



Town of Newmarket Agenda

Heritage Newmarket Advisory Committee

Date: Tuesday, November 5, 2019
Time: 7:00 PM
Location: Mulock Room
Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

Pages

1. Additions & Corrections to the Agenda
2. Declarations of Pecuniary Interest
3. Presentations/Deputations
4. Approval of Minutes
 - 4.1 Heritage Newmarket Advisory Committee Meeting Minutes of October 1, 2019 1
 - 4.2 Heritage Newmarket Advisory Committee Meeting Minutes of October 16, 2019 6
5. Correspondence
6. Items
 - 6.1 Denison Child Care / Stickwood Walker Development (900 Mulock Dr) 8
 - 6.2 Little Brew Hops Minor Variance (209 Main Street South) 13
 - 6.3 184 to 194 Main Street South
 - 6.4 Update on Protection of Private Trees By-law
 - 6.5 Doors Open 178
 - 6.6 2020 Schedule of Meetings

- January 7, 2020
- March 3, 2020
- May 5, 2020
- July 7, 2020
- September 1, 2020
- November 3, 2020

7. Reports of Committee Members

7.1 Designated Property Maintenance and Concerns

7.1.1 Site Plaques

7.1.2 Residence Plaques

7.1.3 Heritage Location Plaques

8. Committee Reports

8.1 Elman W. Campbell Museum Board

8.2 Lower Main Street South Heritage Conservation District Advisory Group

9. New Business

10. Adjournment



Town of Newmarket

Minutes

Heritage Newmarket Advisory Committee

Date: Tuesday, October 1, 2019

Time: 7:00 PM

Location: Mulock Room
Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

Members Present: Billie Locke, Chair
Gord McCallum, Vice-Chair
Councillor Bisanz
David McLennan
Mitch Sauder
Joan Seddon

Members Absent: Norman Friend

Staff Present: D. Ruggle, Senior Planner - Community Planning
A. Walkom, Legislative Coordinator

1. Additions & Corrections to the Agenda

None.

2. Declarations of Pecuniary Interest

None.

3. Presentations/Deputations

None.

4. Approval of Minutes

4.1 Heritage Newmarket Advisory Committee Meeting Minutes of September 3, 2019

A spelling error was noted under Item 8.1.

Moved by: Gord McCallum

Seconded by: David McLennan

1. That the Heritage Newmarket Advisory Committee Meeting Minutes of September 3, 2019 be approved as corrected.

Carried

5. Correspondence

None.

6. Items

6.1 Doors Open

The Committee discussed the recent Doors Open event which was held in Aurora and previous events which had been held in Newmarket. The Committee discussed the potential benefits to the community, such as tourism opportunities. Members discussed possible collaboration with other groups with an event taking place in 2021.

6.2 Update on Protection of Private Trees By-law

The Senior Planner provided a status update on the Protection of Private Trees by-law. He advised that a Public Information Centre was scheduled for October 5, 2019. He advised that a report back to Council would likely occur in 2020.

6.3 Update on Façade Restoration - 184 to 194 Main Street South

The Senior Planner provided an update on the facade restoration project taking place on the buildings at 184 to 194 Main Street. He advised that siding had been removed and that brick cleaning was taking place.

7. Reports of Committee Members

7.1 Designated Property Maintenance and Concerns

The Committee discussed the three types of Heritage plaques and how to organize the plaque program going forward.

7.1.1 Site Plaques

7.1.2 Residence Plaques

7.1.3 Heritage Location Plaques

8. Committee Reports

8.1 Elman W. Campbell Museum Board

The Senior Planner advised that the multipurpose room would be named after Jim Nuttall. Billie Locke provided an update on recent Museum events include Culture Days on September 28, 2019.

8.2 Lower Main Street South Heritage Conservation District Advisory Group

There was no update on this item.

9. New Business

9.1 Denison Child Care / Stickwood Walker Development

The Senior Planner provided an update on the Stickwood Walker property which has been leased by Denison Daycare for use as a day nursery. He advised of work which would need to be undertaken on the farmhouse to restore it for use. The Committee discussed the windows which need repair and the tail wing section of the building.

Moved by: Gord McCallum

Seconded by: Joan Seddon

1. That the Heritage Newmarket Advisory Committee recommend to Council that the windows in the Stickwood Walker House be replaced only if it can be demonstrated that they cannot be restored; and,
2. That the tail wing structure of the house be restored.

Carried

9.2 1075 Gorham Street

The Senior Planner advised that a demolition permit had been submitted for the house located at 1075 Gorham Street and that the Town must respond within 60 days. As the property is listed on the Heritage Registry, the Heritage Committee will be asked to provide a recommendation. A special meeting will be scheduled so that materials can be gathered on the property for the Committee's consideration.

9.3 Update on Heritage Buildings

The Committee requested updates on a number of Heritage properties. The Senior Planner provided brief verbal updates on the Bogart House, the Union Hotel and the Baptist Church on Main Street.

9.4 Heritage Plaques

Gord McCallum advised of a firm who could produce heritage plaques. The Committee further discussed the plaque program and sourcing a producer for plaques.

9.5 Mulock Farm Picnic

Councillor Bisanz advised of the upcoming Sir William Mulock Harvest Picnic scheduled for October 6, 2019.

9.6 Planning Department Staffing Changes

The Senior Planner advised that he had accepted a new position and would be leaving the Town of Newmarket. He advised that the Planning Department would provide an interim liaison for the Committee until a permanent replacement is hired.

10. Adjournment

Moved by: Joan Seddon

Seconded by: David McLennan

1. That the meeting adjourn at 8:20 PM.

Carried

Chair

Date



Town of Newmarket

Minutes

Heritage Newmarket Advisory Committee

Date: Wednesday, October 16, 2019

Time: 7:00 PM

Location: Cane Room
Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

Members Present: Billie Locke, Chair
Councillor Bisanz
Norman Friend
Mitch Sauder
Joan Seddon

Members Absent: Gord McCallum, Vice-Chair
David McLennan

Staff Present: A. Cammaert, Acting Manager, Planning Services
A. Walkom, Legislative Coordinator

The meeting was called to order at 7:00 PM. Billie Locke in the Chair.

1. Additions & Corrections to the Agenda

None.

2. Declarations of Pecuniary Interest

None.

3. Presentations/Deputations

None.

4. Items

4.1 1075 Gorham Street

The Committee discussed the demolition permit which had been received by the Town for the house located at 1075 Gorham Street. The Committee reviewed the materials available on the property, including a report produced in 2002 recommending designation of the house.

The Committee utilized the heritage resource evaluation criteria form to examine the features of the house and evaluate their heritage value. The Committee noted that the house was notable due to its Neo-Classical/Regency style and design features. Members also noted that it represented an historical link to Bogarttown and is one of the last remaining buildings of the former town.

Moved by: Joan Seddon

Seconded by: Mitch Sauder

1. That the Heritage Newmarket Advisory Committee recommend heritage designation of the property located at 1075 Gorham Street as the property retains many of its original characteristics and as it represents one of the last remaining structures of Bogarttown, taking into account the 2002 Heritage Designation Report.

Carried

5. Adjournment

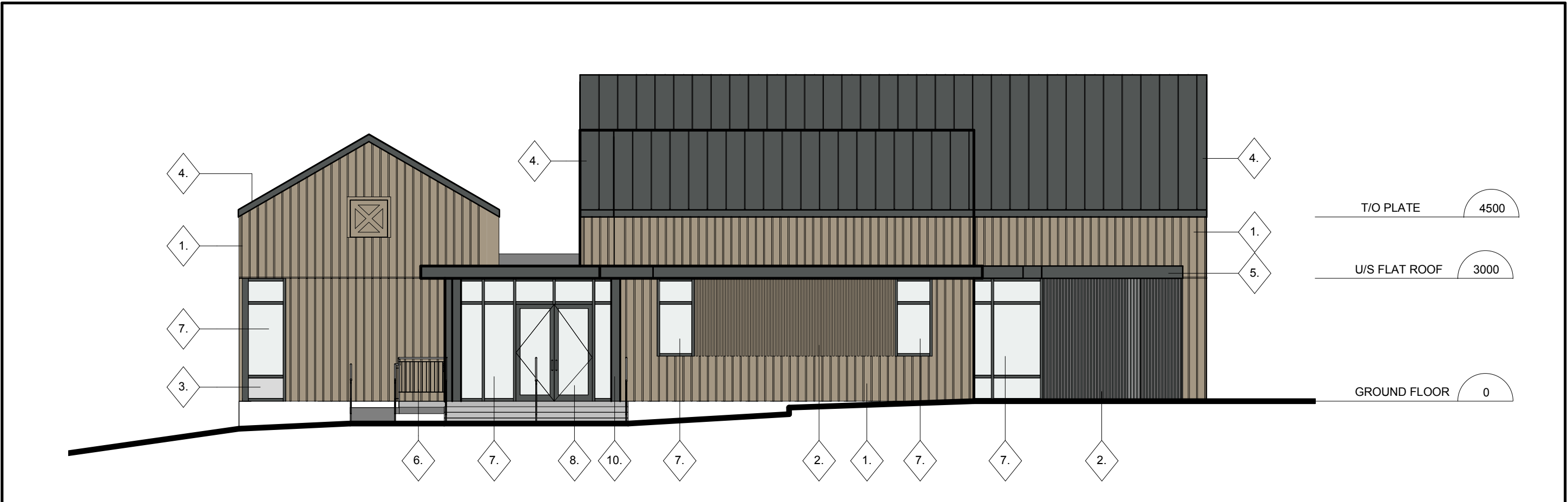
The meeting adjourned at 8:19 PM.

