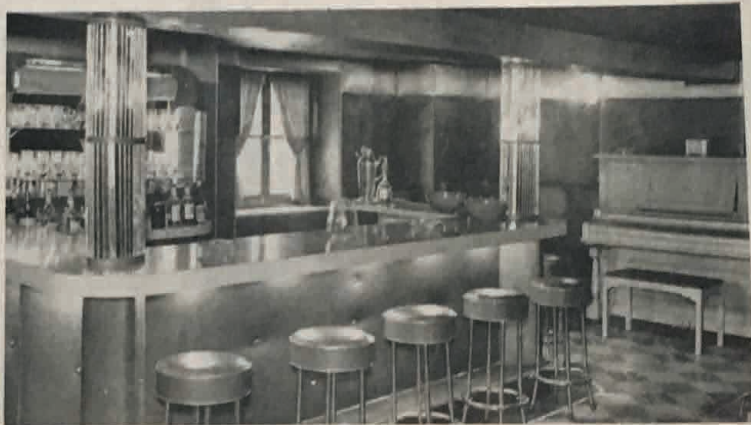
The immense windows, which open onto the verandah, are huge with drapes in dusty pink, which color also appears in the rugs. Furniture is covered with a bright floral design containing red, green and blue on a very pale green ground. Pink and blue cushions provide blending and contrasting color notes. Creating one dark spot in the colorful room, a black carved desk stands in one of the bay windows.

Blue is the predominant color in the dining room. Ceiling and upper walls were spray painted a pale blue tint. The lower walls were paneled and doors rebuilt to match; then all painted white. There are light blue figured drapes on the windows and a medium blue rug on the floor. In contrast to the light decoration, furniture is mahogany in a dark stained finish. There are two china cabinets and a large antique carved sideboard in a near-black finish.

The hall to the kitchen and pantry was also redecorated. Walls were first covered with fabric. The dado was then painted blue and upper walls white, with a silver stripe between. The kitchen and pantry were entirely modernized and redecorat-



A sophisticated room, the library has a large black rug and red furniture and drapes. New wall paneling, along with the piano, (not in illustration) was painted white.



The colorful recreation room has red leather on bar and stools, blue leather on the walls, and a band of silver next the ceiling. Piano, bench, and table were painted silver.



The dining room has blue carpet and figured drapes in pale blue. A paneled wainscot was installed and painted white.



Old brick walls were made bright with white paint. Dark green shutters break up the white expanses and harmonize with green in the shrubbery.



A corner of the entrance hall, showing two of the antique carved chairs, re-finished oak floor, woodwork painted white, and floral pattern wallpaper.



ed in white. Floors here are covered with blue inlaid linoleum.

Blue, red, and silver were combined to create a pleasing and relaxing atmosphere in the new basement recreation room. The ceiling was painted blue and walls were covered with studded leather in the same color. A border of silver-finished leather was carried around the top of the walls next to the ceiling.

A small refreshment bar at one end of the room has front and serrated-style ends covered with red leather. Corners of the room contain built-in settees upholstered in blue and red leather. A large table has a blue top and silver legs, while the piano is painted entirely in silver. Window sills are grey marble. The floor is covered with checkered pattern tile in terra cotta, black, and grey shades. Green, red, and white light add to the colorful effect.

The bedrooms, all on the second floor and each with its own fireplace, were also redecorated. The large master bedroom, with white marble fireplace, was painted pale blue. Another room has walls and ceiling covered with blue wallpaper. A large and gay floral pattern was selected for wallpapering another bedroom and connected sitting room. A rug containing strong reds harmonizes with key wallpaper colors here.

Colorful Bathrooms

Previously, the house contained one old-style bathroom. Four new ones were built in, three of them in space formerly occupied by a bedroom. One bathroom is finished in pale blue with blue tile. The second is white with black trim, and the third is finished in peach with pink tile. All bathrooms have tile floors.

The old bedrooms lacked closets. One room was converted into a dressing room with remaining space made into clothes closets for adjoining bedrooms. The dressing room, painted pastel blue, has a row of cupboards on each side. Full-length doors give access to chests of drawers, wardrobes, and other storage facilities. One pair of doors opens into a smart vanity dresser, with mirrors in front and on the wings formed by the backs of the doors. The cabinet woodwork in this room has a natural varnished finish.

The rear hall upstairs was finished in white, blue, and silver the same as the one downstairs. A sewing room has peach paper on the walls and white paper on the ceiling. Two large rooms at the rear of the house were divided into four for staff use. These also have papered walls and ceiling, with two rooms in blue, one in green, and one in pink.

Number of Coats

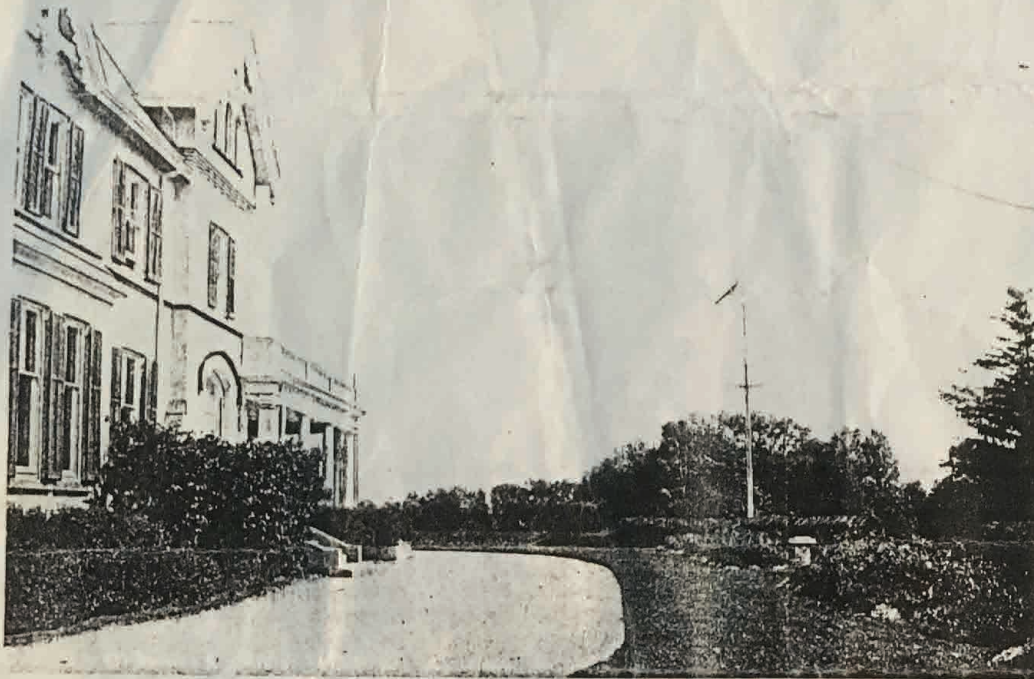
Painted ceilings throughout the house received three coats of flat finish. Painted walls were given one coat of sealer and two coats of semi-gloss paint. Four coats were applied on the new woodwork and panelling, which is pine. The finish here consists of one coat of sealer, one of flat, and two of semi-gloss paint.

Paint remover was used for stripping some old finishes. Old woodwork was thoroughly sandpapered before applying the first coat. After each coat of finish on woodwork had dried, it was sandpapered before the next coat was applied.

Constant supervision helped ensure a good job on this fine home, according to Mr. Davies. He feels it a source of satisfaction that, after handling painting and decorating here for the past thirty years, he was selected for the big job of changing the entire decorative scheme.

From all angles, inside and out, the house presents a greatly enhanced appearance since completion of the decorating and other work. Paint, wallpaper and other materials, along with the decorator's skill, played a leading part in effecting the transformation.

Cheerful living room colors include dusty pink in the carpet and drapes, and reds, greens, and blues in gay floral furniture coverings. Wallpaper has a soft monotone pattern which does not call attention to itself.



At the entrance to The Elms, the country estate of Sir William Mulock, near Aurora, Ont. Clipped flowering shrubbery is banked against the house, and there is an effective frame of boxed Cedar surrounding the curving driveway

THE ELMS : An Estate of Trees

By Anne Elizabeth Wilson

TREE-GUARDED, hidden from the traveller who passes its gates on the highway between Lakes Ontario and Simcoe, is an estate, which for half a century has stood as a symbol of all things permanent and lasting. That its chief beauty as well as its practical interest has been the planting and development of trees, is an indication of its atmosphere. It is a rare thing, indeed, to find acres brought to such arboreal growth and perfection during the lifetime of its owner. Indeed, the greatest surprise for the visitor at *The Elms* is to learn that every tree about the acres of grounds was planted by Sir William Mulock himself when, fifty years ago, he chose this site for a home. For the amazing variety, height and girth, the unstudied beauty, are like Nature's own forest growth—and yet Sir William will tell you that when first he came, it was a ploughed field!

Trees, shrubs, lawns like the English sward that has been nurtured for centuries, are the secrets of the impressive quality that distinguishes this Canadian estate. Perhaps the treatment of clipped shrubbery in hedges and massed effects about the house are most unusual and instructive. Clipped Cedar hedges are well known in our Canadian gardens, but clipped Spruce is an innovation in this country, I think. For density and richness, it is without an equal, and the "garden enclosed" behind the cream-colored gabled house, is distinctive with this low living wall of green. Behind the hedge, tall Golden Glow picks out its length against the great trees, while the Spruce itself forms a background for tall perennials and beds of bright annuals.

The whole decorative scheme of the grounds has been cleverly augmented with annuals—the beds about the front and side of the house sweet with Nicotiana in the evening, and lively with

dwarf Japanese Spruce which are so decorative and so seldom seen save in very formal gardens.

In the photograph of the house which gives only a hint of the long pillared gallery which flanks its eastern view, is seen the interesting group of flowering shrubs which are part of the entrance welcome. Variety is notable in all the planting at *The Elms*, and here the particular charm of it is fully realized—for growing side by side, interlacing branches and blending bloom, is every type of flowering shrub, clipped to hedge-like symmetry.

Elms, Butternuts, Maples, Evergreens of every sort and Black Walnuts make up the screen of green which surrounds but does not overshadow the house. From slope to slope one walks, struck afresh by the beauty which has been fostered and built by trees. Several beds, backed by white trellising or summerhouse, are set against groves that form the perfect background for such effect. It is as though the trees had said to beds of Phlox, Golden Glow Lilies and stone terraces trimmed with annuals, "Here is your setting. Now make the most of it."

THROUGH thirty acres of superb private grounds, one sees to the west, across the bright green of the kitchen garden and the boundary hedge, the white waves of Buckwheat that break against the feet of the Apple orchard. A lovelier sight than these hundred and sixty acres of bearing trees in blossom-time cannot well be imagined. It is one of the sights of the countryside in spring, for this part of Ontario at least is not given to many such lavish fruit plantations. It is in its orchards that *The Elms* becomes a productive estate. Planted chiefly in late Northern Spies, it is leavened with a few earlier varieties to secure successful fertilization of the tree. The orchard is now under the management of Sir William



It ought to be a pleasant place to sniff, when it is packed for the winter! Here the apples are brought from the orchard by horse, graded with utmost care and stored, as required by the market. With cool, whitewashed roughcast walls and ventilated windows, it is scientifically designed for the preservation of stored fruit through all the winters. Practically all of Sir William's fruit is marketed in Canada for home consumption. Curious about the part played by the black wheat in the orchard scheme, I learned that it is grown not as a crop but as a sort of ground-cleanser, keeping the acreage free of devitalizing growth. It seems that black wheat is such a lusty grower in itself that not even weeds can compete with it!

ORDERING the orchard to the south, across a cross-road lined with Maples, and across this divide is a fifty-acre section of land recently purchased by Sir William to ensure the privacy of his estate. Here his plantation of Black Walnuts is one of the chief features of the place. A grove of hundreds of young trees, three, four and six years old, gives promise of timberland of the first class, in years to come. The Black Walnut is not considered of value so much for its timber as for its exquisite wood, and recent statistics of this tree on a [See also page 48]

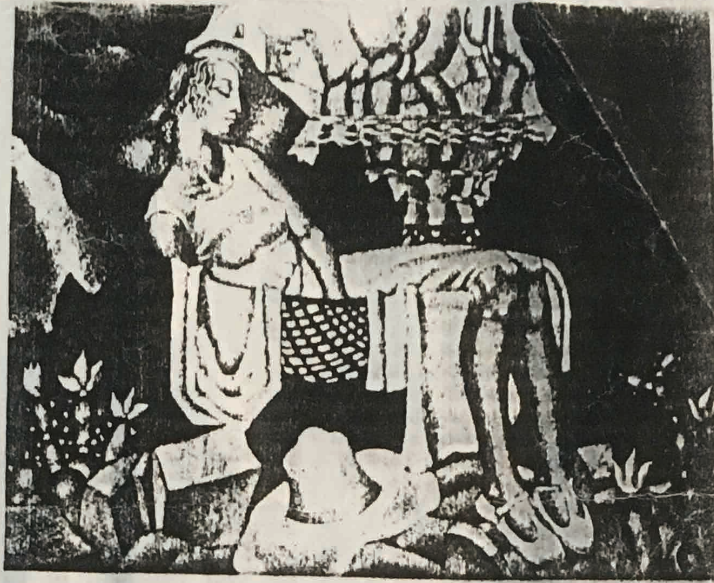


As the backbone of the "Age of Wood" the Black Walnut is slated to return to demand in the present century and its reforestation should be considered an important item in Canadian development. Sir William Mulock has had a plantation at various intervals over a period of years of hundreds of Black

Centre: A study in tree planting: A Fir beside a Willow, a Magnum Pine neighboring a Maple. No less than seven different varieties of native trees can be distinguished in this group, not to mention the flowering shrubs. All were planted thirty or forty years ago by Sir William, who strove to imitate Nature's own



A study in tree planting: A Fir beside a Willow, a Magnum Pine neighboring a Maple. No less than seven different varieties of native trees can be distinguished in this group, not to mention the flowering shrubs. All were planted thirty or forty years ago by Sir William, who strove to imitate Nature's own



Summer Day, by Braida Stanley-Creek, one of the British canvases shown at the Canadian National Exhibition Art Salon

THE ELMS

Continued from page 27

wholesale scale in the United States is an indication of Sir William's previous farsighted plan in establishing it here. The backbone of the "age of wood" on this continent, the Black Walnut is slated for a return to great demand within the present century, and its reforestation should be considered an important item in Canadian development. The establishment of another large grove in neighboring land is being considered on the Mulock estate at present. For its beauty of growth alone, the Black Walnut is an investment; feathery-leaved and deep green, it is one of the most satisfying of ornamental and shade trees, as the lush thirty-year-old specimens about the grounds of *The Elms* bear witness.

The Ontario Forestry Branch, with offices at the Parliament Buildings, Toronto, is supplying Black Walnut seedlings among the other forest trees for reforestation work. Anyone with land which is suitable for the purpose may secure as many as 3,500 baby trees in one variety or in assortment, and an additional 500 for windbreak purposes, if desired. The exact exemption from taxation in reforested land or natural bush is as follows: "Any part of a farm used for forestry purposes or being 'woodland' is exempt from taxes, provided that such exemption shall not be greater than one acre in ten acres of such farm, and not more than twenty acres held under a single ownership."

In giving instructions and findings on the Black Walnut, Arthur Herbert Richardson, M.A., M.F., in his government report, *Forest Tree Planting*, states that the Black Walnut has been successfully grown as far north as Ottawa, but for forest plantations advises that it would be unwise to use this tree north

Richardson states, will always be valuable, owing to its color and workability.

BUT these are not all the riches of what any beholder must feel to be one of the most beautiful estates in this section of Canada. Behind all its splendid development, stand seventy-five acres of original forest, untouched and held in Nature's trust. Here, at the present time, sport some fourteen Shetland ponies, temporarily freed from stable life by building operations on the estate-proper. One of them at least, *Piccolo Pete*, is now the particular pet of Master Billy, Sir William's great-grandson, who spent much of the past summer on its broad back.

Here in "The Bush" is the source of the spring, ninety-four feet above the house-level, which, caught in a reservoir and piped down from level to level, supplies the great house and all its hidden outbuildings with a perpetual flow of crystal water.

Judging from the previous estimates of its grounds, orchards and groves, in terms of acreage, it is not surprising to learn that in all *The Elms* comprises no less than three hundred and eighty-two acres. Sixty-seven, unaccounted for here, are in arable land. Four generations have lived upon it. Thinking of it in connection with its family, I know no phrase that so well describes it in feeling and in aspect as "ancestral acres." As the country seat of one of the best loved of distinguished Canadians, it has taken on the venerable beauty one connects with family holdings of the Old World. It has seen, and, in many senses, inaugurated the development of the country roundabout. Indeed, during his term as Postmaster-General, Sir William even named the local post-office! As one

TEN & FOSTER
maintain at all times
comprehensive stock
finest imported
ATIVE FABRICS
ors and their clients
assured that they
in a wide range of
whatever materials
desire, conveniently
d in our showrooms

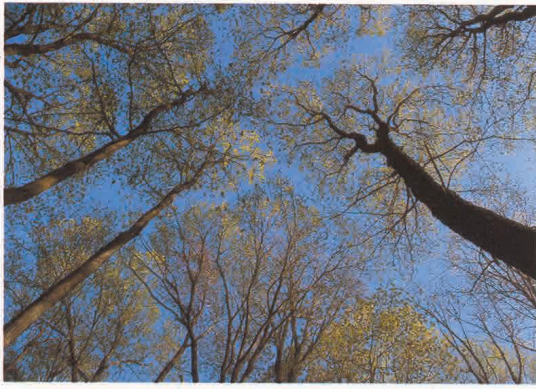
It Your Decorator
r Upholsterer



& FOSTER

2.10

02



THE **G**ARDEN OF

TOM AND JOYCE MULOCK
NEWMARKET, ONTARIO

Our garden consists of fifteen acres of lawns, trees and shrubs casually combined. The hundred or so varieties of trees and shrubs, most of them planted ninety years ago by my husband's great-grandfather, Sir William Mulock, are grouped in loose masses around open lawns. Giant Norway spruce soaring ninety feet high are skilfully planted along tiered banks.