Chair

Date



4 ELEVATION - NORTH
A102 1 : 100



3 ELEVATION - SOUTH
A102 1 : 100



2 ELEVATION - WEST
A102 1 : 100



1 ELEVATION - EAST
A102 1 : 100

APPLICATION NUMBER:

APPLICATION NUMBER:

NOTES:
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ELEVATION MATERIALS

- 1 CHARRED WOOD SIDING
- 2 WOOD SLATS
- 3 SPANDREL PANEL
- 4 METAL ROOF
- 5 METAL CANOPY
- 6 METAL RAILING
- 7 WINDOW
- 8 GLASS DOOR
- 9 HOLLOW METAL DOOR
- 10 STEEL COLUMN

REVISIONS		

SUBMITTALS		
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No.	Description	YYYY.MM.DD By

NORTH: STAMP:

4 ARCHITECTURE INC.
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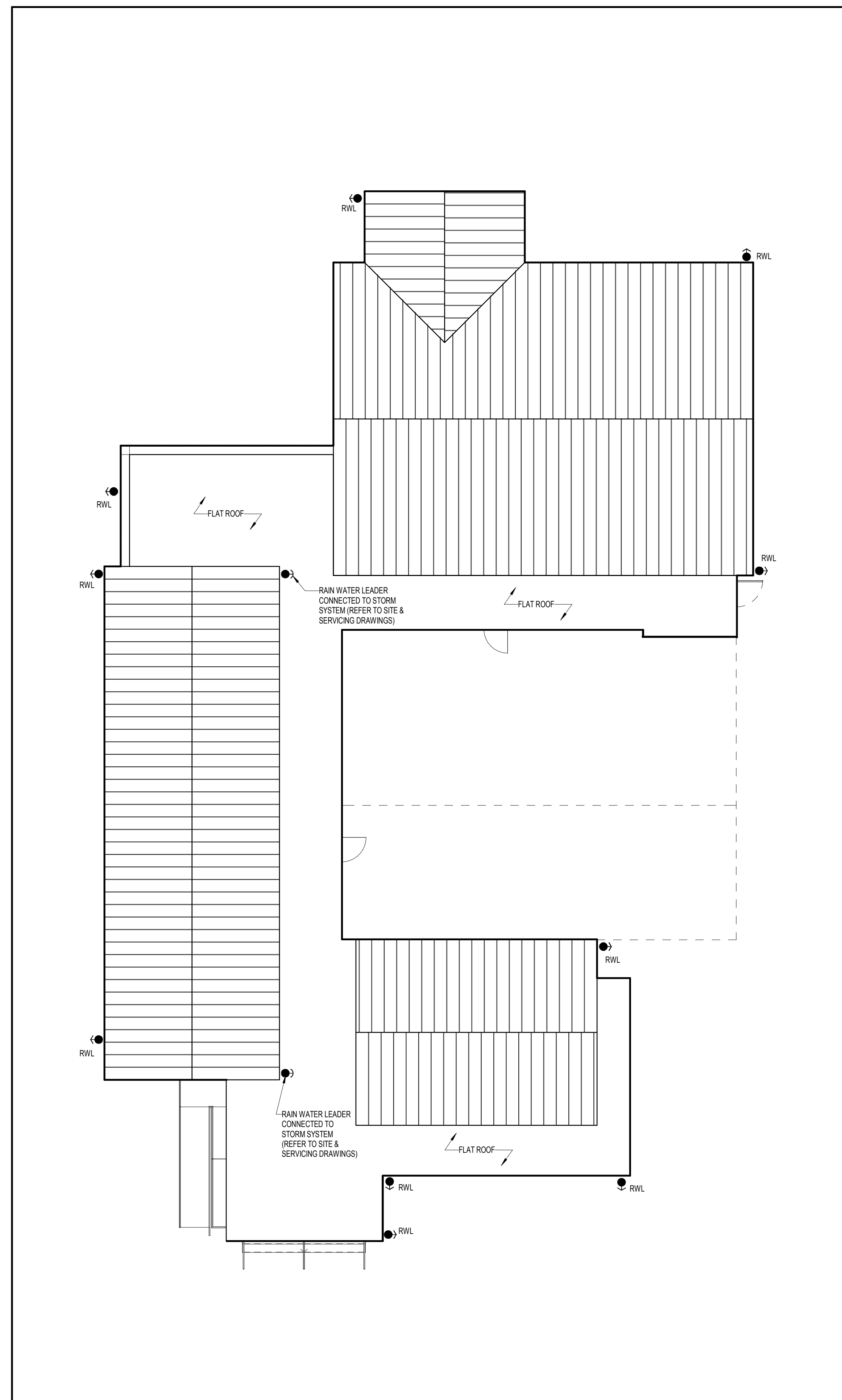
219031 - DENISON DAYCARE

ELEVATIONS

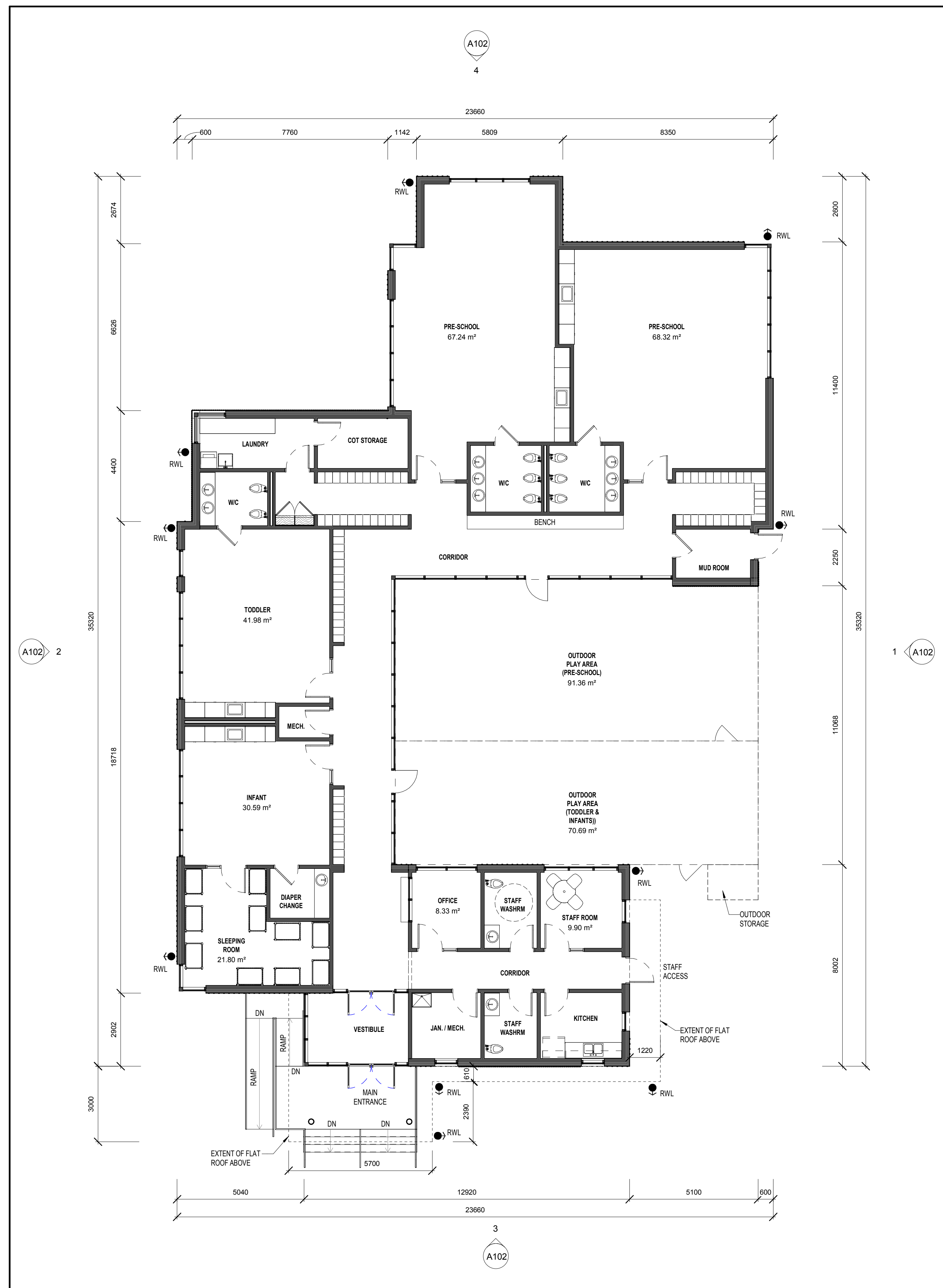
2019.10.10

Scale: 1 : 100 Drawn By: PS Checked By: DG

A102



2 ROOF PLAN
A101 1 : 100



1
A101

GROUND FLOOR PLAN
1 : 100

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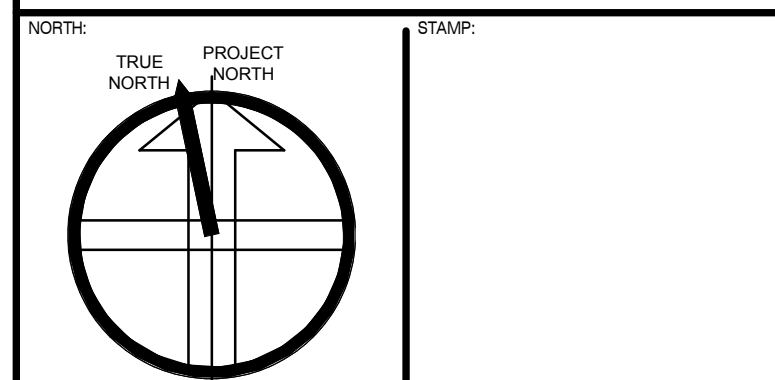
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SUBMITTALS			
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No.	Description	XXXX MM DD	Pa