Beyond forty-foot-tall cedar hedges, a variety of fruit trees have been planted in clusters, thus creating a lovely balance of blossoms in the spring. Groves of black English walnut, a rare Romanian walnut presented to Sir William in 1900 by the Romanian government, oak and chestnut, red and white maple, Koster blue spruce, several elm beginning to reappear, mountain ash, flowering crab apple and almond, and forsythia are a sampling of the many species existing today.

Ornamental evergreens – pyramid cedar, mugho pine, spreading yew, privet, juniper and many others – are set where their silhouettes are clearly visible.

With each season the panorama changes. From spring to summer there is the enormous satisfaction of seeing the buds and young leaves making their first appearance, and the solitude of neigh-

bouring woodland covered in a blanket of trilliums. In autumn the colours of the leaves range from pale yellow to burnt orange. In winter the evergreens provide a never-ending source of pride.

My husband and I have inherited a small but prodigious piece of Ontario, and we felt the best memorial we could offer was to continue living here, to replace the trees and shrubs that have perished and to maintain the property in the way its original owner envisaged it.





Opposite, above left and right: Ancient trees and vast expanses of lawn are the main features of this old Ontario farm property.

Opposite, below: Thousands of trillium carpet the woods in May.

Above: A grove of rare English walnut trees.

Mulock Property Master Plan Engagement Summary Report – Phase 1B



Prepared by PROCESS

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WHAT IS THE MULOCK PROPERTY VISIONING PROJECT?

In Fall 2019, the Town of Newmarket retained PLANT Architect Inc. (PLANT) and PROCESS to assist with the development of a vision and concept master plan for the Mulock property. This includes an extensive consultation process, outlined below.

ABOUT THIS SUMMARY REPORT

This report is written by PROCESS team members. It summarizes the key messages that emerged during the consultations held between October 2019 and February 2020. The feedback is being considered as the team begins to develop design options for the Mulock Property.

Our team conducted focus groups with Town of Newmarket staff and the public. This report focuses on the public's feedback. Town of Newmarket staff consultations are also summarized in the appendix.



Image from Diverse Thinkers Workshop

ENGAGEMENT OVERVIEW

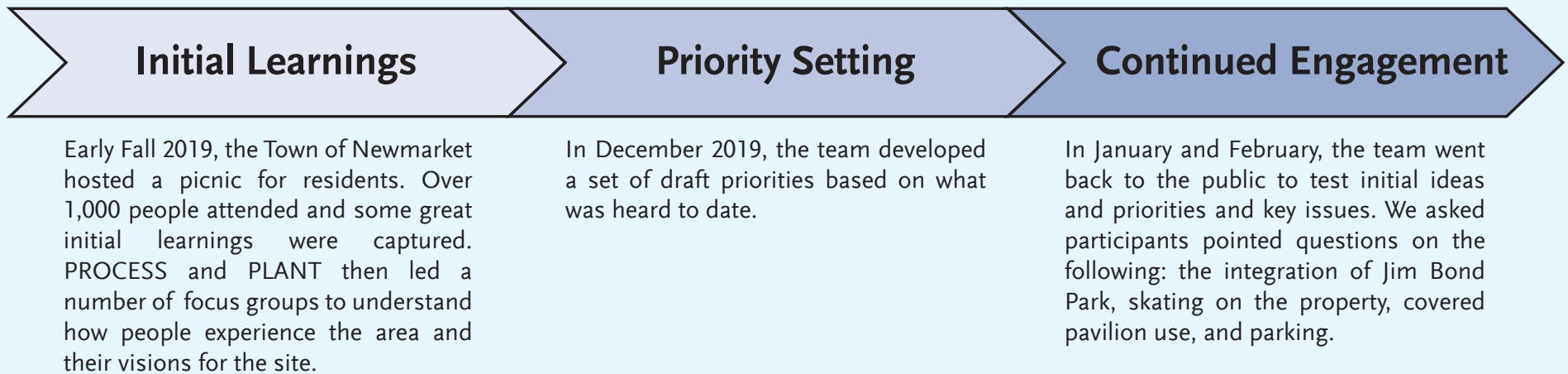
Over the course of Fall 2019 and Winter 2020, the Town of Newmarket led extensive public and stakeholder consultations about the Mulock Property. PROCESS, a creative engagement, urban and cultural planning studio, is working with the Town of Newmarket and PLANT Architect to design and facilitate inclusive public and stakeholder consultations. The objective of the consultation process is to ensure that the Mulock site is reflective of a diversity of perspectives.

Specifically, the consultations are intended to:

- **ENGAGE** a diversity of Newmarket residents and potential partners (including those typically not involved in planning processes);
- **EDUCATE** the public about the Plan project and process;
- **COLLECT** a range of ideas and feedback through transparent and authentic discussions about the future of the site;
- **COMMUNICATE** design decisions to the public about how their feedback and experiences can be incorporated into the development of the park (through a user-centric approach); and
- **BUILD CAPACITY**, excitement and ownership for the Mulock Property vision!



CONSULTATION PROCESS TO DATE



WHO WE ENGAGED

Group		# of participants
Internal	Task Force Workshops	12
	Council & Mayor Workshop	9
	Employee Survey	60
External	Public Picnic (organized by Town of Newmarket)	Approx. 1000
	Heritage Member Workshop	6
	York Region & LSCRA Workshop	8
	Diverse Thinkers Workshop	15
	Residents Visioning Workshop	Approx. 100
	Online Survey	1,109
	Schools	Approx. 50
	Pop-ups	Approx. 700
Total Engaged to date:		Approx. 3000



Residents Visioning Workshop



Residents Visioning Workshop



Child contributing to Pop-Up

DESCRIPTION OF CONSULTATIONS

PUBLIC PICNIC

On October 20th 2019, the Town of Newmarket took an exciting step and opened the Mulock Property to the public by hosting a public picnic. Over 1000 people attended. The picnic intended to create excitement, interest and education about the project and collect initial feedback on how the property should be used.

INTERNAL WORKSHOPS

*Town of Newmarket Task Force,
Town Council Workshop*

In December and January 2020, our team, met with Town and Region staff to understand their perspectives on a new vision for the Mulock Property, to ensure the ideas and designs that emerge from research and public consultations are implementable and actionable.

The Task Force and Town Council meetings included an Indigenous history and cultural competency training led by Trina Moyan Bell.

EXTERNAL WORKSHOPS

Heritage Focus Group, York Region and Lake Simcoe Region Conservation Authority, Diverse Thinkers Workshop

In December and January 2020, Plant Architect Inc., PROCESS, and the Town of Newmarket met with interested and engaged Newmarket residents, with specific interest in heritage and with experience in the business, nonprofit and cultural sector to hear their initial ideas about the property. The Diverse Thinkers workshop also included an Indigenous history and cultural competency training led by Trina Moyan Bell.



Diverse Thinkers Workshop

RESIDENTS VISIONING WORKSHOP

On February 5, 2020, Plant Architect Inc., PRO-CESS, and the Town of Newmarket conducted a visioning session with local residents regarding the future of the Mulock Property. The conversation focused on the five (5) priorities that will guide the creation of the Mulock Master Plan that emerged out of the previous consultations.

The event included a drop-in and a workshop held at the Old Newmarket Town Hall, 460 Botsford Street with approximately 100 people in attendance. The objectives of the workshop were to:

- Introduce the project and educate members of the public on the site history and context, including Indigenous Truth and Reconciliation cultural competency training;
- Share initial findings and thoughts on the site;
- Collect feedback on a vision for the site and understand top concerns/considerations;
- Generate excitement, energy, community buy-in and ownership of the project and process.

This workshop also included an Indigenous history and cultural competency training led by Trina Moyan Bell.



Images from Residents Visioning Workshop

POP-UPS

The Town of Newmarket hosted two pop-up consultations with activities designed by PRO-CESS. The pop-ups are intended to meet people where they are, educate people about the project through brief conversations and hear initial ideas about their visions for the site. Over 700 people participated, including a large number of youth under 17.

SCHOOL GROUP WORKSHOPS

On February 26th 2020, Town of Newmarket staff visited two Grade 12 classes at Sir William Mulock High School, which is within walking distance of the Mulock property. 46 students participated in the workshop, with Town staff using activities designed for Pop-Ups. The purpose of the meeting was to share the background research to date and gain their input about the vision for the property.

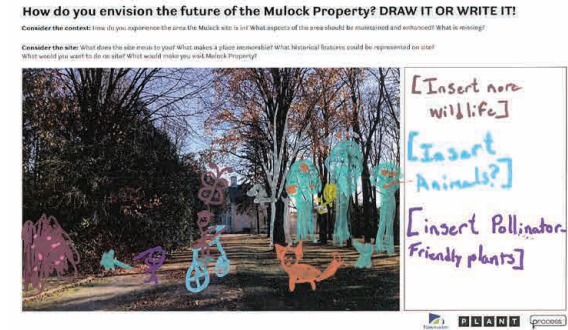
ONLINE SURVEY

Public and Employee

An online survey was released to collect feedback about people's experiences with the property and area and ideas for the site moving forward. An online survey can reach a wider audience than in-person consultations. Unlike the in-person consultations, which provide more opportunities for background information, education and dialogue, the online survey format does not offer as much opportunity for mutual learning. We also collected information via email and the HeyNewmarket website.



Child contributing to Pop-Up



Hand drawn feedback from Pop-Ups

Who's Missing?

It is important to acknowledge that while the consultations were designed to be inclusive, it is difficult to reach all people within the municipality. Through the process, our team constantly asks 'who is missing', what experiences are not represented and what steps we can take to better engage people. By incorporating a diversity of outreach, in-person and online opportunities to engage, we hope to break down barriers for those who typically are unaware or unable to participate.

WHAT WE HEARD BY THEME

Below is a summary of key findings we have heard from each of the public engagement groups based on the following:

- Experiences Today: Context and Property
- Future: Property and House
- Priorities and Themes: A Destination; Rooted in History and Forward Looking; Inclusive and Accessible; Natural; Connected.

Quantifying Responses: After the team categorized the various comments from the different engagements, we assigned an approximate level of frequency that comments were documented. The scale is: Most, many, some, and few. Outlier comments are also included and referenced. The appendices provide a more detailed summary of the comments from each engagement.

Key Issue Testing: Understanding that there are prominent decisions to be made around specific issues, our team carved out specific questions for these issues. This includes: skating use on the property, a covered pavilion on the property, parking on site and in the area, and the potential integration of Jim Bond Park. Comments on these topics are integrated in the discussion below.



Natural Area

EXPERIENCES TODAY

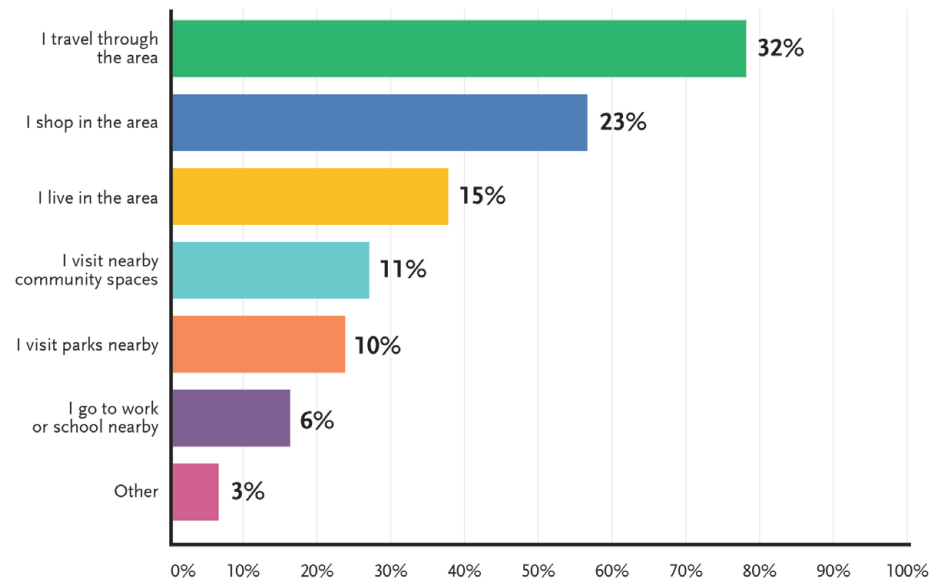
Context Today

How people experience the area:

- Most people indicated they pass-through/ drive through the area.
- Many people shop or live in the area. Some people visit local community spaces or go to school or work nearby. Few people walk, run or cycle in the area or visit family or friends (see Figure 1, Figure 2 and Figure 3 for public survey results about experiences in the area).
- While many people perceived the area as “in transition,” local neighbours also described the area as their community. Key features people identified with or described include:
 - Nature’s Emporium plaza;
 - The adjacent Summerhill neighbourhood;
 - An area with offices, plazas, hydro;
 - Disturbed wetlands.

“The area is prone to being a bedroom community. We want to get rid of the idea that you have to go to the city to experience everything.” – Heritage Focus Group participant

Figure 1: Online Survey Respondents Experiences in the Area



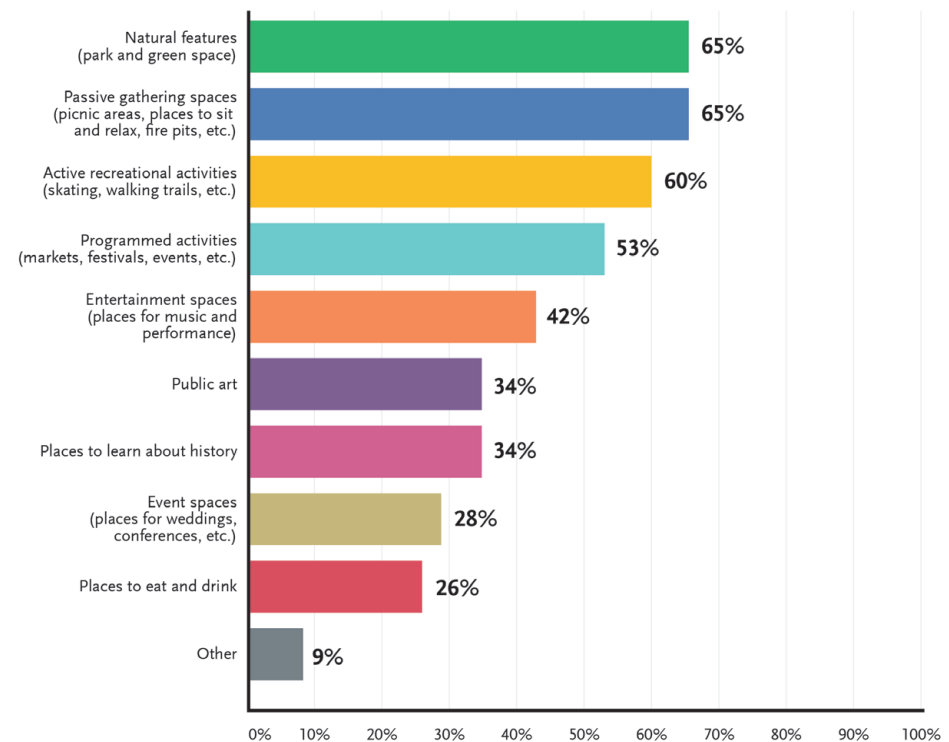
What's missing in the area

According to the online survey, people felt that the following were the top community amenities missing in the area:

- Natural features and passive gathering spaces (including places to picnic areas, places to sit and reflect, fire pits, etc.).
- Online survey respondents also identified active recreation activities and programmed activities.
- Other amenities mentioned included:
 - Community gathering spaces
 - Art and cultural spaces
 - Public amenities such as libraries or daycares

Figure 2: Online Survey Response – Community Amenities that are Missing in the Area

65% indicated natural features and passive gathering spaces; 60% indicated active recreational activities; 52% indicated that programmed activities were missing.



SITE TODAY

Experiences

There are a variety of experiences with and perceptions of the Mulock Property.

- Most people engaged know of the site because they drive past it or live in the area. Some people have heard stories of the property but have yet to visit. Few people have visited when the Mulock Family lived there or had a family or a friend connected to the site.