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219031 - DENISON DAYCARE

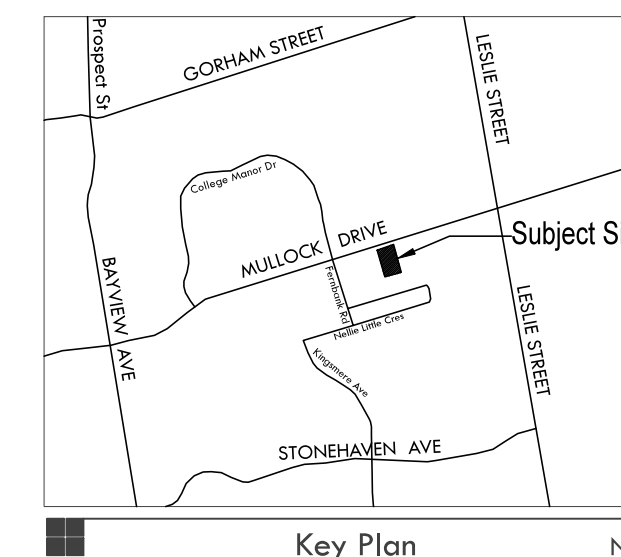
GROUND FLOOR & ROOF PLAN

2019.10.10

Scale	Drawn By	Checked
1 : 100	PS	DG

A101

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S SITE PLAN AS WELL AS THE LATEST ISSUANCE OF ALL PLANS, DOCUMENTS AND REPORTS AS PREPARED FOR THIS PROJECT BY OTHER PARTIES AND CONSULTANTS.



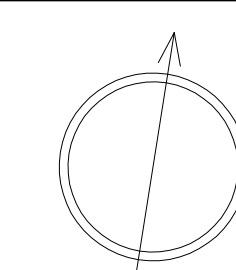
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Canada L3Y 1L7
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Diagram illustrating the types of trees proposed for the site:

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED SHRUBS
- EXISTING TREE

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LANDSCAPE ARCHITECTURE URBAN DESIGN MASTER PLANNING
TEL: 416-545-1306 insite@globalserve.com

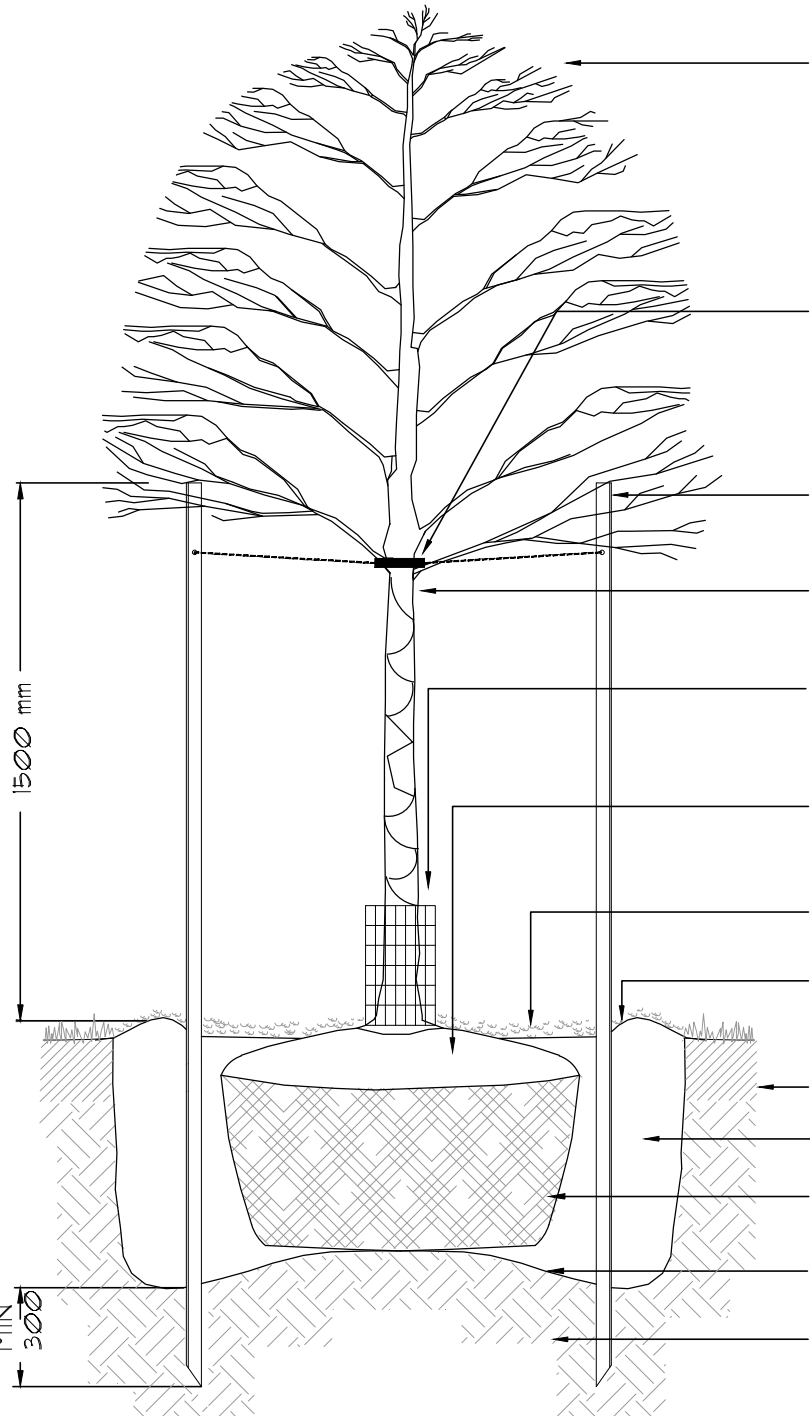


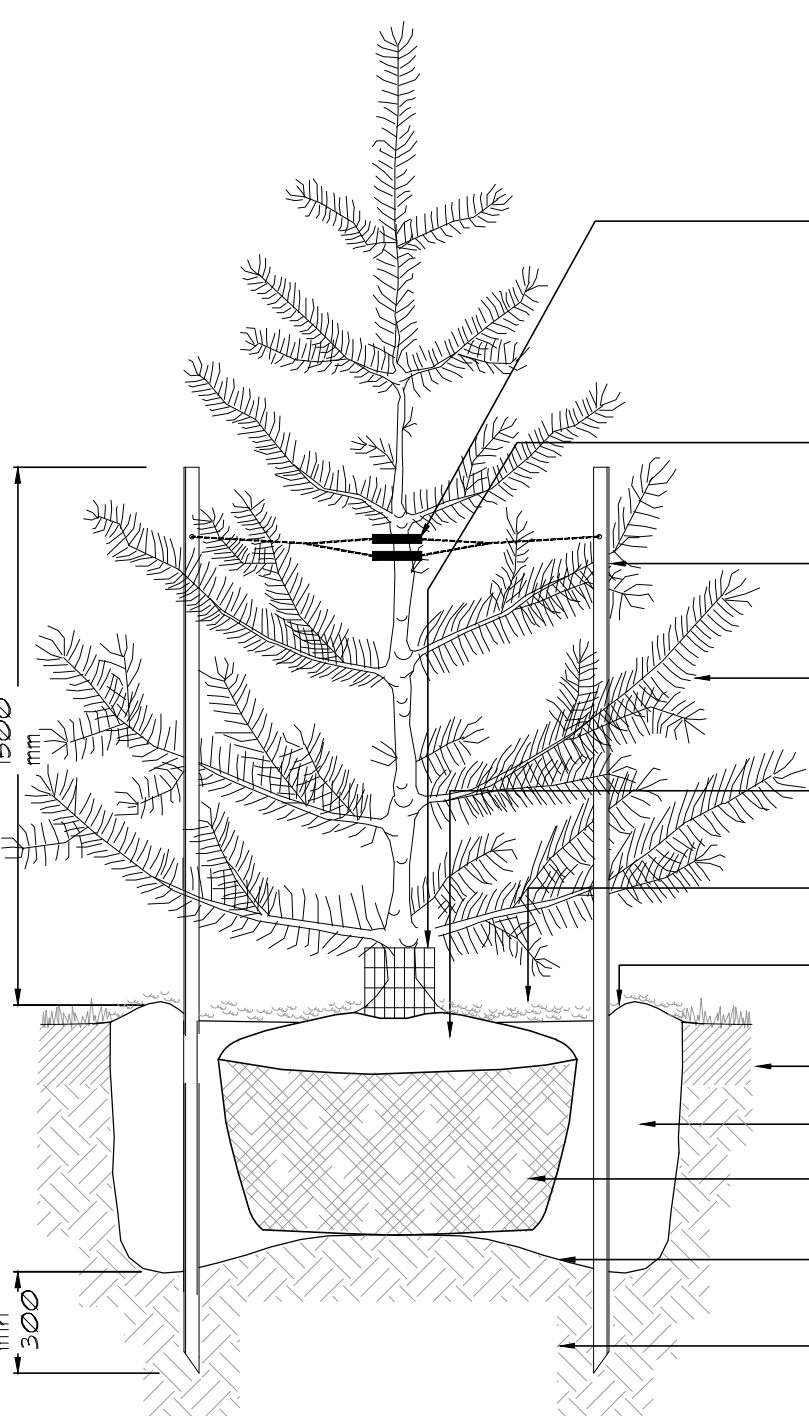
900 MULOCK DRIVE/650 FERNBANK ROAD
PART OF BLOCK 38, PLAN 65M4022
TOWN OF NEWMARKET
REGIONAL MUNICIPALITY OF YORK REGION

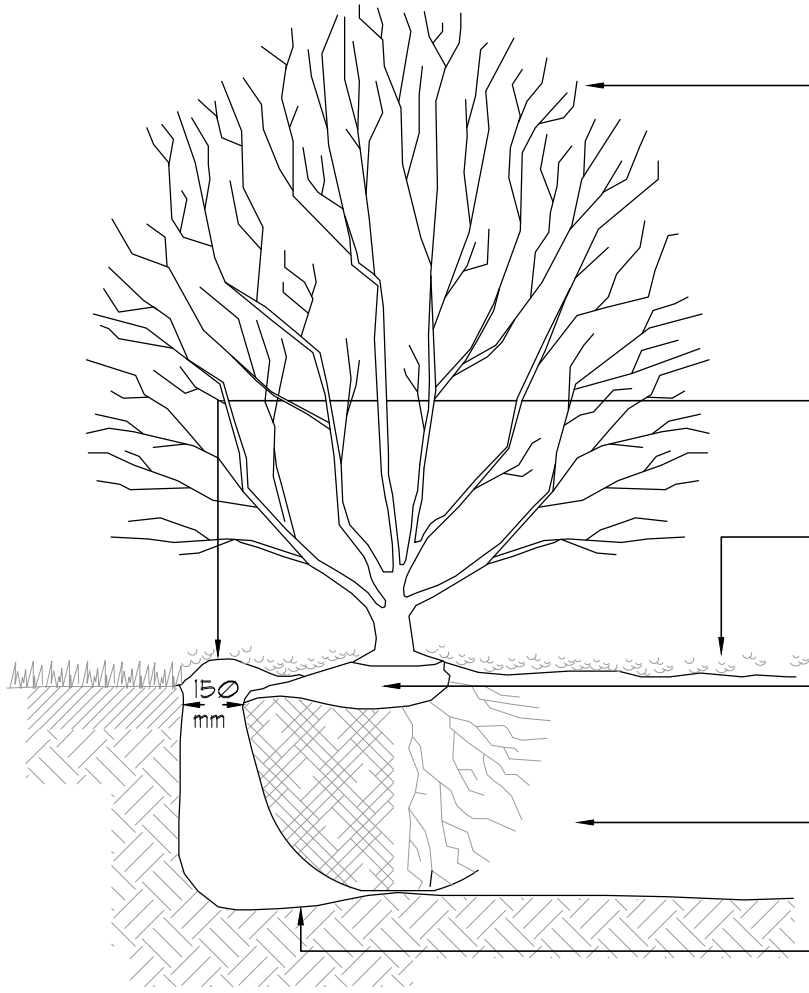
DATE: OCT.7-19	PROJECT: 190717
SCALE: 1:300	SHEET L-1

<p>GENERAL NOTES</p> <ol style="list-style-type: none">1. ALL LANDSCAPE WORKS, UNLESS OTHERWISE NOTED, SHALL BE EXECUTED BY ONSITE CREW AND FORE PERSON WITH MINIMUM THREE YEARS OR MORE RELATED EXPERIENCE.2. LANDSCAPE DRAWING ARE NOT BE SCALED.3. NO EXTRA WILL BE CONSIDERED FOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS UNLESS REPORTED IN WRITING TO CONSULTANT PRIOR TO COMMENCEMENT OF WORK.4. DO NOT LEAVE ANY EXCAVATED HOLES OPEN OVERNIGHT.5. MAKE GOOD ALL DAMAGE RESULTING FROM THE WORK AT NO EXTRA COST.6. KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.7. NO STOCKPILE IS ALLOWED ON SITE WITHOUT OWNER'S APPROVAL AND DIRECTION.8. IF REQUESTED CONTRACTOR IS TO SUBMIT SAMPLES OF ALL PROPOSED MATERIALS IN THIS CONTRACT FOR APPROVAL BY CONSULTANT PRIOR TO COMMENCEMENT OF WORK.9. CONTRACTOR RESPONSIBLE FOR STAKE OUT AND VERIFY LOCATIONS FOR ALL UTILITIES PRIOR TO ANY CONSTRUCTION, AND REPORT ALL CONFLICTS TO CONSULTANT IN WRITING. CONTRACTOR TO OBTAIN WRITTEN INSTRUCTIONS PRIOR TO STARTING WORK.10. THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECT'S SITE PLAN, ENGINEERING DRAWINGS, SOIL REPORTS AND ALL OTHER APPLICABLE DOCUMENTS.11. ALL SHRUBS AND GROUND COVER TO BE IN CONTINUOUS PLANTING BEDS. ALL PLANTING TO MEET MUNICIPALITY'S SPECIFICATIONS.12. IF REQUESTED CONTRACTOR TO LAYOUT ALL LANDSCAPE ELEMENTS, AND CONFIRM LOCATIONS WITH THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK.13. CONTRACTOR MUST ALWAYS FOLLOW THE APPROVED ENGINEERING GRADING PLANS, REPORT ANY DISCREPANCIES TO CONSULTANTS AND SITE SUPERVISOR IMMEDIATELY.14. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK BY NURSERY KNOWN IN THE INDUSTRY. PROVIDE IN WRITING SOURCE OF PLANT MATERIAL TO CONSULTANT.15. CONTRACTOR TO CONFIRM THAT THE PLANT QUANTITIES SHOWN ON THE PLANT LIST CONFORM TO THE LANDSCAPE DRAWINGS. ANY DISCREPANCIES NOT REPORTED AT TIME OF TENDER, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.	
GENERAL NOTES	NTS

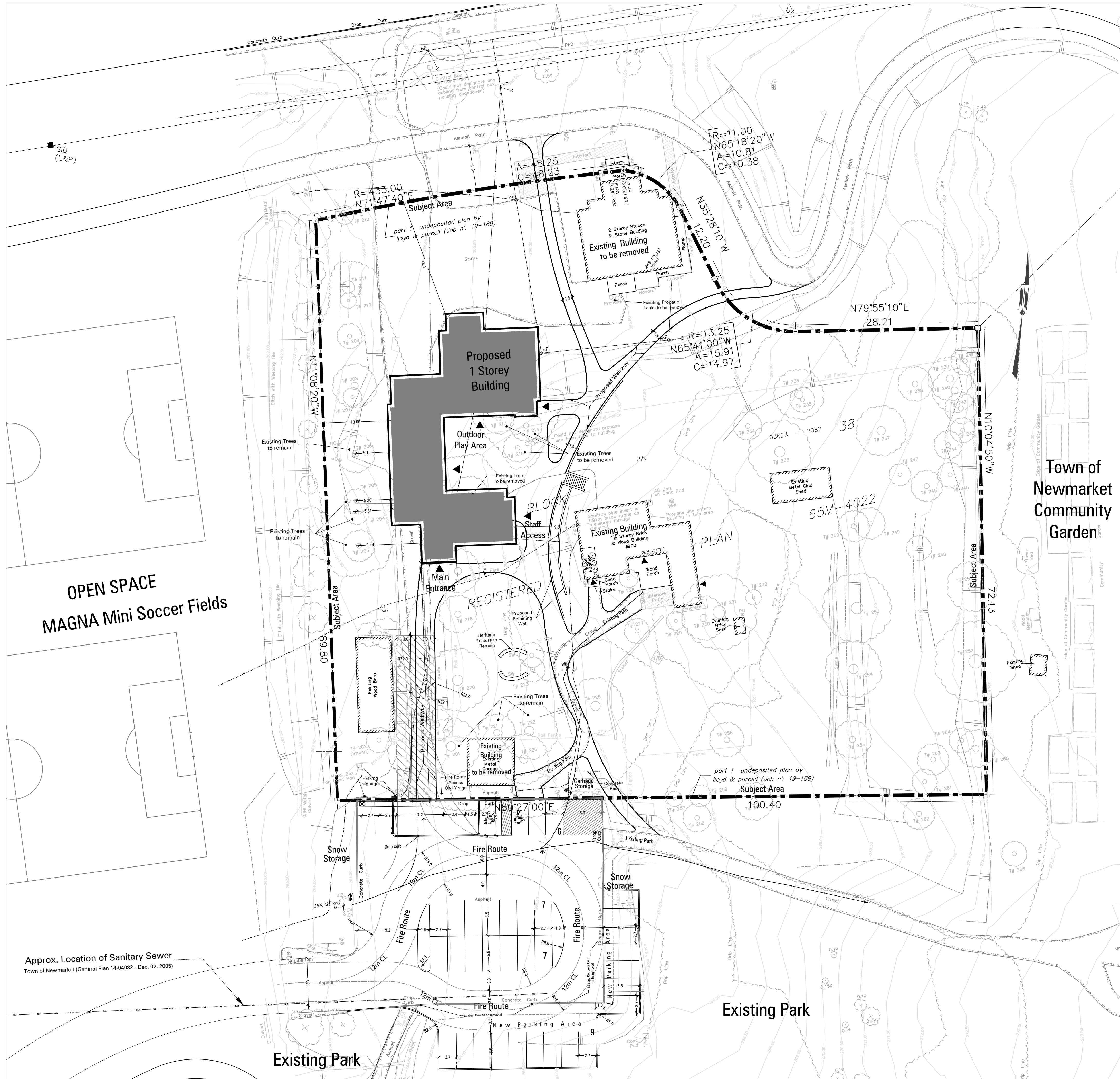
<ol style="list-style-type: none">16. CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO OBTAINING SUBSTANTIAL COMPLETION.17. CONTRACTOR TO INSTALL NEW SOD AND NEW TOPSOIL AS PER SPECIFICATIONS AND GENERAL NOTES THROUGHOUT THE SITE AS DESIGNED. CONTRACTOR TO VERIFY WITH OWNER AT TIME OF TENDER IF NEW TOPSOIL AND SOD SHALL EXTEND THROUGH THE MUNICIPAL BOULEVARD TO THE REAR OF THE MUNICIPAL CURB.18. CONTRACTOR MUST ADVISE AND OBTAIN WRITTEN APPROVAL FROM THE CONSULTANT AND MUNICIPALITY OF ANY PLANT MATERIAL SUBSTITUTIONS PRIOR TO COMMENCEMENT OF WORK.19. CONTRACTOR WILL NOTIFY THE LANDSCAPE ARCHITECT WHEN WORK IS COMPLETED. WARRANTY PERIOD COMMENCES ONLY WHEN THE CERTIFICATE OF COMPLETION, SUBJECT TO DEFICIENCIES IS RECEIVED BY OWNER.20. CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS AND SATISFY THEMSELVES OF SITE CONDITIONS. ADVISE CONSULTANT IMMEDIATELY OF ANY CONCERN, PRIOR TO CONSTRUCTION.21. CONTRACTOR TO CONFIRM ISSUED DRAWINGS ARE LATEST REVISED DRAWINGS PRIOR TO TENDER AND/OR PRIOR TO CONSTRUCTION.	
GENERAL NOTES - continued	NTS