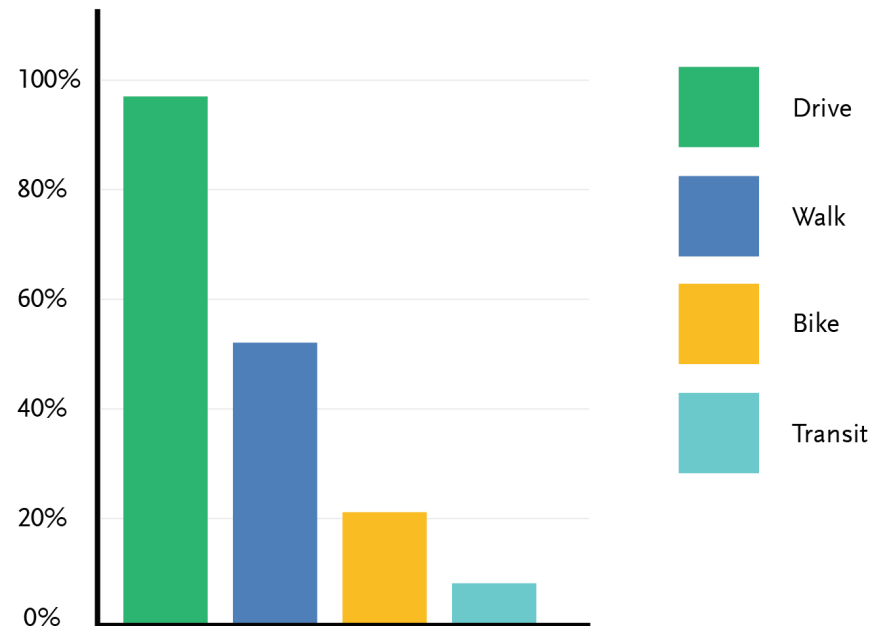
“A Family member used to deliver milk and eggs to property owners over 30–40 years ago... maybe longer.” – Survey Respondent

“I’ve driven by and always thought it was a beautifully preserved property” – Survey Respondent

Online Survey Response: Current experiences and understanding of the property

Based on the online survey, 47% have driven past the site; 25% have heard many stories but have yet to visit the site; 11% have never heard of the site; 7% attended the picnic hosted by the Town in fall of 2019; less than 5% have visited when the Mulock family lived at the property and/or had many connections to the site.

Figure 3: Online Survey How Respondents Travel to Destinations in Newmarket



PERCEPTIONS OF THE SITE

The majority of participants had diverse perceptions of the site and described it in a number of ways:

Unknown/Mysterious: While many people live by the area or have driven past it, very few people have been on the property – leading to a sense of mystery.

“There was a rumour that a band member from Rush lived on the property.” – Diverse Thinkers Workshop member

“I always wondered why this gorgeous property does not seem to be used” – Survey Respondent

“When I was a kid, we were told that if we tried to visit the property we would get in trouble for trespassing. So, instead, my friends and I would try to get a peek of the house/property through the trees as best as we could.” – Survey Respondent

Local neighbours used the following words to describe the site:

natural; woodsy; urban; central; homey; majestic; fluid; oasis; peaceful; to-be-preserved; elegant; small-town-feel; potential.

Historical Significance: Many people recognize the site as a historical landmark in Newmarket, having heard stories about the families who have lived on site.

“It is one of the few, if not only, properties somewhat untouched from the original period, from the Rogers family.” – Heritage Focus Group member

“It’s been a historical landmark at Yonge and Mulock for my whole life. My children’s lives too.” – Survey Respondent

“[The property] is a survivor; a place that has survived change and development in Newmarket.” – Diverse Thinkers Workshop member

Natural Oasis: Many describe the property as an intimate and enclosed green and natural oasis, nestled within a changing environment, due to the presence of greenery and nature. Some have a sense that it is secluded, private and isolated and are excited for it to be opened up to the public.

“The sense of enclosure and shape of the space is so intimate. It is not a trail, but a place to gather and enjoy the acres of space around (very different from the rest of experience in Newmarket).” – Mayor Taylor

“I love the natural beauty of the trees and beautiful lawns.” – Survey Respondent

“It is a green gem nestled into a residential context” – York Region Focus Group Member (also local resident)

“A secluded oasis away from the busy bustle.” (intimate, enclosed, nestled)

FUTURE OF THE SITE AND AREA

Mulock Property

Specifically, the following key aspects were discussed and proposed:

Preserve and enhance the natural environment (including the trees, gardens, and naturalized spaces for wildlife):

- There was much discussion on incorporating diverse gardens, including traditional Indigenous medicine gardens, vegetable gardens, community gardens and flower gardens. Some people indicated the property should be pet-friendly and advised that it should be on-leash.

“Include flowers everywhere” – Student Workshop participant

Incorporate passive gathering spaces:

- Many people are interested in picnics, places to sit, opportunities for relaxation and meditation.

*“It should be a place to read and relax.”
- Student Workshop participant*

“...A quiet area to meditate. Include a fire pit area in the winter.” – Local neighbour

“I pay money to take a break from my phone... Can this be a place to disconnect?” – Diverse Thinkers Focus Group

“I would like to see a quiet area for reading and meditation. Possible waterfalls, fountains, benches, labyrinth” – Resident Workshop Participant

Include options for active recreation:

Many people indicated they are interested in opportunities to walk or bike as well as formalized recreation. Ideas suggested include walking trails, skating trails and natural play areas.

Promote programmed activities and events:

Many people recommended having organized programs such as art classes/workshops or community events such as farmers markets and music events.

*“Use the topography of the land to create a music venue or outdoor performances”
- Visioning Workshop Participant*

“Include passive areas for concerns, use lawn chairs, use a portable stage (like East Gwillimbury) to have acoustic concerts...” – Visioning Workshop Participant

When asked about the future of the site, the following ideas were shared:

- A Destination;
- Accessible;
- Natural;
- Inclusive;
- Approachable;
- Welcoming;
- Integrated with the surrounding;
- Connected to history;
- Preserved and untouched.

Incorporate opportunities for education:

Participants discussed wanting to learn about the diverse histories of the site, including the Quakers, Mulock and Indigenous history as well as environmental education.

Mulock House

The majority of participants suggested that the house should include affordable food (either through a restaurant or cafe), incorporate flexible events, be a place to host art events or an art gallery and include some sort of interactive historical feature. While the majority of participants believe that the house should be accessible to everyone, there is also an understanding that it may be used for revenue generation and be a rental venue (for weddings, conferences, events).

“Consider ‘flagship opportunities’... whether its a site for art, creativity, innovation” – Diverse Thinkers Focus Group

“We’d love a natural destination that fits with the community it borders. Perhaps a pub on site to service summer crowds with a patio and winter crowds who go skating on a trail ... and an art gallery/museum/event venue in the home similar to MacLaren Art Centre in Barrie.” – Online Survey Respondent

“The big question is: are we keeping it a community learning environmental destination or a money making tourist destination?” – Online Survey Respondent

Online Survey Response:

- According to the on the online survey, people felt that the following would make the Mulock Property a place to visit: 73% of respondents said maintained landscape/green spaces; 70% of respondents said passive gathering spaces; 67% said active recreation; 61% said programmed activities would make them want to visit the property.
- When asked to expand on the types of recreational activities, the top comments were: 83% wanted walking trails; 51% of respondents said skating; 40% of respondents said a playground/play area and a splash pad/playable water feature.



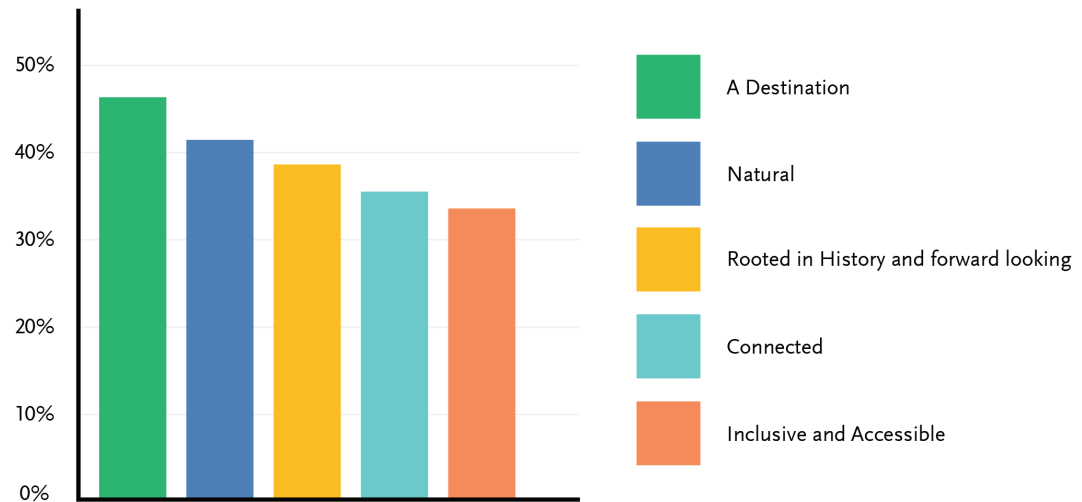
Mulock House

FUTURE OF THE SITE AND AREA

Based on the first round of consultations in Fall 2019, the project team developed five priorities for the site to test with the public. Participant feedback is categorized by each priority:

- **A Destination**
Ensure this site becomes a significant place to visit in Newmarket.
- **Rooted in History and Forward Looking**
Share the multiple layers of history and evolution of the Town on the site.
- **Inclusive and Accessible**
Create an inclusive and accessible site for all residents and visitors.
- **Natural**
Maintain and enhance the natural features of the landscape.
- **Connected**
Connect the site with the neighbouring areas (Jim Bond Park, the hydro corridor) through pedestrian walkways, trails and cycling routes, to ensure it is integrated within the Town of Newmarket.

Figure 4: Online Survey Respondents Mulock Priorities Ranked



Online survey respondents found all priorities important, with the site as a destination viewed as slightly more important than the others.

DESTINATION

There were many ideas shared about how to make the property a destination:

Make the property ambitious, unique yet also a place for daily use:

- The majority of participants see the property as accessible, inclusive and welcoming. While most envision it as an extraordinary destination park, many of the local neighbours and youth who participated also hope it can be a place to visit on a daily basis.
- Many interested folks (diverse thinkers) specifically were interested in developing something ambitious, unique and “well beyond the ordinary.”
- Many of the local neighbours and nearby school group participants, specifically indicated that the site should be used daily.

“Embody the slogan ‘Well beyond the Ordinary.’” – Diverse Thinkers Focus Group member

“A place for everyday enjoyment, weaved into your weekly routine and not simply a place to visit on special occasions.” – Residents Workshop Participant

“The town should encourage supporting businesses to work there. Food trucks, coffee shops, restaurants. It would be amazing if there was a way to get there by bike. My family frequently bikes from Bayview and Mullock to downtown Newmarket for ice cream or lunch. It makes for a great, active, screen-free afternoon. :)” – Online Survey Respondent

Potential themes to incorporate as part of the Property prioritized through the consultations include:

- Environment (ex. environmental/outdoor education and programming);
- Innovation and experimentation (ex. a tech or innovation hub);
- Education and Indigenous education (ex. Medicine garden);
- History (ex. Dynamic and interactive historical features);
- Art and creativity (ex. Public art, gallery, etc.)

Programmed Activities and Art

Many participants want to see programmed activities and art on site. In particular, there were a number of artists and diverse thinkers who particularly discussed opportunities for an arts hub, art gallery and/or public art on the site (either temporary or permanent). According to the online survey, 62% want to see programmed activities on site (markets, festivals, community events) and 36% specifically indicate they would like to see public art on the site.

Testing Key Issues

Skating: There were mixed perspectives on skating, with the majority of participants not wanting or mentioning a skating rink on site. The idea of a skating rink or skating trail was included in the Town's original vision for the property based on early consultations and presentations by the Town just after the purchase of the property. The Town specifically requested that through the engagement process, our team would look specifically for feedback on this topic. Here is what we heard:

Online Survey Responses: Of those who want to see active recreation on site, when asked about skating, only 50% of respondents want to see skating. This is in relation to 89% of respondents wanting to see walking and running trails.

In-Person Responses: In the in-person engagement sessions, our team specifically introduced visual diagrams to demonstrate impacts and opportunities of providing skating (either as a trail or rink) on site. These diagrams showed that: An NHL sized skating rink is large, and would dominate any of the available open spaces, especially if it was covered, which was part of the early Town vision.

Smaller skating rinks or rinks of different shape and size could be accommodated in different locations ;
A skating trail could be accommodated on site but would likely be 250-500 m, which is significantly shorter than the 2km Arrowhead Skate Trail originally presented on the website.

Skating Rink: Through in-person consultations, when asked, an overwhelming majority did not support having a skating rink on site, especially an NHL sized rink. Participants would prefer to maintain the natural features, including open landscape areas and trees on site.

Skating Trail: Most participants support a skating trail if it makes sense, and does not overwhelm the site, indicating that the trail could be used in the summer as a walking path or multi-purpose trail for cycling that could connect to city-wide trail networks. However, some participants did not think a skate trail was necessary and few participants did not want any skating activities at all, given the emerging weather/climate change, or lack of interest.

ROOTED IN HISTORY AND FORWARD LOOKING

For the most part, participants are interested in recognizing diverse histories in creative ways. This includes the histories of the Indigenous peoples, Quakers (including the Rogers family), the Mulock family (and specifically Sir William Mulock) as well as other histories less often told, such as the African Canadian history within York Region.

“Sometimes we forget there is a deep history in Canada [speaking to the Indigenous history]. We just aren’t aware of it and it should be recognized.”
– Diverse Thinkers Focus Group Member

There are specific aspects of Mulock’s history that participants are interested to see incorporated into the site, including Mulock’s experience as:

- An innovator/experimenter;
- A naturalist, farmer and gardener;
- A ‘man of the trees’; and
- The social convener, community gatherer and storyteller.

Participants are interested in incorporating educational opportunities to share and learn about the history. These opportunities can be incorporated into the landscape (such as various types of gardens), through the architecture, public art (through artworks and performances) or programs (such as interactive exhibits or augmented reality). The majority of participants want to avoid static exhibits or museums. Only a few on-

line survey respondents mention the desire for a museum. The members who participated in the Heritage Focus Group workshop did not support a museum but instead suggested there could be some elements in the house that speak to the history, in conjunction with other uses. Ultimately, there is a desire to ensure the past is connected to the present and the future and that the site is not “frozen in time.”

“The property should include layered gardens of peonies, Indigenous medicine, and food so that people can experience the layers of history in a shared garden space.” – Visioning Workshop Attendee

“What about tours for schools to learn about all the rich history of the location and the historical figures who visited this site and their contributions to Canada and the world? It would also make a great beekeeping site.” – Online Survey Respondent

34% of online survey respondents said they want places to learn about history included on the property.

Many of the youth who participated in the school workshop recommended incorporating history through murals, signage, heritage trails, water features, gardens or experimental farms and healing gardens. They indicated having an interactive experience with augmented reality, 3D projections and other digital technologies. The youth also indicated the desire for more social gatherings such as annual festivals or community programming like Yoga in the Park, which speaks to the history of the property.



Image from Residents Visioning Workshop

INDIGENOUS ENGAGEMENT - TRUTH AND RECONCILIATION



Town of Newmarket Task Force Workshop with Cultural Competency Training led by Trina Moyan Bell

In 2008, Canada's Truth and Reconciliation Commission was created to inform Canadians about what happened in Indian Residential schools and document the truth of survivors, families, communities and anyone affected by their experience with residential schools. Released in 2015, the TRC recommends 94 Calls to Action aimed at federal, provincial, municipal and community levels and are intended to create and renew relationships between Indigenous and non-Indigenous peoples.

Reconciliation is more than a word. It's a process of relationship building. It is an ongoing learning process for both non-Indigenous and Indigenous people. The first step of Reconciliation is to speak about the truth and learn about the history of the Indigenous peoples because local histories of the land have not been widely taught, for both Indigenous and non-Indigenous peoples.

Settler histories and experiences dominate decision-making and narratives about municipalities in Ontario, and Canada, rendering Indigenous communities' deep cultural connections to the

land largely invisible. Bringing Indigenous education into the consultation process asks Newmarket residents and participants to think more broadly about what stories should be told in their municipalities through landscape, programming and design. In addition, engagement with Indigenous communities within Newmarket and within the neighbouring Williams Treaty First Nations is essential.

The PROCESS team includes collaborator and Indigenous consultant Trina Moyan Bell, who has played an essential part in this project. She has worked with the project team to research and raise awareness of Indigenous history and knowledge of the Mulock Property and the land Newmarket sits on. This is an important step as the municipality continues to address Truth and Reconciliation.

What we've learned

Below is information based on Trina Moyan Bell's initial research and consultation about the area. Indigenous history has not been continuously documented in the same manner as European history, and there are many details still unknown, and ripe for discovery. Any documentation of history, even as short as this one should be considered as a tip of the iceberg, and further research and consultation with First Nations communities in the area is needed.

The Town of Newmarket is situated within the traditional homelands of the Michi Saagiig (Mississauga Anishnabeg) Nation that encompass a vast area of what is now known as Southern Ontario. The Michi Saagiig are known as “the people of the big river mouths” and were also known as the “Salmon people” who occupied and fished the north shore of Lake Ontario where the various tributaries emptied into the lake.¹

The Michi Saagiig Nation are also part of eighteen treaties first signed between 1781 and 1923 that allowed the growing number of Europeans to settle in Ontario. The relationships created through these treaties are collectively known as the Williams Treaties. The First Nations communities within the Williams Treaties include Alderville First Nation, Chippewas of Beausoleil First Nation, Chippewas of Georgina Island First Nation, Chippewas of Rama First Nation, Curve Lake First Nation, Hiawatha First Nation and Mississaugas of Scugog Island First Nation. Chippewas of Georgina Island First Nation is the closest in proximity to Newmarket.