 <p>Labels for Deciduous Tree Planting:</p> <ul style="list-style-type: none">PRUNE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. DO NOT REMOVE LEADER.TREE TIE SHALL BE FASTENED AROUND TRUNK IN A FIGURE EIGHT USING PLIABLE NO.8 GAUGE MIN. GALVANIZED IRON WIRE FOR TREES 10MM AND OVER AND 100MM DIAM. BIG 'O' PLASTIC PIPE RUBBER HOSE SHALL BE BLACK, TWO PLY, REINFORCED, 12MM IN DIAMETER.WOODEN STAKES - 50 X 50 X 15M LONGWRAP TRUNK WITH APPROVED TREE WARP FROM TOP OF BALL TO JUST ABOVE SECOND BRANCH.RODENT GUARD / WHIFFER SNIPPER GUARD 200MM LONG, 100MM DIAM. BIG 'O' PLASTIC PIPEWIRE BASKET TO REMAIN INTACT, IF BURLAP CUT AND REMOVE TOP 1/2 FROM ROOTBALL. ENSURE STRING TIES ARE CUT.100MM DEPTH OF APPROVED WOODCHIP MULCHCONSTRUCT 100MM TOPSOIL SAUCER BEYOND EDGE OF ROOTBALLEXISTING SOILPLANTING SOIL MIXTUREPLACE ROOTBALL ON UNEXCAVATED SOILSCARIFY SURFACE OF SUBSOIL PRIOR TO PLANTINGUNDISTURBED EARTH. <p>NOTES: TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS NURSERY GRADE. THE ABOVE TREE REPRESENTS A TYPICAL DECIDUOUS TREE. TREE SHALL BE PROPERLY WRAPPED DURING TRANSPORT TO PREVENT WINDBURN. PRUNE BRANCHES AS NECESSARY ACCORDING TO STANDARD HORTICULTURAL PRACTICES. RETAIN NATURAL SHAPE. DO NOT CUT LEADER.</p> <p>TREE PIT TO BE 3X SIZE OF ROOTBALL. SOIL PREPARATION AREA TO BE 2X ROOTBALL DIAMETER AROUND TREE PIT.</p>	
DECIDUOUS TREE PLANTING	NTS

 <p>Labels for Coniferous Tree Planting:</p> <ul style="list-style-type: none">TREE TIE SHALL BE FASTENED AROUND TRUNK IN A FIGURE EIGHT USING PLIABLE NO.8 GAUGE MIN. GALVANIZED IRON WIRE FOR TREES 10MM AND OVER AND 100MM DIAM. BIG 'O' PLASTIC PIPE RUBBER HOSE SHALL BE BLACK, TWO PLY, REINFORCED, 12MM IN DIAMETER.RODENT GUARD / WHIFFER SNIPPER GUARD 200MM LONG, 100MM DIAM. BIG 'O' PLASTIC PIPEWOODEN STAKES - 50 X 50 X 15M LONGTREE MUST BE DENSE AND FULL WITH COMPLETE BRANCH DEVELOPMENT AND VIGOROUS FOLIAGEWIRE BASKET TO REMAIN INTACT, IF BURLAP CUT AND REMOVE TOP 1/2 FROM ROOTBALL. ENSURE STRING TIES ARE CUT.100MM DEPTH OF APPROVED WOODCHIP MULCHCONSTRUCT 100MM TOPSOIL SAUCER BEYOND EDGE OF ROOTBALLEXISTING SOILPLANTING SOIL MIXTUREPLACE ROOTBALL ON UNEXCAVATED SOILSCARIFY SURFACE OF SUBSOIL PRIOR TO PLANTINGUNDISTURBED EARTH. <p>NOTES: TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS NURSERY GRADE. THE ABOVE TREE REPRESENTS A TYPICAL CONIFEROUS TREE. TREE SHALL BE PROPERLY WRAPPED DURING TRANSPORT TO PREVENT WINDBURN. PRUNE BRANCHES AS NECESSARY ACCORDING TO STANDARD HORTICULTURAL PRACTICES. RETAIN NATURAL SHAPE. DO NOT CUT LEADER.</p> <p>TREE PIT TO BE 3X SIZE OF ROOTBALL. SOIL PREPARATION AREA TO BE 2X ROOTBALL DIAMETER AROUND TREE PIT.</p>	
CONIFEROUS TREE PLANTING	NTS

 <p>Labels for Shrub Planting:</p> <ul style="list-style-type: none">PRUNE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT.CONSTRUCT 100mm TOPSOIL SAUCER AROUND SHRUB BASE OR SHRUB BED100mm DEPTH OF APPROVED WOODCHIP MULCHCUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE POTS FROM ALL POTTED MATERIAL.PLANTING SOIL MIXTURESCARIFY SURFACE OF SUBSOIL PRIOR TO PLANTING <p>NOTES: SHRUB SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS NURSERY GRADE. SHRUBS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BEDS. THE ABOVE DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.</p>	
SHRUB PLANTING	NTS

<p>ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE AND ANY OTHER AUTHORITY HAVING JURISDICTION. ALL DIMENSIONS TO BE CHECKED AND VERIFIED AT THE SITE BY EACH CONTRACTOR. ANY DISCREPANCIES AND/OR ERRORS SHALL BE REPORTED IN WRITING TO THE CONSULTANT BEFORE COMMENCING ANY WORK. ALL DRAWINGS ARE THE COPYRIGHT OF THE CONSULTANT AND REMAIN THE PROPERTY OF THE CONSULTANT.</p> <p>THIS DRAWING IS THE PROPERTY OF INSITE LANDSCAPE ARCHITECTS INC. AND MAY NOT BE COPIED IN WHOLE OR PART, NOR MAY ANY INFORMATION CONTAINED THEREON BE USED WITHOUT WRITTEN PERMISSION OF INSITE LANDSCAPE ARCHITECTS INC.</p>	
<p>SITE PLAN INFORMATION PROVIDED BY:</p> <p>LARKIN + land use planners inc. 849 Gorham Street Newmarket, ON Canada L3Y 1L7 905-895-0554 / 888-854-0044 www.larkinplus.com</p>	
<p>OCT.2-19 REVISED AS PER NEW SITE PLAN ISSUED FOR CLIENT USE</p> <p>OCT.7-19 ISSUED FOR CLIENT USE</p> <p>INSITE LANDSCAPE ARCHITECTS INC. LANDSCAPE ARCHITECTURE URBAN DESIGN MASTER PLANNING TEL: 416-545-1306 insite@globalserve.net</p>	
	
<p>PROJECT:</p> <p>DR. JOHN M DENISON CHILD CARE CENTRE SPM-19-55 W5</p> <p>900 MULOCK DRIVE/650 FERNBANK ROAD PART OF BLOCK 38, PLAN 65M4022 TOWN OF NEWMARKET REGIONAL MUNICIPALITY OF YORK REGION</p>	
<p>NOTES AND DETAILS</p>	
DATE: OCT.7-19	PROJECT: 190717
SCALE: NTS	SHEET: L-2



APPROVAL STAMP

LEGEND

B	BELL SERVICE WIRE
E	ELECTRIC
H	HYDRO
S	SANITARY SEWER
U	OVERHEAD UTILITY
W	WATER
BS	BOTTOM STEP
OC	TOP OF BACK OF CURB
OS	DROP CURB
CS	DOOR SILL
FS	FINISHED FLOOR
UT	GUTTER
IN	INVERT
OB	OVERLY
TP	TOP OF PORCH
TS	TOP OF STEP
TD	TOP OF WALL
DI	DIAMETER
AC	AIR CONDITIONER
B	BOLLARD/GUARD POST
CB	CATCH BASIN
CONC	CONCRETE
CTB	CONTROL BOX
DC	DROP CURB
FP	FLAG POLE
HP	HYDRO POLE
HPL	HYDRO POLE & LIGHT
HPT	HYDRO POLE & TRANSFORMER
HR	HANDRAIL
I/B	INTERLOCKING BRICK
ICB	IRRIGATION CONTROL BOX
ICV	IRRIGATION CONTROL VALVE
L	LIGHT
MH	MANHOLE
P	PILLAR
PED	BELL PEDESTAL
PO	MISC. POST
RF	RAIL FENCE
SP	SIGN POST
SW	STONE WALL
TF	TAGGED TREE NUMBER
WK	WATER KEY
WV	WATER VALVE
	ANCHOR/GUY WIRE
	CONIFEROUS TREE (SPREAD)
	DECIDUOUS TREE (SPREAD)
	TAGGED TREE (SPREAD)
	TOP OF SLOPE
	TOE OF SLOPE
	EDGE OF ASPHALT/GRAVEL
	EDGE OF TREES
	BUILDING ENTRANCE

NOTES

REQUIRED NOTES

- Tree Protection Note:** The applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Town. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for three years following completion of all site works. Hoarding must be inspected prior to the removal of any tree hoarding from the site.
- Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the design specifications.
- The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by the Consulting Engineer for the project.
- Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.
- Owner's Signature _____
- Date _____

01	01	Detailed Site Plan for Site Plan Application	dac	2019-10-09
No.	PLAN	REVISION	BY	DATE

Revisions

Prepared by

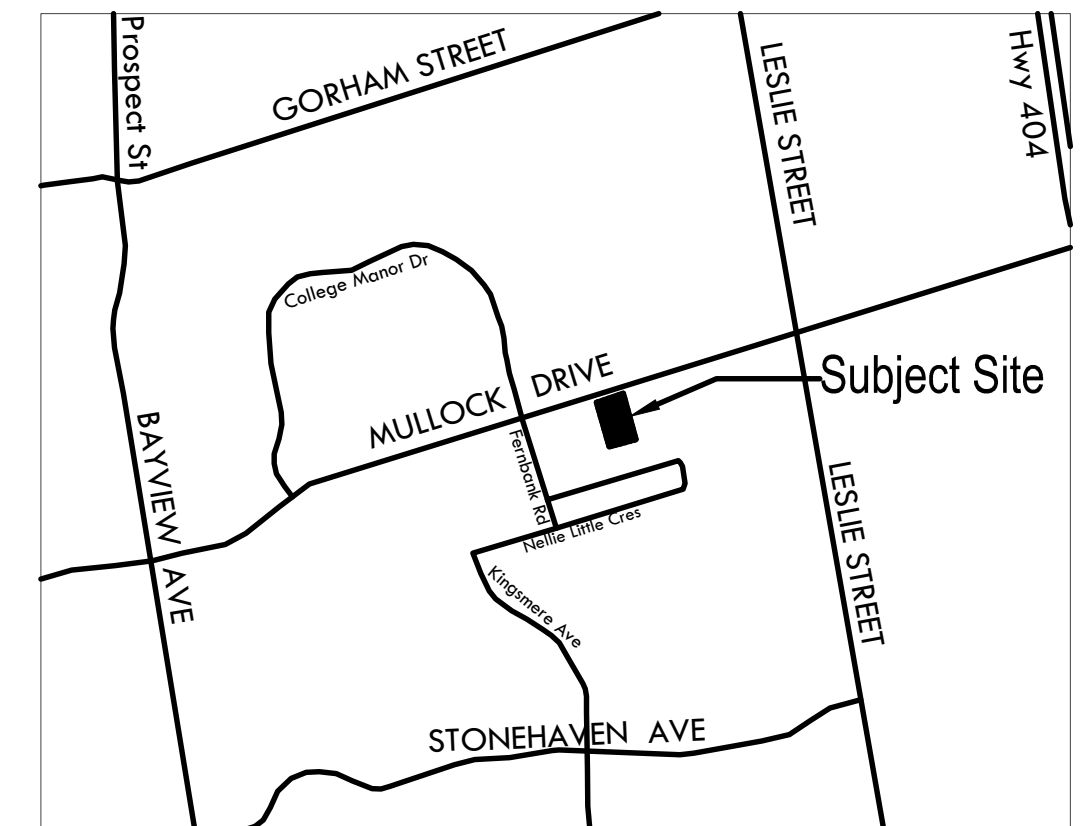
Prepared by DAC. Revised by: MTL / AMG / MLS (LARKIN+ land use planners inc.)

DRAWING

CONCEPTUAL
SITE PLAN

DENISON

2019-10-09



Key Plan

N.T.S.

PROPOSED SITE STATISTICS

SITE COMPONENTS:	AREA Ha. [Ac]	%
TOTAL BUILDING COVERAGE	(911.8 m ²) 0.09 [0.22]	10.5
TOTAL LANDSCAPE AREA	0.72 [1.78]	83.7
TOTAL HARD SURFACES	(470.5 m ²) 0.05 [0.12]	5.8
TOTAL SUBJECT SITE AREA	0.86 [2.12]	100.0

BUILDING GROSS FLOOR AREA:	AREA sm [sf]
EXISTING BUILDING AREA (GFA)	325.9 [3,508]
PROPOSED BUILDING (GFA)	531.8 [5,724]
TOTAL BUILDING AREA (GFA)	857.7 [9,232]

HARD SURFACE AREAS:	AREA sm [sf]
HARD SURFACE (walkways, courtyard)	470.5 [5,064]
TOTAL HARD SURFACE LANDSCAPE	470.5 [5,064]

NEW PARKING AREA (outside of subject area) 353.49 sm [3,804.9 sf]

PARKING:	PROVIDED	REQUIRED
REGULAR PARKING SPACES	34	33
ACCESSIBLE PARKING	2	2
TOTAL PARKING PROVIDED	36	35

0 5 10 20m
Proposed Site Planin support of:
SITE PLAN APPLICATION

prepared for:
DR. JOHN M. DENISON CHILD CARE CENTRE
SPM-19-55 W5
Subject Lands: 900 Mulock Drive / 605 Fernbank Road
Part of BLOCK 38, PLAN 65M4022
TOWN OF NEWMARKET
REGIONAL MUNICIPALITY OF YORK REGION

Property Owner:
TOWN OF NEWMARKET

Sources & notes:

Architectural Building Design by 4 ARCHITECTURE Inc.
8966 Woodbine Ave, Suite 300, Markham, ON L3R 0J7
Base information including Roads, Elevations, and Contours under the Open Data Licence - Regional Municipality of York Region
Survey Information prepared by Lloyd & Purcell, Ontario Land Surveyors
Jobs 19-189 (2019-08-27), and 19-368 (2019-09-09)

LARKIN+
land use planners inc.

OCT 2019

DENI

DATE

PROJECT

SCALE

DRAWING

1:300

01

849 Gorham Street
Newmarket, ON
Canada L3Y 1L7
905-895-0554 / 888-854-0044
www.larkinplus.com

Committee of Adjustment Application for Minor Variance

Town of Newmarket
395 Mulock Drive
P.O. Box 328, Station Main
Newmarket, ON L3Y 4X7



T: 905-953-5300 Ext. 2456
F: 905-953-5140

Effective January 1, 2019, the fee for processing an application to the Committee of Adjustment is:

Minor Variance Fee	\$1,703.92 (including HST)
Lake Simcoe Region Conservation Authority Review Fee (if applicable)	\$500.00

The application fee is payable at the time an application is submitted. Fees may be paid by cheque, cash, debit or credit card. Cheques are to be made payable to “**THE TREASURER, TOWN OF NEWMARKET**” and “**LAKE SIMCOE REGION CONSERVATION AUTHORITY**” respectively. Fees are non-refundable.

NOTICE TO ALL APPLICANTS OF MINOR VARIANCE APPLICATIONS TO THE TOWN OF NEWMARKET COMMITTEE OF ADJUSTMENT

- Before you prepare and submit your application to be processed by the Committee of Adjustment, it is strongly recommended that you engage with a Planner and/or consult with the Planning and Building Department at the Town of Newmarket to ensure that your proposal is feasible and also to confirm the zoning and the section of the By-law that requires relief.
- Public notice signs, provided, are required to be posted in a prominent location on the subject property for a minimum of ten (10) days before the scheduled Hearing of the Minor Variance application. **Failure to comply will result in the deferral of the hearing of your application.**
- Lake Simcoe Region Conservation Authority (LSRCA)** may require an application review fee to be paid if the property is situated within a mapped area that is subject to O. Reg. 179/06.
- Pursuant to Subsection 45 of the *Planning Act*, and Ontario Regulation 200/96, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.
- Personal information on this form is collected under the legal authority of the *Planning Act*, R.S.O. 1990, c.P.13, as amended. This information will be used to process an application for a minor variance or permission for the Committee of Adjustment. Questions about this collection should be directed to the Secretary Treasurer, Town of Newmarket Committee of Adjustment, at the above noted address.
- Information on this application and any documentation submitted in support of or in opposition constitutes public information and will become part of the public record.