Unfortunately, many key aspects of the agreed upon treaties between 1781-1923 were not honoured by the European settlers and the Canadian government. In 2018, after years of legal dispute, the Williams Treaties First Nations were compensated 1.1 billion for loss of land and harvesting

rights. At that time, in 2018, the Government of Canada apologized for the negative impacts of the 1923 Williams Treaties on the Williams Treaties First Nations in Rama, Ontario.



Town of Newmarket Task Force Workshop with Cultural Competency Training led by Trina Moyan Bell

¹ <https://www.peterboroughutilities.ca/AssetFactory.aspx?did=42481>

INCLUSIVE AND ACCESSIBLE

Overwhelmingly, participants want the site to be welcoming to all. This includes:

- Providing spaces and programming for all ages, people of different abilities, and of diverse demographics;
- Accessible and affordable food (cafe and/or restaurant in the house or one of the out buildings. Some mentioned food trucks onsite as well.
- Accessible gathering and event areas (for markets, concerts and performances and other programming). This could include covered event spaces or open natural spaces for gathering.

Some raised concerns regarding how to ensure the site is open to everyone while also being rev-

enue generating. There were questions about how the property can serve private venue rentals while including the public? These are key considerations the team will be reviewing through the design options.

“Have activities that attract kids (8 years old) all the way 80 years old and up.” – Residents Workshop Attendee

“It might be a beautiful place for weddings & Conferences, however I wouldn’t want that revenue making aspect of it to take over all other utilisation of the property.” – Online Survey Respondent

“If there is a pavilion, it should be natural and add to the greenery.” – Visioning Workshop Attendee

Testing Key Issues

Covered Amenity Space/Amphitheatre:

One consideration raised through the process was the desire for a covered amenity space (in conjunction with skating or not), or an amphitheatre. There was little support for a built amphitheatre, with preference to a natural one using existing topography. Youth specifically requested an open-air pavillion.

In the in-person engagement sessions, our team specifically introduced visual diagrams to demonstrate impacts and opportunities of a new covered amenity space on the site. The topic of a covered amenity space received mixed opinions. If there is to be a covered amenity space, participants felt it should be located closer to Yonge or Mulock (not near neighbours or on the large, open lawn). However, ultimately, there were no strong opinion that a covered amenity space is required on site. Many who commented on this topic, indicated that the house or other existing structures would suffice. There were two comments from the online survey that requested a covered amenity space.

NATURAL

Overwhelmingly, the majority of participants indicated that preserving natural features on site is a top priority. Natural features (parks and green spaces) were indicated as the key community amenity online survey respondents want to see on the property (65% of respondents):

- This includes maintaining and enhancing tree coverage and using the existing landscape for programming. Many youth suggested creating natural play areas (that do not impact the landscape and wildlife).
 - Many suggested developing a series of gardens (community, botanical, Indigenous, medicine, pollinator, teaching, etc.) across the site.
 - Some recommended that there should be a strong focus on environmental education, sustainability and stewardship. Many youth specifically recommended environmentally progressive methods for waste management.
- There were references to incorporating water and wetlands onto the site (and sharing the story of water on the site).
 - Few indicated a desire to enhance natural features for wildlife in the area. Youth from the school workshop specifically indicated having a wildlife sanctuary.

“Keep everything natural – no hard-scaping!”

“Save the trees!”

“The swamp should be built into a natural water feature”

“We need a natural place for our young people to go and spend quality time!”

“Most are obvious “givens” like inclusion and joining neighbouring parks.”

- Visioning Workshop Attendees



Newmarket Residents at the Fall Picnic at the Mulock Property

INCLUSIVE AND ACCESSIBLE

Getting to the site

Participants had a diversity of perspectives on the best ways to access the site. Ultimately, participants felt the site should be accessible using a diversity of transportation methods.

Ideas include:

- **Encourage active transportation or alternative transit options** to provide access to the site rather than reliance on automobiles.
- **Parking:** Most recommend limited parking on-site and prefer creative solutions (parking at local schools, the vacant lot to the south, nearby plazas).

- **Shuttle:** Many interested folks recommended a shuttle (similar to the one from the picnic), which could leave from Town Hall, the Ray Twinny Recreation Complex, GO Station or elsewhere. Many suggested that a shuttle could specifically be considered during peak event times.
- **Accessibility:** Many discussed the need to ensure wheelchair and stroller access (for parking, pathways and buildings).

“Keep it natural and green please. Don’t pave over the entire property for parking/skating/splash pad.” – Online Survey Respondent

“Ensure there is ample parking spaces available as a large majority of residents drive.” – Online Survey Respondent

Transportation in Newmarket: Shifting the norm?

The online survey responses indicate that 95% of participants drive to destinations in Newmarket. In-person consultations suggest that many participants want options for safe active transportation or suggest a shuttle operate at the site, with a desire to rely less on cars.

CONNECTING TO BROADER AREAS

In addition to getting to the property, many participants discussed opportunities for the site to be connected to the neighbouring areas.

- **Jim Bond Park:** Overwhelmingly, there is a desire to connect the property with Jim Bond Park. Few opposed the idea (with fear of parking in the neighbourhood). Many thought that concerns could be mitigated through thoughtful design.
- **Connections to broader areas (Yonge-Mulock):** Many mentioned desire to enter the site along Mulock, especially at the corner of Yonge. As well as the need to consider design of adjacent sites (new developments) as they progress so that there are appropriate connections and good design.

“I would like [Mulock Property] to be connected to Jim Bond but then something needs to be done with Jordanray blvd, including no parking signs and speed bumps – it’s already a way too busy and too fast of a street.” – Online Survey Respondent

“[The Yonge-Mulock] intersection could be the gateway to Newmarket.” – York Region Focus Group

Testing Key Issues

Parking: There were mixed opinions on parking. Some local neighbours voiced concerns about people parking in their neighbourhood. However, for the most part, they felt this problem could be solved with smart design solutions. In the in-person engagement sessions, our team specifically introduced visual diagrams to demonstrate impacts and opportunities for a small amount of parking on the site. Participants requested the options with the least damage possible to the natural areas, and preferred parking along Mulock as the best option. Ultimately, there is an understanding that creative solutions for access to the site are necessary (including off-site parking, shuttle buses and other active transportation networks).

Jim Bond Park: Our team specifically asked participants at in-person engagements if connecting Mulock property to the neighbouring Jim Bond park would be appropriate or beneficial for the park and adjacent neighbourhood. For the most part, participants saw the connection to be essential. Few neighbours voiced opposition to the connection, raising concern it could increase traffic in the adjacent neighbourhood. Through the online survey, there were five mentions of Jim Bond Park. One person specifically voiced opposition to connecting the property to Jim Bond Park, one person indicated they would like to see the connection but worried about traffic. The others requested integrating the two properties.



Jim Bond Park

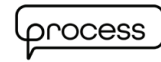
CONSULTATION NEXT STEPS

In the next few months, the consultant team will be working on design alternatives based on the research and consultation done in Phase 1. Opportunities for further engagement will be released shortly.

Mulock Property Master Plan Engagement Summary Report – Phase 1B Appendix



Prepared by PROCESS



Mulock Vision - Local Residents Workshop

What We Heard Summary

February 5, 2020, 6:30 - 9:00
Old Town Hall, Newmarket

Introduction

Overview

On February 5, 2020, Plant Architects Inc., PROCESS, and the Town of Newmarket conducted a visioning session with local residents regarding the future of the Mulock Property. The conversation focused on the five (5) priorities that will guide the creation of the Mulock Master Plan.

The event included a drop-in and a workshop held at the Old Newmarket Town Hall, 460 Botsford Street with approximately 100 people in attendance. The objectives of the workshop were to:

- Introduce the project and educate members of the public on the site history and context;
- Share initial findings and thoughts on the site;
- Collect feedback on a vision for the site and understand top concerns/considerations;
- Generate excitement, energy, community buy-in and ownership of the project and process.

Drop-In Activities

The event started with a 30-minute drop-in open house that allowed participants to engage with three stations: Past, Present, and Future. The Past Station was an opportunity for residents to learn and ask questions about the history of Newmarket and the Mulock Property. The Present Station included information of when the Town of Newmarket bought the site, a slideshow from the fall picnic event at the Mulock Property, and information on the Mulock Master Plan project schedule and process. The Future Station had two activities that provided an opportunity for residents to envision what they wanted to see for the future of Mulock. The first activity invited

residents to draw or write their future visions for the property on images of the site. The second pop-up had an aerial map that allowed participants to begin collaboratively building their vision for the property using clay, stickers, and images.

At the entrance of the event, participants were asked two questions:

- 1) How long have you been in Newmarket?
 - a) *Are you a long-term resident (over 10 years?)*
 - b) *Newly settled (under 10 years?)*
 - c) *Visitor?*
- 2) Where do you live?
 - a) *I'm a neighbour (live within a 3km distance)*
 - b) *I'm a bit further (3km plus)*
 - c) *I don't live in Newmarket but come often.*

The majority of the participants who responded have been living in Newmarket for over 10 years. Few have been in Newmarket for 10 years or less, and no one was a visitor. Most people were neighbours to the Mulock Property. Some lived a bit further and no one lived outside of Newmarket.

Facilitated Workshop

After the drop-in, the facilitated workshop began with an introduction for Mayor John Taylor and the project Town Staff. A land acknowledgment was given, followed by a smudging ceremony by Trina Moyan Bell.

After the smudging ceremony, Lisa Rapoport from PLANT Architect, Trina Moyan Bell and Sara Udow from PROCESS facilitated an interactive presentation, including:

- **History of the Site:**
 - **Indigenous History:** Trina Moyan Bell shared information about the Indigenous history (both nationally and locally), the present and future opportunities to incorporate Indigenous historical and present spaces on the Mulock site. We believe this is important as a way for the municipality to move toward Truth and Reconciliation, through city-building and parks planning efforts.
 - **Site Architectural History:** Lisa Rapoport shared the architectural history of the site as well as site observations and key considerations and expanded on the key principles and priorities with examples, and site testing.
- **Site Considerations and Priorities:**
 - Sara Udow from PROCESS summarized key messages from the consultations to date including priorities. Lisa discussed some of the key observations and considerations.

Participants were asked to share their perspectives on the site context and visions for the future, including the priorities presented..

Key Takeaways

Priority 1: Rooted in History and Forward Looking

- Participants were interested in incorporating the diverse and layered histories of the site through educational opportunities, the landscape, programming, public art and other site interventions. .
- Specifically, there were recommendations for interventions that reflect the history of the site, such as diverse gardens and community gathering.

Priority 2: A Destination

- Participants indicated that the property should be a destination, and specifically discussed opportunities for passive experiences and interaction with nature.
- There were mixed perspectives when asked specifically about skating. Overwhelmingly, participants favoured a skating trail (that could be used as a multi-purpose trail in the summer) over a skating rink. Some indicated there was no need for skating on the site at all and instead, other winter activities could be considered.
- There were other recommendations for programming, including space for music and performances, community events, workshops and festivals.
- Ideas for affordable food/dining and public art/art galleries were also discussed.

Priority 3: Inclusive and Accessible

- Many participants believe the property should be accessible (both physically and financially) to all residents. This includes activities and programming that attract people of all ages and abilities.
- When discussing the possibility of a covered pavilion on-site, there was a mix of feedback. Some felt that there was no need for a pavillion and instead there should be flexible and temporary spaces for events that are not as obtrusive to the land. Others felt that if a pavilion would be developed, that it should be closer to Yonge Street (away from the neighbourhood and not as obtrusive to the natural heritage).

Priority 4: Natural Features

- Most participants recommended preserving and enhancing the natural landscape by planting more trees and incorporating diverse gardens that are native species and low maintenance. They also indicate opportunities to engage with nature and environmental stewardship through walking trails, tree identification and Indigenous herbal education.

Priority 5: Connected

- Participants were interested in encouraging active transportation or alternative transit options to provide access to the site rather than reliance predominantly on automobiles.
- There was a diversity of perspectives on parking. For the most part, participants explored different alternatives to parking on-site and provided creative

recommendations, such as parking at local schools, the vacant lot to the south, nearby plazas. There were further discussions on having a shuttle bus.

- Most participants support connecting Jim Bond to the property. Few participants suggested keeping the park separate. Some local neighbours discussed concern about noise and traffic but ultimately suggested these issues could likely be solved through thoughtful design.

Detailed Summary of Feedback

The site - present and future:

Participants were asked to describe the current property and area. Below is a summary of words used to describe the area in no particular order:

- Natural
- Woodsy
- Urban
- Central
- Homey
- Majestic
- Fluid
- In transition
- Oasis
- Peaceful
- To be preserved
- Community
- Elegant
- Small-town-feel
- Potential

Participants were asked to discuss 5 priorities for the site and answer the following questions (comments from Topic 1: The history of the Site are included below in the summary of the first priority):

- 1) **Rooted in History and Forward Looking:** How can we integrate multiple layers of history while bringing new uses and activities to the site?
- 2) **A Destination:** What would make the site a significant place in Newmarket? (Consider public art, culture, etc.)
- 3) **Inclusive and Accessible:** How can we create an inclusive and accessible site for all residents and visitors?
- 4) **Natural:** What are the opportunities to maintain and enhance the natural features of the landscape?
- 5) **Connected:** How can the site be integrated within the neighbouring areas (including Jim Bond Park next door)? Where should parking be located? How much parking is necessary?

Comments collected from the tables who engaged at the community meeting were categorized by themes, outlined below. The level of frequency of a comment was documented. The scaled used for frequency is:

- Few (comment documented 1-3 times)
- Some (comment documented 4-6 times)
- Many (comment documented 7-12 times)
- Most (comment documented 13+ times)

Priority 1: Rooted in History and Forward Looking

How can we integrate multiple layers of history while bringing new uses and activities to the site?

Detailed feedback is provided below and organized by major themes:

Educational Opportunities: For the most part, participants discussed educational opportunities to share the history of the site. Specifically, some ideas are included below:

- Many participants suggested showcasing the many layers of history of the property and Newmarket - including the Mulock family, Rogers family, Quakers and Indigenous Peoples. Many participants suggested having an outdoor learning space or teaching garden for classes about the history of the area.
- Many participants recommended creating an Indigenous medicine garden to honour Indigenous culture and be used as an educational tool for local residents to learn about Indigenous practices.
- Few participants mentioned making the site a learning destination for school classes.
- Few suggested showcasing the stories through a museum.
- One person suggested a "Pioneer Village" to display artifacts.

"The Mulock Property can be a learning space."

Gardens: Most participants also discussed the opportunities to display the history of Mulock through a series of gardens that allow people to experience the layered histories of the property (including Indigenous medicine, walnut groves, apple trees, and peonies).

Natural Features: In addition to the historical significance of gardens, some were interested in incorporating the historical features of the natural environments:

- Few participants indicated representing historic trails such as the Toronto Carrying Place trail or the Trading Tree and trail.
- Few participants recommended highlighting the history of water on the site by exposing underground water and adding water features.
- Few participants suggested documenting and mapping the historical landscape.

The property should include layered gardens of peonies, Indigenous medicine, and food so that people can experience the layers of history in a shared garden space."

"The property needs to reflect Indigenous culture through medicine gardens..."

"The Mulock Property is an oasis and should remain an oasis"

"More walnut trees should be planted to show the history of the trees."

Preserve/Restore: Some participants indicated a desire to retain the historic feel of the area by maintaining the style of the architecture on the site (i.e nothing built in a modern/contemporary style). This included ideas to restore the house and repurpose it for educational opportunities, events, or galleries. Some participants specifically discussed the need to preserve the site as an "oasis." Few participants suggested restoring the original fountain.

"Treat the house like the Grange House at the AGO in Toronto by rehabilitating the space for events or tea."

Programming

- Some participants recommended hosting events that commemorate the diverse histories - some examples shared were to have temporary art events that display different times/eras or performances that explore and celebrate history.
- Some participants recommended creating events that bring the community together - some ideas shared were to host picnics, festivals, and community walks.
- Few participants recommended representing the historic use of the veranda by hosting afternoon tea.

"Create a story garden for performative and communal exploration and celebration of history"

"There needs to be a story space or performance space where people share their stories - a 'living story' space that can move/change with people (Ex. amphitheatre)"

Public Art

- Many participants suggested having art installations that are natural and represent both the history of Sir. William Mulock and Indigenous histories.

"Make art earth-friendly and incorporate Indigenous art that represents the layered history"

"Use art as a history pathway"

Memorials

- Some participants indicated using sculptures or monuments to honour historical figures and Indigenous people.
- Few participants recommended using historical signage and plaques throughout the property that tell the story of the layers of history.

Experimental (Tech and Other)

- Few participants suggested incorporating new technology such as robots, artificial intelligence, or holographs into the property to share the history..
- Few participants suggested creating experimental farms/community gardens to get young people involved (related to Mulock's history as an innovator and farmer).

Priority 2: A Destination:

What would make the site a significant place in Newmarket?

Detailed feedback is provided below and organized by major themes:

Passive Use: There were many ideas about passive opportunities, including:

- Many participants suggested creating relaxing spaces for mediation, including a number of ideas for mazes/labyrinths.
- Some participants indicated installing a fire pit that could be used year-round.
- Some participants desired relaxing areas with benches, bird feeders/houses, butterfly gardens houses, gardens that can be used for reflection, meditation or yoga.
- Some participants suggested incorporating opportunities for trails, picnic areas, grass lawns.
- Few participants suggested incorporating Town walks through the site property.
- Few participants suggested creating a "natural" playground (ex. Bienenstock in Hamilton).
- One participant suggested creating an off-leash dog park, however few others specifically requested no off-leash dog areas.