Minor Variance Application Checklist

- ☐ Completed Application Form, including:
 - ☐ Affidavit or sworn declaration
 - ☐ Permission to enter
 - ☐ Appointment and authorization
- ☐ Application Fees (see cover page of application form and below):
 - ☐ Recirculation Fee due to applicant's revisions or deferral request - **\$1,130.00 (includes HST)**
 - ☐ Peer Review Costs – **actual costs plus Planning Administrative Fee of 15%** of consultant's fee
 - ☐ Town of Newmarket Fee for matters appealed to Local Planning Appeal Tribunal - **\$163.00**
- ☐ Parcel Abstract(s)
- ☐ Two (2) legible white print copies of a Plan of Survey (8 ½" x 11" or 8 ½" x 14") sketch **drawn to scale, in metric** showing the following:
 - ☐ The boundaries and dimensions of the subject land.
 - ☐ All existing and proposed structures, including their size, setbacks to property lines and lot coverage.
 - ☐ The approximate location of all natural and artificial features on the subject land and on the land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
 - ☐ The current uses on the land that is adjacent to the subject land.
 - ☐ The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way.
 - ☐ The location and nature of any easements affecting the subject land.
- ☐ Tree Report Form
- ☐ One (1) hard copy and one (1) digital copy of an Arborist Report in accordance with the requirements set forth in the Town's Tree Preservation, Protection, Replacement and Enhancement Policy (if applicable).

Note: The Town shall retain the services of a qualified tree professional to undertake a peer review of any Arborist Report submitted, as required and the Town shall be reimbursed by the applicant at the actual cost for the services rendered by the Town's consultant plus 15% of the consultant's fee.

*** Digital copies of drawings, plans and the arborist report must be provided on a CD or USB key.**

Committee of Adjustment Application for Minor Variance

Town of Newmarket
395 Mulock Drive
P.O. Box 328, Station Main
Newmarket, ON L3Y 4X7



T: 905-953-5300 Ext. 2456
F: 905-953-5140

The undersigned hereby applies to the Committee of Adjustment for the Town of Newmarket under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended.

FILE NUMBER (for office use only)	
--	--

1.0 Applicant Information				<input type="checkbox"/> Primary Contact for Application
Property Owner(s): Gregory Irons				
Address: 145 Hillview road, Aurora, Ontario, Canada		City: Aurora		Postal Code: L4G2M6
Province: Ontario				
Phone: 647 295 0529			Alt. Phone:	
Email: greg@canprop.ca			Fax:	

2.0 Agent Information				<input checked="" type="checkbox"/> Primary Contact for Application
Name of Authorized Agent: Chris Pretotto				
Address: 73 Gilbank Drive		City: Aurora		Postal Code: L4G 5E4
Province: Ontario				
Phone: 647.588.1784			Alt. Phone:	
Email: chrissp@cspace.ca			Fax:	

3.0 Legal Description of the Subject Lands		(Refer to the current "Parcel Abstract(s)" regarding the subject property)	
Concession/Registered Plan No.: Registered Plan 81		Lot Number(s): Part of Lot 28	
Reference Plan No.: Inst. 20901-B		Part Number(s):	
Municipal Address: 209 Main Street South, Newmarket, Ontario			
Roll Number:			
Are there any easements or restrictive covenants affecting the subject lands? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If "yes", please describe: _____			

4.0 Land Use, Official Plan and Zoning By-law Designation	
Official Plan Designation: Located in the Historic Downtown Centre	
Zoning By-law Designation: Historic Downtown Zone (UC-D1)	
Existing Use of the Subject Land: Retail (Ground Floor) with Residential (Second Floor)	
Proposed use of the Subject Land: Same, with addition of partial third floor and extension into rear yard. One floor to be Office Use.	

5.0 Relief Requested from the Zoning By-law

(Please identify the relief you are requesting from the relevant Zoning By-law Sections and Zone Standards)

1) The UC-D1 zone permits a maximum FSI of 1.0.

Existing building FSI is 1.49 (not including "walk-out basement" area) or 2.25 (including "walk-out basement" area).

Proposed building FSI after addition is 2.45 (not including "walk-out basement" area) or 3.20 (including "walk-out basement" area).

2) The UC-D1 zone permits a maximum building height of 9.0m and 3-storeys.

Existing building height is 8.9m and 2-storeys.

Proposed building height is 11.5m and 3-storeys.

3) Two existing parking spaces to remain. We understand cash in-lieu to compensate for parking deficiencies may be required and not a minor variance. Confirmation from the town on this matter would be appreciated.

6.0 Why is it not possible to comply with the provisions of the Zoning By-law?

The building owner seeks to add value to the existing building, enhance architectural, commercial and residential features of Main Street South and enhance Cedar Street with a proposed restoration, addition and renovation of 209 Main Street South.

1) Nearly every neighboring building in close proximity (Main Street South) exceeds an FSI of 1.0, as all are at least 2-storey of height with most on relatively small-area lots. This is especially true on the east side (where 209 is located), as every building on this stretch has a

"walk-out basement" that could add to the FSI by Zoning Bylaw definition. 5 buildings between Water St and Park St. on the east side are 3-storeys on top of a "walk-out" basement condition.

2) 10 buildings between Water St and Park St. on Main Street South have 3-storeys and exceed 9.0m in height facing Main Street. Several 2-storey buildings along this stretch appear to exceed 9.0m in height.

Proposed third storey is significantly set back from the existing frontage facing Main Street - refer to Heritage Impact Assessment for details.

Existing building frontage facing Main Street is proposed to be restored to original facade conditions - refer to Heritage Impact Assessment.

7.0 Dimensions of the Entire Subject Property

Lot Frontage (metres): 7.42 m

Lot Depth (metres): 35.63 m

Lot Area (m2): 264.7 m2

8.0 Access to the subject lands (check appropriate box)

☒ Municipal

☐ Regional

☐ Provincial

☐ Private Road

☐ Right-of-Way

☐ Other _____

Roads abutting the subject lands: Main Street South, Cedar Street

Width of roads abutting the subject lands: Main Street South - 2 lanes; Cedar Street - 1 lane.

9.0 Particulars of all <u>EXISTING</u> building(s) and structure(s) on the subject land. Please specify:				
	Existing Structure 1		Existing Structure 2	
a) Type of building(s) or structure(s)	2-Storey Mixed Use, Plaster Facade			
b) Gross floor area or dimensions of the building(s) or structure(s)	394 m2 (not including walk-out basement) 591 m2 (includes walk-out basement)			
c) The front, rear and side yard setbacks	Front: 0.9 m	Rear: 8.0 m	Front:	Rear:
	Side: 0 m	(Ext.) Side: 0 m	Side	(Ext.) Side:
d) Height of the building or structure	8.9 m, 2 storeys			
e) Location of parking	Rear, basement level (Cedar Street)			

10.0 Particulars of all <u>PROPOSED</u> building(s) and structure(s) on the subject land. Please specify:				
	Proposed Structure 1		Proposed Structure 2	
a) Type of building(s) or structure(s)	3-storey Mixed Use, Masonry Facade (restored)			
b) Gross floor area or dimensions of the building(s) or structure(s)	639 m2 (not including walk-out basement) 836 m2 (includes walk-out basement)			
c) The front, rear and side yard setbacks	Front: No Change	Rear: 2.95 m	Front:	Rear:
	Side: No Change	(Ext.) Side: No Change	Side	(Ext.) Side:
d) Height of the building or structure	11.5 m, 3 storeys			
e) Location of parking	No change			

11.0 Property Information	
The date the subject land was acquired by the current owner:	30/04/2019.
The date the existing buildings and structures were constructed on the subject land:	Refer to Heritage Impact Assessment. Partially re-built in 1994.
The length of time the existing uses of the subject land have continued:	Refer to Heritage Impact Assessment.

12.0 Municipal Services provided to the subject lands: (check the appropriate boxes)

<input checked="" type="checkbox"/> Water	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Sanitary Sewers	If not available, by what means is it provided:
<input checked="" type="checkbox"/> Storm Sewers	If not available, by what means is it provided:

13.0 Other Planning Applications**If known, is or was the property subject of any of the following development type applications:**

Official Plan Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Zoning By-law Amendment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Plan of Subdivision	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Site Plan Approval	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Certificate of Occupancy	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Building Permit	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	File No.
Consent (Committee of Adjustment)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.
Minor Variance (Committee of Adjustment)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	File No.

14.0 Heritage Designation

Refer to Heritage Impact Assessment

Is the property on the Municipal Register of Properties Designated under the Heritage Act?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Is the property on the Municipal Register of Non-Designated Heritage Properties?	Yes <input type="checkbox"/>	No <input type="checkbox"/>

Signature of Applicant or Authorized Agent

DATED at the _____ Township _____ of _____ Newmarket _____ this

_____ 16th _____ day of _____ October _____ 20¹⁹_____.

AFFIDAVIT OR SWORN DECLARATION

I, _____ of the _____
(Print Name of Owner or Authorized Agent) (e.g. Town of Newmarket)

_____ in the _____
(e.g. Regional Municipality of York)

Solemnly declare that all above statements and the statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as it made under oath and by virtue of the CANADA EVIDENCE ACT.