"The property should remain a passive park but with trails"

"The design should create intimate nooks/reflection spaces"

Active Recreation: Most participants supported some form of active recreation. As skating was posited specifically by the team for exploration, much of the discussion focused on skating:

- **Skating:** There were lengthy discussions at many of the tables about skating. Most participants present supported creating a skating trail, indicating that the trail could be used in the summer as a walking path or multi-purpose trail for cycling that could connect to city-wide trail networks. However, some participants did not think a skate trail was necessary and few participants did not want any skating activities. An overwhelming majority did not support having a skating rink on site.
- **Other Winter Activities:** Some participants suggested that instead of skating, there could be opportunities for cross-country skiing or snowshoeing. One table of participants recommended designing a new winter sport for the Property! Other opportunities identified included fire pits for the winter.

- **Summer-related:** Few participants recommended building a pool with an adults-only area and splash pad. Other participants were against having a water feature.

"Create a skating trail that can be used as a walking trail in the summer."

"No arena - Build a skating trail instead!"

"How much skating does the Town need!?"

Programming: There were lengthy discussions about different ideas for programming, captured below:

- **Music and Performance Spaces:** Many participants suggested the site would be a great space to host performances (art, music, etc.) While some ideas included creating a covered outdoor event space or amphitheatre, many suggested smaller or more temporary interventions such as a platform or flexible event/ performance spaces. Few were against music on the site altogether, voicing concerns over noise and parking.
- **Additional ideas:**
 - Some participants suggested hosting art classes or demonstrations that are free or low-cost.
 - Some participants recommended building a creative/cultural hub or Indigenous cultural centre.
 - Some participants suggested having educational opportunities available - for example having learning opportunities for different cultures such as Indigenous.
 - Few participants suggested having programming within the building to preserve green space or if outdoors it should be located near Yonge Street.
 - Few participants indicated planning futuristic/experimental programming.

"I would like to see decade music events hosted that have performances, costumes, cocktails and food (ex. The '20s)"

"Turn the house into a working space for visiting artists and workshops for all ages"

"Use the topography of the land to create a music venue or outdoor performances"

Affordable Food: Many participants suggested incorporating an affordable cafe, tea room, restaurant or dining facility that uses the porch in the summer. Emphasis was placed on affordability. Few participants recommended hosting cooking classes.

"Include a tea room that is affordable, where tea and snacks can be served on the porch in the summer."

"Yes to a restaurant - But make sure it's not posh!"

"Could some profits from the restaurant go to the property or to the community?"

Artist and public art: After the consultant team showed some precedents of public art, there were many discussions that followed. Specifically, most were supportive of public art with different ideas of how it could be incorporated on the site:

- Many participants recommended having both permanent and temporary public art year-round. Examples discussed included the Beaches in Toronto or ice sculptures in the winter.
- Some participants recommended having Indigenous art or hosting indigenous festivals/exhibits.
- Some participants suggested having artist residences or spaces for artists to create.
- Few participants suggested having art that is outdoors that uses nature and landscapes. One comment suggested the site should not include public art but should instead be focused on nature; that the “art should be in the vegetation.”
- Few participants proposed using the house as a gallery space and having rotating exhibits.
- Few participants suggested having sculptures and installations.

“Create outdoor art that is temporary and permanent”

“Create an art gallery with rotating exhibitions”

“The art should be in the vegetation.”

Natural Features as Destination

- Many participants suggested creating diverse and interesting gardens.
- Some participants recommended creating a community garden that is free to use. However, few participants argued that community gardens are “too much” and hard to maintain.
- Some participants suggested having educational opportunities for agriculture, herbal medicine - creating a “living museum”.
- Some participants indicated having a water feature or fountain.
- Few participants suggested the property be a leader in eco-friendly design and sustainable energy.

“Create different gardens - ie. rose garden, tulip garden, Indigenous garden.”

“Allow the outside to be a living museum.”

Other

- Many indicated the property should be a landmark for Newmarket residents - like Central Park in New York.
- Many indicated having representation of Newmarket’s past, present and future.
- Some participants recommended having activities that are year-round.

“Mulock should be our Central Park!”

Priority 3: Inclusive and Accessible:

How can we create an inclusive and accessible site for all residents and visitors?

Detailed feedback is provided below and organized by major themes:

Affordability

- Some participants indicated that activities, retail, and commercial activities should be affordable to attract diverse people.
- *See affordable food comments above in 'Destination'.*

"The property has to be affordable for the end user."

Programming for Diversity

- Many participants recommended having activities that attract a diversity of people such as movie nights, escape rooms, virtual reality, classes and workshops, school tours
- Many participants suggested creating a place for seniors to be active by having programs for seniors, different lengths of trails and creating partnerships with local senior groups.
- Some participants recommended the property be family-friendly by having an Early Years Centre.
- Few participants proposed having justice and reconciliation events as well as opportunities for Indigenous people to program and operate the property.

"Have activities that attract kids (8 years old) all the way 80 years old and up."

Multi-use Pavilion:

- There were mixed responses to the presentation which showed opportunities for a multi-use pavilion. Some participants did not feel a pavillion or multi-purpose event space was necessary/good for the site.
- Some participants suggested creating a covered multi-purpose pavilion for events and programs located away from the house near Yonge Street.
- Some participants suggested a non-permanent, open-air structure that is a natural space for concerts. *See responses in regarding Music and Performance Spaces above in 'Destination'.*

"Create a covered concert area by the east/west of the lawn that projects towards Yonge and protects neighbours from sound"

"If there is a pavilion - it should be natural and add to the greenery"

"A pavilion should not be built as it would take away from the natural beauty"

Operation

- Some participants suggested having the property open to the public 24/7, 365 days a year but restricted vehicle access and night (ex. Fairy Lakes)
- Few participants indicated needing flexibility through unprogrammed areas and not needing a booking to use a space.

Accessible Design and Infrastructure: There were many discussions about accessible design. Ideas are captured below:

- Some participants recommended ensuring wheelchair and stroller accessibility for parking, pathways, and buildings.
- Few participants suggested creating Information signs that have audio, different languages, and brail.

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- Few participants indicated having lots of seating, benches and picnic areas
- Few participants suggested having lighting at night that is interesting and has different colours.
- Few participants recommended considering ways to mitigate noise.

Priority 4: Natural Features

What are the opportunities to maintain and enhance the natural features of the landscape?

Detailed feedback is provided below and organized by major themes:

Landscape: Overwhelmingly, participants want to preserve and enhance the natural features of the landscape, as illustrated below:

- Most participants recommended preserving and enhancing tree coverage by creating an arboretum and planting more trees to create a “woody” feel.
- Many participants recommended planting native species, perennials, and low-maintenance vegetation.
- Many participants suggested restoring the swamp and creating a presence of water - however, few said to fill in the swamp.
- Some participants indicated staying away from hard-scaping and keeping lawns and natural areas intact.
- Some indicated the importance of considering sustainability and the effects of climate change.
- Few participants recommended creating an edible landscape or herb garden to be used by visitors and/or a cafe or restaurant on the property.
- Few participants suggested creating a conservatory or botanical garden with butterflies and flowers for year-round opportunities to connect with nature.
- Few participants indicated preserving or restoring vegetation that was present when Sir. William Mulock operated the property black walnut trees, apple trees and peonies
- Few participants recommended vegetation that attracts wildlife like birds, butterflies, and bees.

“Keep everything natural - no hard-scaping!”

“Save the trees!”

“The trees speak and the design should honour them and connect them to property”

“The swamp should be built into a natural water feature”

Passive Recreation

- Some participants suggested creating forest and nature trails.
- Few participants suggested having wine/food walks.
- Some participants recommended having hidden spaces and opportunities for exploration and adventure or “forest bathing”.
- Few participants recommended running volunteer programs such as earth managers or the York Region Nature Collaborative.

“Having hidden spaces for adventure to find and explore”

Environmental and Indigenous Education

- Some participants suggested creating identification labels for trees.

- Some participants recommended having Indigenous herbal medicine education incorporated in trails or a medicine wheel.

"Have tree identification in the forest"

Priority 5: Connected

How can the site be integrated within the neighbouring areas (including Jim Bond Park next door)? Where should parking be located? How much parking is necessary?

Integration with Jim Bond Park

- Most participants suggested integrating Jim Bond Park by removing the fence. Few participants suggested keeping the park separate.
- Some participants who are neighbours of Jim Bond Park indicated that they support connecting the park with the Property but hoped that some issues (parking, traffic, noise) could be mitigated through design. Suggestions included putting entrances on both Mulock Drive and Yonge Street. Few participants suggested an entrance on Mulock Drive with traffic lights to slow down traffic or an entrance on Yonge from the current driveway.
- Few participants indicated maintaining the name Jim Bond park even if it is integrated into the property.
- Few participants suggested creative ways to access the site such as gondolas, golf carts or pedestrian bridges.

Parking: There were many diverse perspectives regarding parking and access to the site.

- Most participants suggested there should be no/minimal parking onsite (with exception to people with accessibility needs). Some indicated there should be a drop-off area.
- Many participants recommended off-site parking, including: parking at local schools, nearby businesses, the vacant lot to the south, nearby plazas or the hydro corridor. Few participants suggested other alternatives such as encouraging new developments to provide additional public parking or providing parking at nearby local businesses/high schools.
- When looking at options for onsite parking, some participants suggested parking along Mulock Drive and few participants suggested parking at the south-west corner of the property. Few participants suggested including paid parking.
- Few participants had concerns about how a lack of parking on site would affect nearby neighbours and local businesses. There were also few concerns that it would be more difficult for people to visit without parking onsite (or at the very least, nearby).

"Keep the property natural by having less parking and investigating other options."

"Parking depends on the size of events planned for the site. There needs to be enough that people don't park on residential streets."

"Parking along Mulock makes the most sense."

"Yonge St. developments should have incentives for providing additional public parking."

Transit or Shuttle: At some tables, there was much discussion on whether parking was essential or whether a shuttle bus could accommodate people.

- Some indicated a desire for a shuttle bus or nature walkway providing access to the site. Others suggested the Viva Bus would suffice. Many participants suggested planning a shuttle from Ray Twinney Recreation Complex or Go Station. Some participants indicated the need to be considerate of the frequency of the shuttle -daily, weekends, or during events.
- Some participants indicated encouraging public transit by creating connections to VIVA, Go Stations, and building a new bus stop at Mulock.

Active Transportation

- Many participants recommended encouraging cycling with bike paths, racks, and bike-share depots.
- Some participants suggested connecting the park through nature trails to encourage walking, especially with future density in the area.
- Few participants indicated controlling vehicle access to decrease reliance on cars.

"Mulock will be a "place to get to" and therefore it needs safe walking and cycling options (bike paths)"

Other Priorities:

What considerations are missing? Are there other priorities to include?

Detailed feedback is provided below:

- Many participants indicated keeping the design for the site simple. "Less is best."
- Many participants indicated considering sustainable funding such as revenue-generating sources or federal funding. Few participants indicated they were against corporate sponsorship (ex. Tim Hortons).
- Few participants suggested renaming the site to reflect current residents.

"Less is best."

Examples for inspiration noted:

- Stewart Hall, Pointe-Claire
- River Rock Commons West
- Kirb Museum, Phoenix
- Fanton
- Jeff McCann Mount Pleasant Cemetery Tree Arboretum
- Bienenstock, Hamilton

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"Not like Fairy Lakes"

Mulock Property Master Plan

Online Public Survey Summary

Overview

The consultant team, PLANT architect and PROCESS, created an online survey to be provided to Newmarket residents and visitors. The objective of the survey was to:

- Reach a large number of Newmarket residents and visitors; and
- Provide opportunity for those unable to participate in in-person conversations to share ideas and perspectives.

The survey ran from January 31 to February 19, 2020. There were 1,109 respondents with an 84% completion rate. The survey consisted of 18 questions that had the following breakdown:

- Four questions focus on current experiences of the area and the site;
- Three questions about the five priorities for the Master Plan, including a question that asked participants to rank the priorities and provide further comments or what was missing;
- Four questions about the future of the Mulock property and house; and
- Six questions about the demographics of respondents, to understand who is providing feedback.

Who Engaged

- Of the survey respondents, 27% have lived in Newmarket “forever”, 16% have lived in Newmarket for 10-15 years, 11% have lived in Newmarket between 5-10 years, 11% have lived in Newmarket for less than 5 years and 15% do not live in Newmarket.
- The majority of respondents were 40-59 years old (46%) followed by 25-39 (28%), and 60-74 (18%) and less than 1% were under 18 or older than 75.
- Most respondents were female (76%).
- Overwhelming, respondents were white or of European descent (75%), with 1-5% of respondents representing other ethnic or racial groups.
- Annual household incomes varied among respondents and some preferred not to answer.

Detailed Summary of Feedback

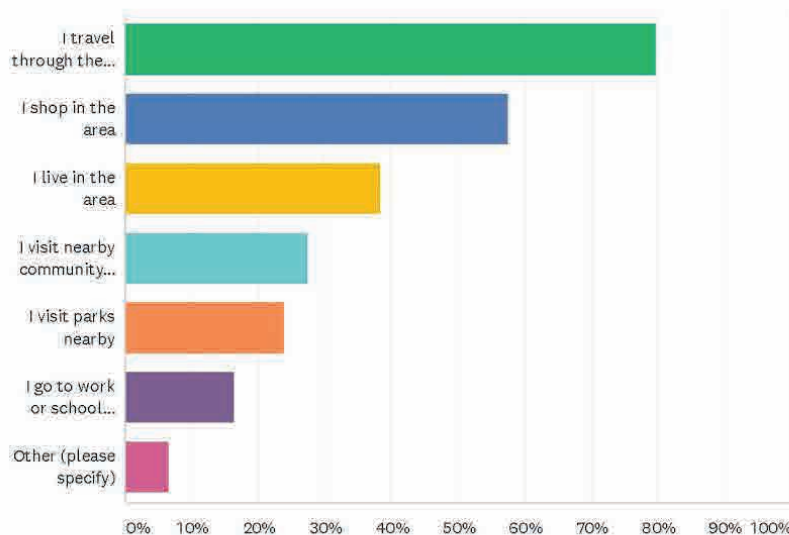
Below is a detailed summary of key findings from the Online Survey.

Current Experiences of the Area and the Site

Based on the online survey, the most common experiences with the area around the Mullock Property include:

- 80% of respondents travel through the area
- 58% of respondents shop in the area
- 38% of respondents live nearby
- 27% of respondents visit nearby community spaces
- 27% of respondents visit parks nearby
- 15% of respondents go to work or school nearby
- 5% of respondents have other experiences

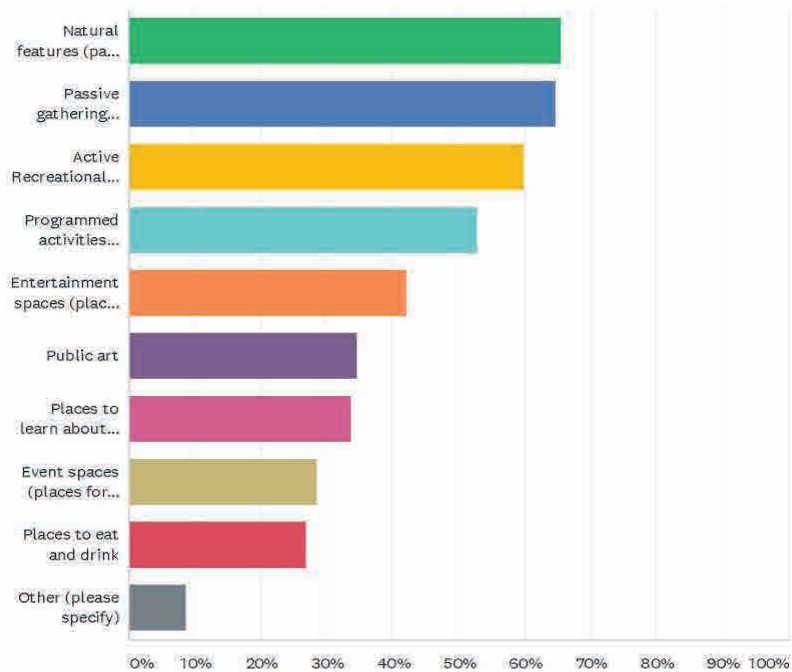
Figure 1: Respondents Experiences in the Area



When asked what community amenities are missing in the area, the following were identified:

- 65% of respondents indicated natural features and passive gathering spaces;
- 60% of respondents reported active recreation;
- 52% of respondents reported programmed activities;
- Out of the 1,108 respondents who answered the question, 95 respondents left addition comments:
 - Some respondents expanded on the natural features missing, including botanical gardens, greenhouses, community gardens, wildlife sanctuaries, nature trails;
 - Some respondents suggested passive opportunities such as quiet places for meditation/yoga, picnic areas, dog parks and places for seniors to relax;
 - Some respondents suggested active recreation that is currently missing includes organized sports facilities/fields, outdoor exercise opportunities, walking trails, and a skateboard park;
 - Few respondents suggested public amenities such as libraries and daycares;
 - Few respondents suggested places for art classes and spaces for local artists;
 - Few respondents indicated community and family gatherings spaces;
 - Few respondents indicated farmers markets.

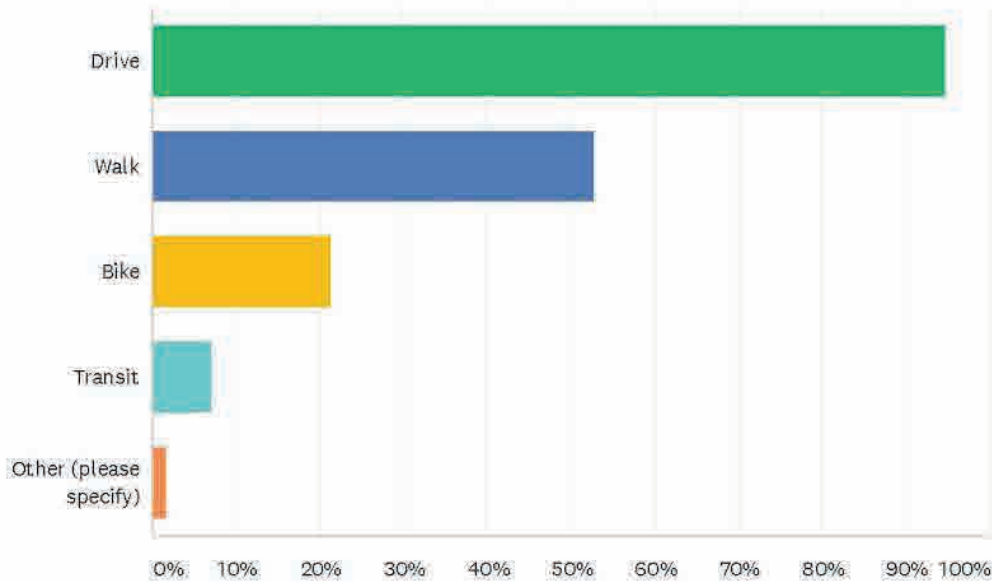
Figure 2: Community Amenities that are Missing in the Area



When asked how they travel to destinations in Newmarket, respondents indicated the following::

- 95% drive;
- 53% walk;
- 21% bike; and
- 7% take transit.
- 19 respondents provided additional comments:
 - Few respondents mentioned ride-hailing services, carpool services, rollerblading, or taking Town shuttle buses;
 - Few respondents mentioned their mode of transportation depends on the weather/season.

Figure 3: How Respondents Travel to Destinations in Newmarket



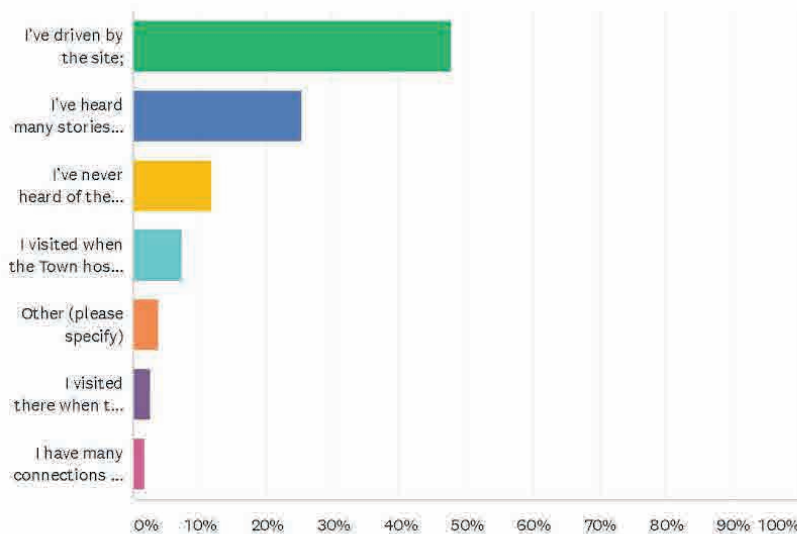
When asked how they experience/understand the Mulock Property:

- 47% of respondents have driven past the site;
- 25% have heard many stories but have yet to visit the site;
- 11% have never heard of the site;
- 7% attended the picnic hosted by the Town in fall of 2019;
- Less than 5% had visited when the Mulock family lived at the property and/or had many connections to the site;
- Out of the 953 respondents who answered the question, 38 provided additional comments:
 - Few respondents mentioned having a historical connection to the site from a family member;
 - Few mentioned visiting the site on a private tour or as a youth trying to explore the property.

“When I was a kid, we were told that if we tried to visit the property, we would get in trouble for trespassing. So, instead, my friends and I would try to get a peek of the house/property through the trees as best as we could.”

“A Family member used to deliver milk/eggs to property owners over 30-40 years ago...maybe longer.”

Figure 4: Current experiences/understanding of the property

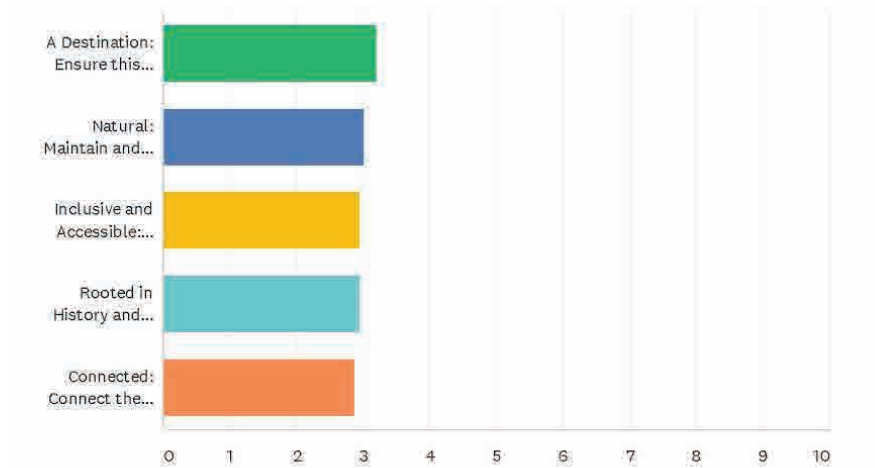


Master Plan Priorities

Survey respondents had an opportunity to rank the following master plan priorities for the site from 1 to 5:

- **A Destination:** Ensure this site becomes a significant place to visit in Newmarket;
- **Natural:** Maintain and enhance the natural features of the landscape.
- **Inclusive and Accessible:** Create an inclusive and accessible site for all residents and visitors;
- **Rooted in History and forward looking:** Share the multiple layers of history and evolution of the Town on the site; and
- **Connected:** Connect the site with the neighbouring areas (Jim Bond Park, the hydro corridor) through pedestrian walkways, trails and cycling routes, to ensure it is integrated within the Town of Newmarket;

On average, survey respondents ranked each of the priorities roughly the same with “A destination” marginally more important out of the five and “Connected” marginally less important out of the five. When asked if anything was missing from the above priorities, some respondents felt that there wasn’t.

Figure 5: Mulock Priorities Ranked

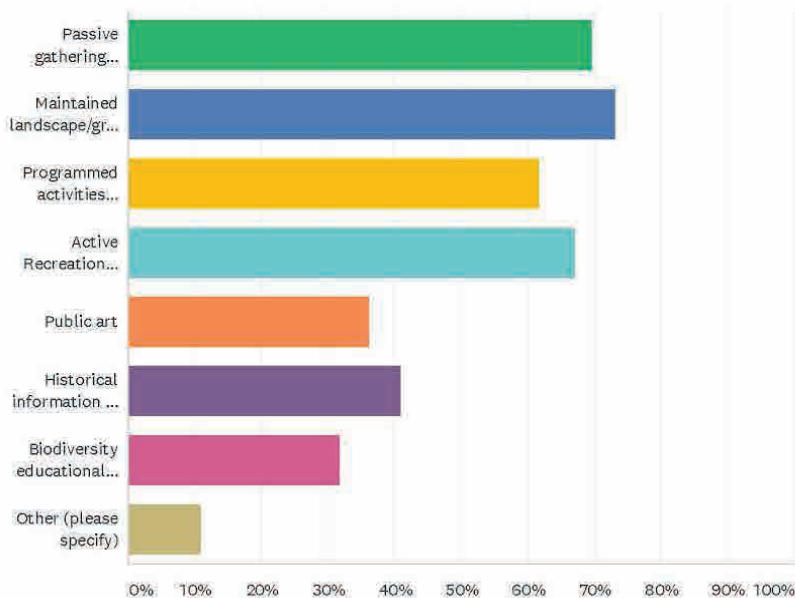
The Future of the Property and House

Respondents felt that the following would make the Mulock Property a place to visit:

- 73% of respondents said maintained landscape/green spaces
- 70% of respondents said passive gathering spaces
- 67% said active recreation
- 61% said programmed activities would make them want to visit the property.
- Our of the 953 respondents who answered the question, 104 provided additional comments:
 - Some respondents recommended types of recreation such as basketball, bocce ball, skating, skatepark, a pool, biking and walking trails
 - Some respondents indicated the property should be pet-friendly but recommended it be an on-leash
 - Some respondents suggested having opportunities such as art classes/workshops, an art gallery, and public art
 - Some respondents suggested offering food by incorporating a restaurant, cafe, or food truck
 - Some respondents suggested having opportunities to experience nature by incorporating gardens and naturalized areas for wildlife
 - Some respondents suggested incorporating passive opportunities such as picnics, places to sit, fire pits, opportunities for relaxation/meditation
 - Respondents felt mixed about having a playground or not, and few mentioned if a playground were built it should be with natural materials.

- Few respondents mentioned having music performance spaces for local artists
- Few respondents recommended having education opportunities to learn about the history of the site/area, especially opportunities for children
- Few respondents suggested having opportunities for rental space for weddings
- Few respondents suggested having community events such as festivals or concerts

Figure 6: What Would Make Respondents Want to Visit the Mulock Property



When asked about what recreational activities respondent were most interested in, they indicated the following:

- 83% of respondents said walking trails;
- 51% of respondents said skating;
- 40% of respondents said a playground/play area and a splash pad/playable water feature;
- Of the ppl 896 respondents who answered the question, 113 left additional comments:
 - Fifteen (15) survey respondents indicated a preference for a skating trail and a few suggested it could be used as a walking/active trail in summer months. Four (4) respondents preferred a skating rink and one mentioned it could be used as a pool/splash pad in summer months. Three (3) respondents did not want skating on the property

- Some respondents recommended types of active recreation, including bike trails, skate parks and formalized recreational sports such as tennis, volleyball, and basketball
- Some survey respondents suggested that if there are opportunities for rental space, it should be small and not take away from the public’s use of the site
- Few respondents indicated the need areas/activities for seniors
- Few respondents mentioned the playground should be made with natural material and consider children on the Autism Spectrum
- Few participants recommended exercise stations/circuits

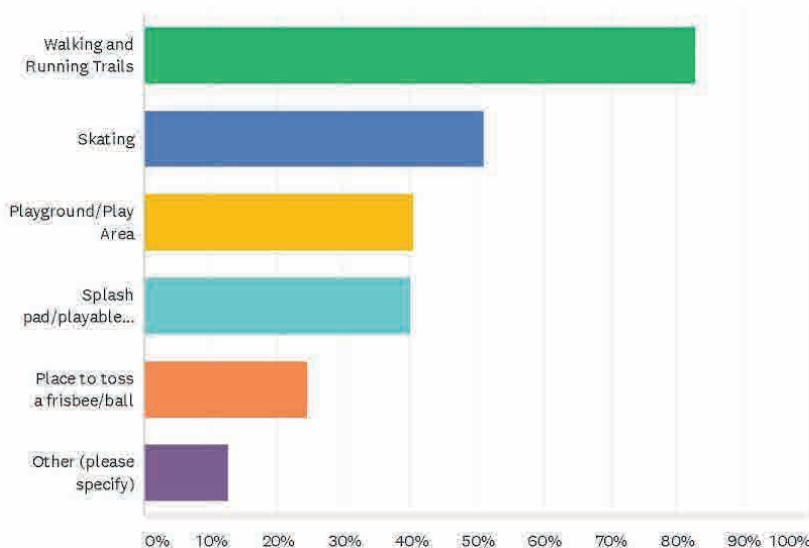
“Public Art should be integrated to respect the grandeur of the site. Not just plunking public art onto the site for public art’s sake unless it is used as a launch and then transportable to be a landmark in other locations of Town.”

“Quiet area to meditate, fire pit area in the winter.”

“Quiet place to walk and just sit and read etc. among lots of flower gardens.”

“Make sure we make the space pet-friendly (not off-leash) with access to water, disposal containers for waste...etc.”

Figure 7: Recreational Activities that Respondents are Interested in



Respondents felt that the following would make the Mulock House a place to visit:

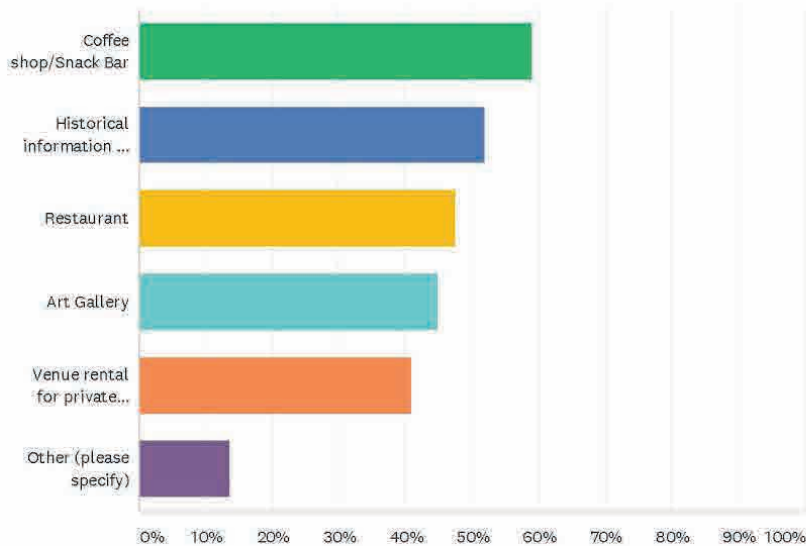
- 59% of respondents said coffee shop/snack bar
- 51% of respondents said historical information

- 47% of respondents said a restaurant
- 45% of respondents said venue rental for private events
- Out of the 953 respondents who answered the question, 130 provided additional comments:
 - Survey respondents were mixed about what type of food opportunities should be on the site, with some suggesting a cafe or coffee/tea house and some suggesting a formal restaurant. Few respondents had other suggested such as temporary vendors or food trucks, microbreweries, or a chalet-style restaurant
 - Some survey respondents indicated preserving and restoring the house and highlighting Mullocks and Newmarket's history. Few indicated a museum or exhibition space could showcase the layered histories.
 - Some participants recommended events that could take place in the house, such as paint nights, cooking classes, movies, or yoga/wellness workshops.
 - Some participants recommended an art gallery/exhibition for local artists as well as a gift shop with local art.
 - Few respondents suggested opportunities for Indigenous education, art, and celebrations.
 - Few participants suggested a library should be incorporated.
 - Few participants suggested that the house should use green infrastructure and be environmentally sustainable.

"Gallery shop featuring handmade items and original art by local artists."

"Make sure the snack bar or restaurant is environmentally friendly. All waste to be either composted or recycled. No single-use plastic."

"Host events like paint nites, cooking classes, geocaching, etc"

Figure 8: What Would Make Respondents Want to Visit the Mulock House

Additional comments for the house and property include:

- Some participants indicated preserving and enhancing the natural environment and creating opportunities to engage nature;
- Some survey respondents want to have opportunities that are free or affordable for all (i.e. access/entry, art exhibits, events, tours, food...etc.);
- Some respondents indicated preserving the historical value of the property by preserving and restoring the grounds and house;
- Some respondents indicated opportunities to display and celebrate Newmarket's and the property's history;
- Survey respondents suggested to incorporate art through the following:
 - Some respondents recommended having opportunities for local artists to showcase their work or have a gift shop that includes art from local artists
 - Some suggested opportunities for performance art or music
 - Some suggested having classes/workshops
 - Few respondents suggested creating an art hub like Riverwalk Commons
 - Few suggested public art being incorporated in a variety of ways around the site
- Some respondents were concerned about parking. However, there was a mix between some respondents wanting ample parking available and some wanting none and the site to be kept natural.

- Some participants indicated that space should be family-friendly and many suggested have activities both for children and for seniors.
- Few respondents were concerned over noise/hours of the property.
- Few respondents recommended having tours of the property and house.

“An environmental green space accessible to all”

“Preservation and promotion of the history of the space”

“Beautiful scenery, places for kids and adults to play and local art on display.”

“It should be refurbished to its former glory, exemplifying its elegance and beauty. The grounds should be green, lush and full of flower gardens. There should be public art pieces throughout the property, a Victorian tea house and a gift shop.”

“A place to enjoy the outdoors with family and friends. Activities should be geared to all ages and interests. There should be a mix of open spaces and trails and maintained gardens. The house should be a meeting point (a place to grab coffee or lunch or a glass of wine on a patio) Maybe a greenhouse, where you can learn about gardening and perhaps have a community garden that people can contribute to.”

Other comments included:

- Some respondents were concerned over the cost of the project and effects on tax-payers;
- Few respondents wanted to Incorporate support and services for people facing homelessness.



Mulock Property Master Plan

Pop-Ups Summary

Overview

In January and February 2020, Town of Newmarket staff engaged over 700 residents in conversations about the Mulock property, through pop-up activities designed by PROCESS.

The majority of respondents were under 17 years old, with the next largest demographic from 40-59 years of age. Many of the respondents were long term residents of Newmarket, with very few visitors.

Key Takeaways

The main themes from the pop ups were that people wanted to preserve or add more greenery and trees to Mulock, to make it a family friendly space, to add more community art, to have a skating and walking trail, and to preserve the heritage of the Mulock house.

Themes

Greenery, Trees and Gardens

- Many of the respondents indicated that they wanted to preserve the trees and general greenery of Mulock. There were also many people who asked for more trees and forested areas throughout the property.
- There were many suggestions for community gardens in general.
- Some identified the desire for an Indigenous themed garden or Indigenous education more broadly in the park.

Mulock House and History

- There was a great amount of interest in preserving the Mulock house historical heritage, with many saying they wanted an interactive way to interact with the history of the site.
- Some said that they would like a restaurant or pub in the house, but many said they preferred if there were family focussed activities available.



Some said they wanted a statue of Sir William Mulock, or plaques commemorating him around the park or property. There were some who asked for more sculptures around Mulock.

Active Recreation - Walking, Skating and Play Areas

- Many of the respondents indicated they wanted a walking or skating trail.
- From the 17 and under demographic, there was an emphasis on a play area for children, with many drawing elaborate pictures of possible playgrounds. Swings and monkey bars were the mostly requested, but some indicated that a splash pad would be preferred as well.

Programming - Food, Art, Music and Dog-Friendly Areas

- There were many calling for food vendors, with many requesting a cafe, and some asking for a restaurant and a few calling for food trucks to come into Mulock.
- There were many drawings and comments supporting places for artists to showcase their work, with spaces for community art galleries, and spaces for musicians to perform live music.
- There were also some people asking to make Mulock dog friendly, with a few asking for a dog park to be available.



Mulock Estate Master Plan

Diverse Thinkers Focus Group

February 5, 2020

Attendees:

Name	Organization
Paul Bailey	Shining Hill
Erin Cerenzia	Neighbourhood Network Newmarket Historical Society
Pauline Jones	Newmarket African Caribbean Canadian Association
Jason Wighton	Jason Wighton Photography
Beric Farmer	Creator of XE Currency
Art Weis	Newmarket Cycling Association and Newmarket Group of Artists
Darryl Gray	Toronto and Region Conservation (TRCA)
Anne Marie Million	Millions of Mouthfuls Catering Company Cardinal Golf Club
Patty Keele	The Arts Music Store
Ganesh Thavarajah	York Region Arts Council
Josh Campbell	Knowledge Broker Real Estate
Tracy Walter	Newmarket Chamber of Commerce
Matt Haggerty	Southlake Regional Health Centre
Dr. Ron Owston	Faculty of Education, York University
Juliane Goyette	HollisWealth

Consultant Team

- PLANT Architect: Lisa Rapoport
- PROCESS: Sara Udow, Trina Moyan

Newmarket Staff:

- Wanda Bennett, Director, Corporate Communications (Lead, Communications Working Group)
- Amber Blackburn, Communications
- Amber Chard, Communications
- Colin Service, Director, Recreation and Culture

Overview

On February 5th, 2020, the consultant team led a facilitated focus groups meeting with a group of diverse thinkers working and/or living in Newmarket. The objectives were to:

- 1) Introduce the Mulock Property project to a group of diverse thinkers and share the work to date, including the historical research, what we've heard through consultations and site considerations;
- 2) Brainstorm ideas for the site.

Key Takeaways

Be visionary:

- "We need to think 50 years into the future."
- "What do we want for our children?"
- "We need to have a good long term vision."
- Embody the slogan: "Well beyond the ordinary."
- Include a "flagship use" with a strong message; "An institution to stand for something"

Priorities

- **Rooted in History and Forward Looking:**
 - Incorporate aspects of Newmarket's diverse history on the site, including Indigenous history, quaker history, Mulock history as well as African history (slavery in Canada), a story often not told.
- **Destination:**
 - **Be ambitious!** Include a flagship opportunity on site. A hub for 'experimentation' resonated with many people (whether that is through the arts, creativity etc). Consider partnerships and revenue generating opportunities but don't make the site only for weddings and avoid loud concerts (for neighbours).
- **Inclusive and Accessible:**
 - **All ages:** Make sure the area is enticing for all ages, especially children.
 - **Food:** There is a need for food on site to attract and keep people. Consider the Armoury Culinary School (in Niagara Region). Are there opportunities for culinary kitchen and education?
Public Vs. Private Access: There is a strong desire for the site to be accessible and inclusive while also generating revenue. There is a desire to help figure out how to do this (through events, partnerships, etc.)
- **Natural Features**



- **Keep it as is:** Many feel that the site is beautiful as is and not much change is needed.
- Some feel there is not enough focus on environmental sustainability and stewardship on site.
- **Connected:**
 - **Parking Vs. Shuttle:** There were diverging perspectives on the importance of parking on/near the site and a shuttle to the site. Some believe there needs to be creative approaches to secure parking nearby.
 - **Jim Bond:** There was an overall sense that the site should be connected to Jim Bond Park.
 - **Broader Context:** Some suggested the need to integrate with the adjacent areas and ensure the design of the built form in the surrounding areas is also important to make this place truly special.

Other Considerations:

- **Process:** There were serious questions about how to create an inclusive and accessible place while generating money. There were questions about opportunities for phasing and interim uses (so as to not plan one final 'master plan' idea).
- **Revenue Generation:** A large question was how the Town will raise funds for this property and who are potential partners.
- **Precedents to look at:**
 - Aurora Cultural Centre has history and events/ programming
 - Luxembourg Gardens (in terms of how garden relates to building
 - Canadian Film Centre (institute in an old house)

Partnerships: Postsecondary

- Pickering College and Quakerism
- King City Seneca College
- Guelph Jokers Hill
- Town of Aurora Niagara College
- Trent university and seven first nations

Next Steps:

There is a desire from some members to come back together and ideate/comment on the direction for the master plan (as an advisory committee). This will be discussed with the Town.



Detailed Feedback

Overview of the Focus Group Session

At the start of this meeting, Trina Moyan led a smudging ceremony for the diverse thinkers. Participants introduced themselves, by explaining who they are (not what they do).

Colin Service, Director Recreation and Culture from Newmarket, led the diverse thinkers on a tour of the house. PROCESS team member Sara Udow then asked the group three questions about the site context, history and future, included in **Table 1** on **Page 2**. These three questions are being asked to a diversity of folks in order to understand the different perspectives and perceptions of the Mulock Property, knowledge of the site history, context and visions for its future. This input gained in the meeting will inform a final report summarizing the various perspectives, to identify where views align and diverge.

Table 1 - Diverse Thinkers Comments

Questions and responses are included below. Questions were asked prior to the presentations.

Question	Response
Context: <i>The area that Mulock is situated in</i>	There didn't seem to be a strong connection to the area that Mulock Property is located in. Some key aspects of the area that came to mind for participants include: <ul style="list-style-type: none"> ● Nature's Emporium plaza; ● The adjacent Summerhill neighbourhood; ● Unorganized area with offices, plazas, hydro, drainage ● Disturbed wetlands Some mentioned they pass through/drive through the area (without much reason to stay. But there is a sense of curiosity of the Mulock property and how it can fit into the area. There is also a sense that the area is changing.
The Site today	Many mentioned a sense of isolation: <ul style="list-style-type: none"> ● Isolated ● "Private but not in a good way" ● An "Oasis prison"



	<ul style="list-style-type: none"> ● No access/private ● Surrounded by trees and fences <p>There was also reference to the historical significance of the site but also it is not well known or understood:</p> <ul style="list-style-type: none"> ● Profound sense of history - one participant's grandfather used to pick berries on the Mulock farm; ● [The property] is a survivor; a place that has survived change and development in Newmarket; ● It is unknown and secret; ● Rumours that a band member from Rush lived on the property. ● Feels like Royal Botanical Gardens in Hamilton or Montgomery Inn in Etobicoke ● The country
<p>The Future of the Site</p>	<p>For the most part, participants identified the following key principles for the future of the site:</p> <ul style="list-style-type: none"> ● Accessible; ● Inclusive; ● Destination; ● Approachable; ● Welcoming; ● Connected; ● Connection to history.

Indigenous Cultural Training: After the initial questions and responses, Trina led the diverse thinkers through a 10 minute cultural competency training, sharing information about the Indigenous history (both nationally and locally), the present and future opportunities to incorporate Indigenous historical and present spaces on the Mulock site. We believe this is important as a way for the municipality to move toward Truth and Reconciliation, through city-building and parks planning efforts. The presentation is included in Appendix X.

Site Considerations and Priorities:

- After the cultural training, Lisa Rapoport presented the architectural history of the site as well as site observations and key considerations and expanded on the key principles and priorities with examples, and site testing.



- Sara Udow from PROCESS summarized key messages from the consultations to date including priorities.

After the presentation, we asked for feedback on the key priorities presented. Feedback is summarized below:

Priority	Responses
Rooted in History and Forward Looking	<p>Indigenous History representations: Many participants appreciated the Indigenous education at the start of the presentation and recognized the need to incorporate this history on site:</p> <ul style="list-style-type: none"> - “Sometimes we forget there is a deep history in Canada [speaking to the Indigenous history]. We just aren't aware of it.” - This history can be incorporated by showcasing Indigenous innovations, including a medicine garden and other features on site. <p>There is a need to consider diverse histories including Quaker history as well as African history. Many African Canadians came to the Newmarket area to escape slavery (specifically Gwillimbury).</p> <ul style="list-style-type: none"> - “Remember we have a much wider history” <p>Avoid static exhibits about history.</p>
A Destination	<p>Consider the Newmarket slogan: “Well beyond the ordinary”</p> <p>Be ambitious: Consider flagship opportunities, including a site for innovation/experimentation, arts and creativity, education, etc.</p> <p>Phasing and interim uses: While it is important to think of a large vision for a destination, it is also important to think what is possible now and incorporate interim uses as needed.</p> <p>Potential Themes for the Property:</p> <ul style="list-style-type: none"> - Environment (environmental education; outdoor education); - Innovation and experimentation (tech hub); - Education/Indigenous education;

	<ul style="list-style-type: none">- History;- Art and creativity;- Meditative: “I pay money to take a break from my phone... Can this be a place to disconnect?”- “Can we use the site to address future social issues?” <p>Potential Uses for the Property:</p> <ul style="list-style-type: none">- Skating: While many like the idea of the skating trail, others did not love it. Considering climate change (and flux in weather), there were discussions of other winter activities that could work.- Events: There were divergent ideas of what types of event spaces are needed.<ul style="list-style-type: none">- There is a recognition that revenue generation is needed (like at Riverwalk Commons).- Some were opposed to having weddings (or primarily weddings) on site. If there were going to be weddings they could be in a separate building, not only in the house.- Others suggested loud concerts would be problematic for neighbours.- Event spaces on site were also seen to be accompanied by parking concerns, which many people thought would be the hardest issue to solve.- Creative community spaces<ul style="list-style-type: none">- Make room for creative spaces: “Dynamic space to ensure York Region is more vibrant and creative.”<ul style="list-style-type: none">- “Even just a meeting room is helpful.”- Check out the York Region Arts Council Creative Space Feasibility Study.- Art/Public Art<ul style="list-style-type: none">- Could there be an artist residency on site?- Could there be an art gallery with opportunity for “local talent to use the walls.”- Consider an Arts Hub, including professional development.- Incorporate flexible, active and passive spaces.
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<p>Inclusive and Accessible</p>	<p>All ages: Ensure the site is children friendly. Public v. Private: While participants prioritize an accessible and inclusive space, when talking about funding, there were mixed opinions on how public vs. private the property should be.</p>
<p>Natural Features</p>	<p>Maintain the natural features (including a multi-use lawn). - Is it possible to include a welcome centre on the lawn? - Push lawn all the way to Yonge Street to give transition to the property. Some would like to see a stronger focus on environmental issues.</p>
<p>Connected</p>	<p>Parking vs. Shuttle: There was an extensive discussion on whether parking is required on site, nearby or whether a shuttle bus could suffice. There was an understanding that this is a complex issue and that there are cost-benefit considerations:</p> <ul style="list-style-type: none"> ● Shuttle: <ul style="list-style-type: none"> ○ During Mulock picnic, people enjoyed taking the shuttle. It's part of the experience. ○ It's like going to Toronto Island? ○ Ex. Milne Dam Conservation Park in Markham - there is a shuttle from a mall to a park. It's well used and helps businesses in the mall because people shop there. There are also bikes available. ○ This is Newmarket, people don't shuttle. ○ People enjoyed the shuttle from Ray Twinney for the picnic. ○ "Don't plan a site just around parking when we might not be driving in 50 years" ● Parking on-site or nearby is non-negotiable. It is a must if this is used as an event space. ● Not much room leftover – can't include parking and still do something significant or ambitious. ● Parking location suggestions: <ul style="list-style-type: none"> ○ Can the southeast plaza work for parking? ○ Can you use the hydro corridor for parking? ○ Use high schools to park on weekends. ● Other parking related comments: <ul style="list-style-type: none"> ○ "Don't design to peak use, design to average use." <p>Jim Bond Park: Most identified the need for Mulock Property to</p>

	<p>connect to Jim Bond.</p> <p>Broader Context: Create grand ceremonial entrance on Yonge Consider neighbouring developments - ensure pedestrian scale. This will affect the entrance and connection and how it is viewed as a destination.</p>
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Additional Email/Correspondence:

After the meeting, some members emailed additional thoughts, included verbatim below:

- Reminds me of England and an English Garden
- Brickworks
- High Tea
- Bed n Breakfast
- Bring Back Red Brick?
- Casa Loma
- Names: split in two - Rogers House and Mulock House?
- Bring back outbuildings - for multiple groups
- Indigenous history - perhaps the skate path could be an Indigenous nature history path/river in the summer that would look like the land around Newmarket once did?
- Music concerts on lawn
- Keep the envelope
- Buy land to the north for parking off Yonge
- House is different from the land - don't need joint purpose
- Food was obviously important to the family with 3-4 kitchens - potential here to bring back food in some way
- Is it open at night? Or does it close like central park?
- My mind keeps coming back to Children - need to have something here to bring youth in.



Mulock Estate Master Plan

Council Workshop

January 29, 2020

Attendees:

Newmarket Town Council

- John Taylor, Mayor of Newmarket
- Tom Vegh, Deputy Mayor and Regional Councillor
- Victor Woodhouse, Councillor - Ward 2
- Jane Twinney, Councillor - Ward 3
- Trevor Morrison, Councillor - Ward 4
- Bob Kwapis, Councillor - Ward 5
- Kelly Broome, Councillor - Ward 6
- Grace Simon, Councillor - Ward 1
- *Absent: Christina Bisanz, Councillor - Ward 7*

Consultant Team

- PLANT Architect: Lisa Rapoport. Eric Klaver
- PROCESS: Sara Udow

Overview:

On January 29th, 2020, the consultant team led a facilitated workshop with the Town Council. The objectives were to:

- 1) Introduce the Mulock Property project team to Town Council and share the work to date, including the historical research, what we've heard through consultations and site considerations;
- 2) Collect input from the Town Council on ideas for the site.

Introductory Activity

At the start of the meeting, PROCESS team member Sara Udow asked Council three questions about the site context, history and future, included in **Table 1 on Page 2**. These three questions are being asked to a diversity of folks in order to understand the different perspectives and perceptions of the Mulock Property, knowledge of the site history, context and visions for its future. This input gained in the meeting will inform a



final report summarizing the various perspectives, to identify where views align and diverge.

Table 1 - Town Council Comments

Questions and responses are included below:

Question	Response
Context: <i>The area that Mulock is situated in</i>	Council members were asked how they would describe the area:: <ul style="list-style-type: none"> ● Yonge and Mulock: busy intersection ● Urban ● High traffic ● Beautiful, undiscovered ● Transportation hub (including active transportation) ● Main corridor ● Surrounded by neighbourhoods (residential) and commercial uses (strip mall) ● Currently underdeveloped
The Site today	<ul style="list-style-type: none"> ● Pristine, serene ● Important ● Gorgeous ● Heritage and historic meaning <ul style="list-style-type: none"> ○ “Step back in time” ● “Full of trees” ● Different from surrounding ● Open ● Natural beauty ● Full of Potential
The Future of the Site	<ul style="list-style-type: none"> ● In 50 years, Mulock will be Newmarket’s Central Park; ● A beautiful Park in a dense area; ● A place where our children’s children will enjoy; ● Low Key; ● Active (fitness, trails, events, skating); ● Educational (Place to learn and study); ● A place that connects people; ● Reflects the heritage and history; ● Includes events; concerts ● “Future proof” the site; ● Flexible uses; ● Used daily;



	<ul style="list-style-type: none">● Open;● “A place to create memories”;● “Must be accessible to the public”;● “Outdoor enjoyment”;● A place tourists can enjoy;● Award Winning;● “Spectacular, not just good”;● Cultural component● “House is central”● Gathering place
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Presentation

PLANT Architect and PROCESS presented key learnings and research to date. This included:

- **Indigenous History:** Trina Moyan Bell’s presentation on Indigenous Cultural Competency, which included an introduction of the Truth and Reconciliation Commission, Indigenous history in Canada, research on the Indigenous history of Newmarket and the site; . We believe this research and education is important as a way for the municipality to move toward Truth and Reconciliation.
- **Site Considerations and Priorities:** After the cultural training, Lisa Rapoport presented the architectural history of the site as well as site observations and key considerations. Sara Udow from PROCESS summarized key messages from the consultations to date including priorities. The key considerations included:
 - Skating on the site;
 - Community hub uses on the site;
 - Parking; and
 - Connection to Jim Bond Park.

After the presentation, we asked for feedback on the key priorities presented. We asked what resonated based on the presentation. Feedback is summarized below:

Overall Feedback:

- **Learnings:** Many Council members suggested they learned a lot from the presentation, specifically about the diverse histories, what the property currently looks like, how much is currently on the property while being somewhat limited in terms of what it can accommodate;



- **Engage the community in sharing their stories and experiences:**
 - There are many local connections and memories associated with the property. It would be great to find opportunities to share their own personal narratives, stories and thoughts about the history and future of the site;
 - Include an interactive storyboard on the site for members of the public to share their experiences and stories; ‘
 - Include a book/archive about the history;
 - Engage local schools, specifically Sir William Mulock High School;



Council Summary

Priority	Responses
Rooted in History and Forward Looking	<p>Integrate history throughout the site:</p> <ul style="list-style-type: none"> ● First Nations history should be integrated into the site; ● Showcase Dunington Grubb (landscape architectural firm); ● Use plaques, self-guided tours, interactive methods to share history (Augmented reality); ● Make sure the history is not static; ● Connections to Mulock Family <ul style="list-style-type: none"> ● Events (reminiscent to Mulock’s parties at the home); ● Education: Sir William Mulock was a visionary. He was futuristic, experimental and innovative; ● Mulock’s agricultural history: Consider community gardens or experimental gardens on site (orchards, farming, gardens); ● “Mulock farm was centre of town”; ● Tell different stories of the site: how the land was used and where it might go;
A Destination	<p>Make sure the property is an award-winning park; spectacular.</p> <p>Include multiple uses simultaneously.</p> <p>Skating: The consultant team showed different concepts for skating on site, including skating rinks and trails. Responses below:</p> <ul style="list-style-type: none"> ● Skating would be great if possible; ● Include a skate rental facility (the facility could be used for other features in the other seasons); ● Some Councillors support the 1 km skating trail (500 m at the least). Many prefer the skating loop over a rink. ● Response ● If there is to be a rink, does it have to be NHL size? If so, could it be closer to Yonge Street? Could it just be shinny? ● Can the skating trail be on Jim Bond Park? <p>Community Hub; Amphitheatre; Covered Structure, Pavillion:</p> <p>The consultant team showed different configurations of community hubs on the site. Responses below:</p> <ul style="list-style-type: none"> ● Surprised how limiting the space is on site.

	<ul style="list-style-type: none"> ● Amphitheatre: Is that needed? Loud music/events may negatively impact the area/community. No need for amphitheater but some sort of platform for a stage at the top of the lawn would be great <p>Other suggestions/discussion:</p> <ul style="list-style-type: none"> ● Consider partnerships: <ul style="list-style-type: none"> ○ Universities: Pickering College, U of T (where Mulock was instrumental in creating the consolidated U of T, and was chancellor); ● Views/Entrance: <ul style="list-style-type: none"> ○ There was a discussion if the site should be opened or closed to the street. Should the site add/maintain dense trees? Keep a buffer to the site to ensure/enhance seclusion or incorporate a sense of entry? Should there be one grand entrance to the site? These questions were exploratory, with no consensus. ● Gardens: Newmarket is good at preserving natural features but there are currently no ambitious gardens. Gardens could reflect Mulock and Indigenous history; ● Food: Include food and beverage (to allow people to stay longer) <ul style="list-style-type: none"> ○ The house could be used as a culinary school speaking to cultural changes, as innovation studies; ● Nature: Add trees to the site; ● Water features could be used in the summer and as skating in winter; ● The house could be used as a culinary school speaking to cultural changes, as innovation studies; ● Other community/event spaces: Could the garage be a secondary space for events?
<p>Inclusive and Accessible</p>	<p>How to make the site inclusive?</p> <ul style="list-style-type: none"> ● Include food and beverage (to allow people to stay longer) <p>Views/Entrance:</p> <ul style="list-style-type: none"> ● Open or closed to the street? Should we include dense trees? ● Maintain a buffer to the site to ensure/enhance seclusion or incorporate a sense of entry? Should there be one grand entrance?



Natural Features	<ul style="list-style-type: none"> • Connect to the watershed
Connected	<p>Parking: The consultant team showed options for parking on and offsite. Responses below:</p> <ul style="list-style-type: none"> • Preferable to have parking along Mulock (not on the site) or as shown on a parallel access road; • Is it possible to have limited parking with great drop-offs? • Is it possible to use the hydro corridor? • Easy access for those who live lose by. • Consideration of a trolley (autonomous?) to take people to the site. <p>Jim Bond Park: The consultant team presented possible connections to Jim Bond Park. There were questions as to whether the property should be connected to the property? Some were concerned that if the property is connected, the adjacent residents will be negatively affected due to parking in the neighbourhood. However, as others mentioned, if the park and the property are not connected, the community wil lbe negatively impacted by having difficulty accessing the property.</p>

Mulock Estate Master Plan

Interview with Heritage

December 11, 2019

Purpose

As part of the background research for the Mulock Estate Master Plan, we want to connect with individuals from different perspectives to learn about various perceptions of the Mulock Estate, knowledge of the site and context and visions for its future.

Heritage Focus Group Members

- Erin Cerenzia, President of Newmarket Historical Society
- Jackie Playter, Chair, Elman W. Campbell Museum Board (also member of NHS)
- Billie Locke, Member, Elman W. Campbell Museum Board (also Chair of Heritage Newmarket)
- Michelle Clayton-Woods, Member, Friends of the Museum (also member of NHS)
- Janet Charpentier, Museum Staff (Outreach)
- Richard MacLeod [The History Hound] (also member of NHS & FOM)

Key Takeaways

1. Recognition that the area is in transition and the site can help to serve the current and new communities;
2. This is a great opportunity to save a piece of history in Newmarket, but historical interpretation on site cannot be static. It must be interactive;
3. The house should be used as an event space of some sort (no capacity at Old Town Hall);
4. The site should appeal to everyone, including children. This includes affordable and accessible programming;
5. Parking is seen as necessary (not necessarily on the site, but close by).

Question	Response
<i>Current Uses</i>	
How do Newmarket residents currently experience the area that Mulock Estate is in?	Commercial area Schools, stores and restaurants. Rec 20 Transit lines Area in transition

<p>What are the community spaces and parks they use?</p>	<p>“It used to be more rural, with horses and farms. Then it became more commercial (but not in organized looking way).”.</p> <ul style="list-style-type: none"> - In 1967, you came to buy apples here. - Sad it's all gone - What's left of their history (Boggart Town etc.) <ul style="list-style-type: none"> - Armitage Public School - Mulock High School <p>It is important to draw in the other communities that have become part of Newmarket</p>
<p>What destinations do people visit?</p>	
<p>What's currently missing in Newmarket?</p>	<ul style="list-style-type: none"> - There is not much for people to do in this area - No dedicated heritage home (House Museum) <ul style="list-style-type: none"> - No artefacts. It would be nice to include some information about Mulock. - Limited event space/conference space for large parties <ul style="list-style-type: none"> - No prestigious meeting conference space (for doctors and upscale conferences coming to the Town) - Old Town Hall (not one cohesive space) has lots of rooms but capacity is small, and sometimes overlap (like the art gallery) - The art gallery space also splits the event space into two with a corridor so not good for one big event - Floor plan at Mulock house is more conducive to having people as it always did - Need dedicated parking linked to event space. People don't choose Old Town Hall because it is not convenient for parking - Capacity - Need 200 - 250 people. Old Town Hall capacity caps at 150 - Nice to have something on the other side of town (ie, not just downtown) -- makes it more inclusive <p>Towns in this area are prone to being bedroom communities. It would be great to get rid of the idea that you have to go to the City in order to experience everything.</p>

	<ul style="list-style-type: none"> - River Town Commons is so good because people want to go out and experience the Town, where they can walk the trails and go to coffee shops and experience the site. <p>Important to draw in communities from all around Armitridge.</p>
<i>Future Uses</i>	
<p>How do you envision the future of the area (with the Secondary Plan)?</p>	<p>Highrises along Yonge Street and Mulock (10 storeys)</p> <ul style="list-style-type: none"> - This is good. Hope this will be geared to low income families. We need affordable housing badly. <p>If the GO train goes ahead, it will make transportation easier. Then the Estate will be better situated for people without cars and for people with day trips.</p>
<p>How do you envision the Mulock Estate fitting into the evolving context of the area?</p>	<ul style="list-style-type: none"> - It is so important to preserve the Estate because of the highrises that are coming. It will be seen as a huge park for people in the buildings. They will have places to go. - Otherwise, it is sO easy for all that land to get gobbled up
<i>Perceptions of Mulock Estate</i>	
<p>What is your experience with the Mulock Estate?</p>	<p>Rick</p> <ul style="list-style-type: none"> - Leads walking tours in the area outside of the Mulock Estate. Started doing presentations 10 years ago - Was able to go on to the property 3 times a while back. - Soon after the fire (barn fire in 1990s), Fire Department showed up but Mrs Mulock said the fire department was not allowed on the property. - She was very private. - People at parties were vetted
<p>What is your understanding of the history of the site?</p>	<p><i>What's special about the place:</i> The estate:</p> <ul style="list-style-type: none"> - It is one of the few if not only property somewhat untouched from the original period, from the Rogers family. The other one is Crossland property, a Quaker

<p><i>Mulock stories, indigenous, other stories?</i></p>	<p>meeting house (north of the site)</p> <ul style="list-style-type: none"> - Physically, the large windows and veranda - Why the grand entrance was at the west? It was the oldest part of the bldg - Upstairs - big windows and natural light - Grand staircase - "It makes a statement" <p>Mulock</p> <ul style="list-style-type: none"> - Amazing man - lived over 100 years. So many different aspects to him. - Renaissance man/man ahead of his time. <ul style="list-style-type: none"> - Did almost every job in the government. - Involved in CRTC. regulating communications field - UofT - Judge - Well connected here, in US and Great Britain. - Grants from Federal Government to do traveling shows bc father of the postmaster. - Agriculture and experimental farm. - Summer residence for the "Grand Old Man" - Continuity of one family's history over 100 years - Sir William Mulock funeral - 3 Prime Ministers at the funeral. - He was a people person. Would talk to people. - He was giving: At christmas, he would make sure people would have turkey and presents. - Everyone who used to visit (Royalty). - Used to have first editions of famous authors novels. - Framed letters from famous people (Banting and Best). <p>Indigenous Peoples</p> <ul style="list-style-type: none"> - Traded in Newmarket - "I don;t think they lived here." - They found lots of longhouses nearby. - There may be some things in diaries and books. - Artefact from 200 years ago on Prospect Street - Tomahawk peace pipe. - Agreement with Indigenous peoples - Mr Rogers and province - Carrying trail (Yonge St) - how it would be developed: 1798 - Dr. Dawson's involved with Inidgenous people. Indigenous people taught him local use of herbs and
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	<p>remedies. He patented or 'stole' the medicines.</p> <ul style="list-style-type: none"> - Rebellion of 1837 - Indigenous people protected him <p>Quaker history</p>
<p><i>Vision for the future of Mulock Estate</i></p>	
<p>Visions for the house</p>	<p>Recommendations: whatever we do with the property, we should consider grants from the government for exhibitions.</p> <p>So many different aspects - relationship with the museum about history and his life ---- tying the site to more than just the local.</p> <p>We are a miniscule group of people who care about history and heritage: For many new to this town, they may not even know there is a house here.</p> <p>Part of the task is how do we make this house and property and history relevant, accessible and exciting for people.</p> <ul style="list-style-type: none"> - History should not be static. The house needs a long term active use that does not get consumed. Right now, we teach history passively by naming things - like naming the schools. - History needs to be exciting and connected. Many people don;t even know there is a museum, but they have made great strides by making the experience really interactive. - Heintzmann House in Thornhill - historic house in the memory. Don't use as an example but in some of the rooms, there are secret doors, and see the original wallpaper). - Bring in youth: Can we hide pieces of history to attract kids? - Scavenger hunt within the facility? - Bring in newcomers. - Old Town Hall wall system - don't replicate, but like the idea of the flexibility of it. <p>Include everyone - this should be free and accessible.</p> <ul style="list-style-type: none"> - The town should not dwell on trying to get the \$24M back - Food choices need to be affordable (like sandwich and

	<p>tea - low \$)</p> <p>Spacious</p> <ul style="list-style-type: none"> - Lots of different events to appeal to different segments of the community to generate revenue - Art gallery shows - Conferences - Prestige parties - Philanthropists <p><i>Does the Newmarket Museum have other entities?</i></p> <ul style="list-style-type: none"> - There are outreach programs (take them to nursing homes, schools, town office), displays - Exhibits in the library - NHS - has an archives room. Right now digitizing everything. - Small museum - multifunctional room (room for 45 ppl) its a bit cramped. - Not really dedicated parking. <p><i>Would you want a museum in the Mulock house? Could the museum run it?</i></p> <ul style="list-style-type: none"> - There could be cabinets on site that the museum manages. - If Mulock had a museum, it could just be one room. - Feel strongly that the current museum should stay on main street and not be moved - Timothy Rogers stood in 1801 and said, "this is where we should settle". - Main St is the heart of Newmarket and York Region <p>Include more of a public space</p> <ul style="list-style-type: none"> - Landmarks: giant trees, white picket fence, exterior elements.
<p>Visions for the estate (park)</p>	<p>Keep the trees: Ontario Historical Society is concerned about the trees on the site.</p> <p><i>What are your thoughts on parking?</i></p> <ul style="list-style-type: none"> - There needs to be parking on site, to ensure it is easy and convenient. <ul style="list-style-type: none"> - Integrate parking spaces? - Parking across the street? - Related to event spaces

	<ul style="list-style-type: none">- People will not come if driving is difficult/parking not there. This is a driving community.- People won't take public transit because this is a driving town.- Maybe eventually people will take transit - this Town has great hopes of public transportation but people aren't engaging with it the way the Town would hope. Maybe in 20 years? <p>Access to site:</p> <ul style="list-style-type: none">- Would want more access from other directions.- Other access points? <p>Education about history</p> <ul style="list-style-type: none">- School trips- The Hillary House in Aurora (but want it to be better) <p>Mulock's Day</p> <ul style="list-style-type: none">- All children/families could be invited for an annual picnic and old fun activities- Teach the children part of the history but create Mulock house as warm and inviting- Working activities - churn butter, tap maple syrup <p>Farmers Market: Was used to revitalize the downtown</p> <p>Pop up events - food trucks</p> <p>Doors Open?</p> <ul style="list-style-type: none">- Committee used to run this but got tired. <p>Culture Days</p> <p>Pickering College Farm Tour</p> <p>Concerts in the park</p> <p>Need great AV equipment built into event space</p> <p>Outdoor events (amphitheatre)</p> <p>Entice people to stay longer (cafe?)</p> <p>Work with mainstream restaurant owners as pop-ups</p> <p>Public garden for people to plant vegetables (community garden)</p> <ul style="list-style-type: none">- Tie into the experimental farm- Good for school groups- Sharon Temple - chickens and garden --- everything goes to food bank- CHICKENS! <p>Murder mystery events</p> <p>Elevator for accessibility?</p>
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	<p>NOT a Boutique restaurant because it is town property - "there are enough places to eat in Newmarket"</p> <p>Step onto the property, and step back in time Need parkland - don't gobble up the site with buildings Something grand An ice rink is too much</p> <p>DONT REINVENT THE WHEEL AND MAKE IT TOO MUCH WORK</p>
Are you interested in exploring partnerships? If so, what kinds?	<p>So many small groups of people who have done great work protecting history - love that bringing everyone together!</p> <ul style="list-style-type: none">- Great to all be around the table
Who should we talk to?	Ontario Historical Society



Corporation of the Town of Newmarket

By-law 2020-27

A By-law to confirm the proceedings of a Special meeting of Council -
Electronic – May 25, 2020

Whereas s. 5(1) of the Municipal Act, 2001, S.O. 2001, c. 25 provides that the powers of a municipal corporation shall be exercised by its Council; and,

Whereas s. 5(3) of the Municipal Act, 2001, S.O. 2001, c. 25 provides that a municipal power, including a municipality's capacity, rights, powers and privileges, shall be exercised by by-law unless the municipality is specifically authorized to do otherwise; and,

Whereas the Council of the Town of Newmarket deems it advisable to pass such a by-law;

Therefore be it enacted by the Council of the Corporation of the Town of Newmarket as follows:

1. That subject to Section 3 of this by-law, every decision of Council, as evidenced by resolution or motion, taken at the meeting at which this by-law is passed, shall have the same force and effect as if each and every one of them had been the subject matter of a separate by-law duly enacted;
2. And that the execution and delivery of all such documents as are required to give effect to the decisions taken at the meeting at which this by-law is passed and the resolutions passed at that meeting are hereby authorized;
3. And that nothing in this by-law has the effect of giving to any decision or resolution the status of a by-law where any legal prerequisite to the enactment of a specific by-law has not been satisfied;
4. And that any member of Council who disclosed a pecuniary interest at the meeting at which this by-law is passed shall be deemed to have disclosed that interest in this confirmatory by-law as it relates to the item in which the pecuniary interest was disclosed.

Enacted this 25th day of May 2020.

John Taylor, Mayor

Lisa Lyons, Town Clerk