For the purposes of the FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the PLANNING ACT for the purposes of processing this application and correspondence purposes. Questions about this collection should be directed to the Committee of Adjustment Secretary-Treasurer, Town of Newmarket, 395 Mulock Drive, Newmarket, Ontario L3Y 4X7, telephone 905-953-5300 ext. 2453.

NOTE: The Signature of applicant or authorized agent must be witnessed by a Commissioner, etc. A Commissioner is available in the Committee of Adjustment office, if needed.

DECLARED before me

at the _____

of _____

in the _____

of _____

this _____

day of _____, 20 _____.

 A Commissioner, etc.

 Signature of applicant or authorized agent

☐ I have authority to bind the Corporation

PERMISSION TO ENTER

Date: October 16, 2019.

Secretary-Treasurer
Committee of Adjustment
Town of Newmarket
395 Mulock Drive
Newmarket ON L3Y 4X7

Dear Secretary-Treasurer:

RE: Application to Committee of Adjustment

Location of Property: 209 Main Street South, Newmarket
(Municipal address)

I hereby authorize the Committee of Adjustment members and Town of Newmarket staff to enter onto the above-noted property for the limited purposes of evaluating the merits of this application.



Signature of owner or authorized agent

Please print name

APPOINTMENT AND AUTHORIZATION

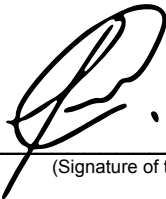
I / We, Gregory Irons / Jimsgate Inc,
(Name of Owner(s))

the undersigned, being the registered property owner(s) of 209 Main Street South, Newmarket
Ontario, hereby authorize
(Legal description or municipal address)

Chris Pretotto / CSpace Architecture as my/our agent for the
(Authorized agent's name)

purpose of submitting an application(s) to the Committee of Adjustment and acting on my/our behalf in relation to the application.

Dated this 29th day of September 2019.



(Signature of the owner or signing officer)

☐ I have authority to bind the Corporation

Gregory Irons / Company Director

(Please print the full name and position of the person signing)

Jimsgate Inc

(Name of the Corporation, if applicable)

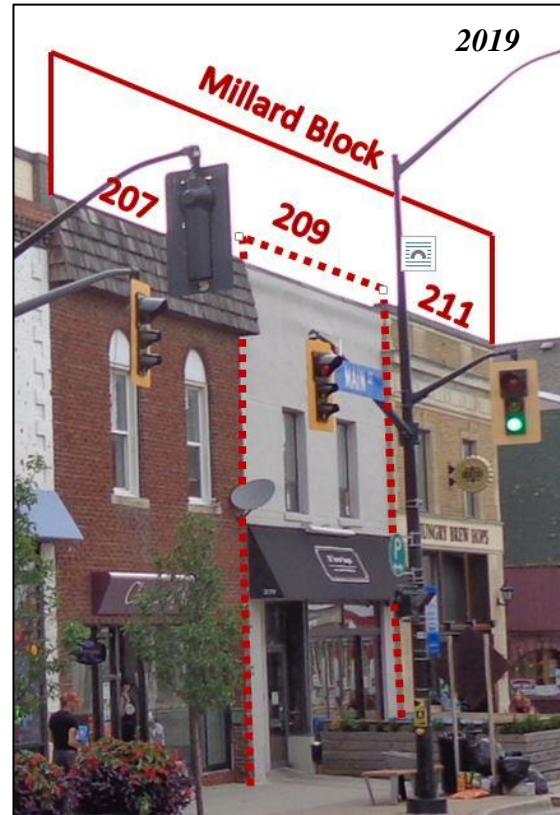
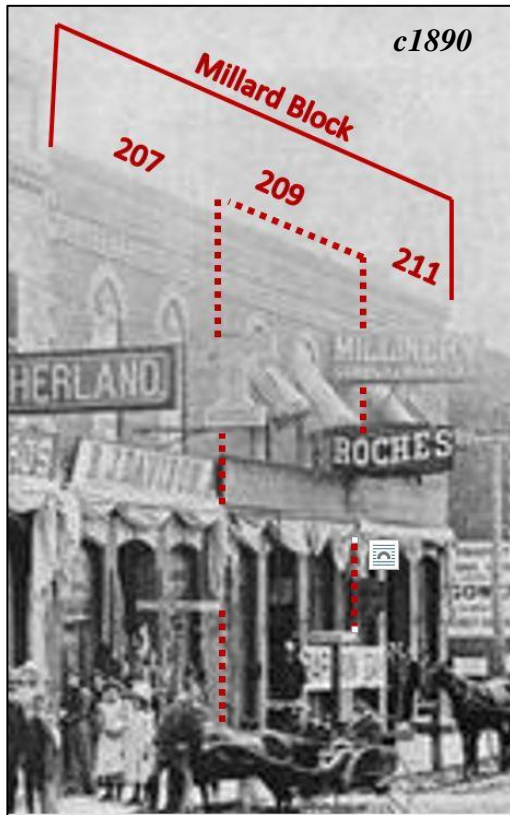
(Signature of the owner or signing officer)

☐ I have authority to bind the Corporation

(Please print the full name and position of the person signing)

(Name of the Corporation, if applicable)

HERITAGE IMPACT ASSESSMENT



West Elevation

**PART OF THE MILLARD BLOCK
209 MAIN STREET SOUTH
(PART OF LOT 28, PLAN NO. 81)
TOWN OF NEWMARKET, ONTARIO**

October 2019

**Prepared for:
Canprop Inc.**

**Prepared by:
WAYNE MORGAN
HERITAGE PLANNER**

HERITAGE IMPACT ASSESSMENT

**PART OF THE MILLARD BLOCK
209 MAIN STREET SOUTH
(PART OF LOT 28, PLAN NO. 81)
TOWN OF NEWMARKET, ONTARIO**

October 2019

Prepared for:

Canprop Inc.

**Prepared by:
Wayne Morgan
Heritage Planner
21 Land's End
Sutton West, Ontario, L0E 1R0
Tel: 905-722-5398
e-mail: wayne.morgan@sympatico.ca**

EXECUTIVE SUMMARY

Policies in the Newmarket Official Plan (OP) and the Lower Main Street South Heritage Conservation District (HCD) Plan require a Heritage Impact Assessment (HIA) for alterations to protected heritage resources and for development adjacent to such resources. The Town has designated the property at 209 Main Street South and adjacent properties under Part V of the *Ontario Heritage Act (OHA)*. The subject property contains the centre unit of the building known historically as the Millard Block (the Building). The owner proposes developing the property consistent with the OP and the HCD Plan by retaining the Building in situ, adding a third storey set back from the Main Street existing building front, extending the rear of the Building towards Cedar Street and restoring / renovating the existing front façade based on documentary and as-found evidence. Wayne Morgan, Heritage Planner, was retained to prepare this HIA which identifies, evaluates and assesses both the heritage values on and near the subject property and the proposed alterations, and recommends mitigation and conservation measures to protect and conserve the heritage resource.


The Building is a 2 storey, flat roofed, dichromatic (red and white) brick clad commercial structure, where the front façade has been refaced in stucco cladding. According to a contemporary newspaper report, it rests on a stone foundation. The Building was constructed in 1863 after fire destroyed an earlier building and part of the east side of Main Street. The Building is a vernacular commercial interpretation of the Italianate architectural style. On the upper floor of the front façade, it had a pair of semi-circular headed window openings, now reduced in size, with white brick voussoirs. There was also decorative brick banding immediately below the cornice. The Building's architect may have been John T. Stokes of Sharon and the mason, T. Bishop of Newmarket.

Joseph Millard had the Building constructed for his furniture and undertaking business. It was later rented out to dry goods businesses until 1966 when it became a restaurant. The Millard family owned the Building until 1941. The Building continues to be used as a restaurant on the ground floor and basement with residential units on the upper floor.

The property was evaluated using criteria established under the *OHA* after documenting the resource and its historical development. The Building has sufficient heritage value to warrant conservation. Heritage resource management options were considered. The proposed work will not adversely impact the heritage values and attributes of the Building or adjacent protected heritage properties. Based on this evaluation, the proposed development of the Building is supported.

Detailed recommendations are contained in Section 9.2 of this HIA. Briefly, it is recommended that:

1. The Town of Newmarket grant Planning and Heritage approval to the proposed development subject to:
 - a. the submission by the owner of a scoped Conservation Plan for restoration / renovation work on the Main Street façade of the Building; and
 - b. any Community Improvement grant provided by the municipality be subject to completion of the façade work in accordance with approved plans including the scoped Conservation Plan.


Wayne Morgan, Heritage Planner

PROJECT PERSONNEL

Wayne Morgan
Heritage Planner

Member, Canadian Association of Heritage Professionals
Member, Canadian Institute of Planners
Member, Ontario Professional Planners Institute
President, Community Heritage Ontario

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1.0 INTRODUCTION

The Newmarket Official Plan, policy 11.8, and the Lower Main Street South Heritage Conservation District (HCD) Plan both address the requirement for a Heritage Impact Assessment (HIA) when there is a potential to affect the heritage values and attributes of protected heritage properties. The property at 209 Main Street South, and adjacent properties, are designated by the municipality under the *Ontario Heritage Act* by virtue of their inclusion in the Lower Main Street South HCD. 209 Main Street South contains a heritage resource which is the centre unit (the Building) of three properties collectively known as the Millard Block.

The owner is proposing to develop the property in accordance with both the Newmarket Official Plan and the Plan for the HCD. The owner is proposing to retain the Building in situ, add an additional storey to the Building, extend the Building to the rear of the property and restore / renovate the original façade.

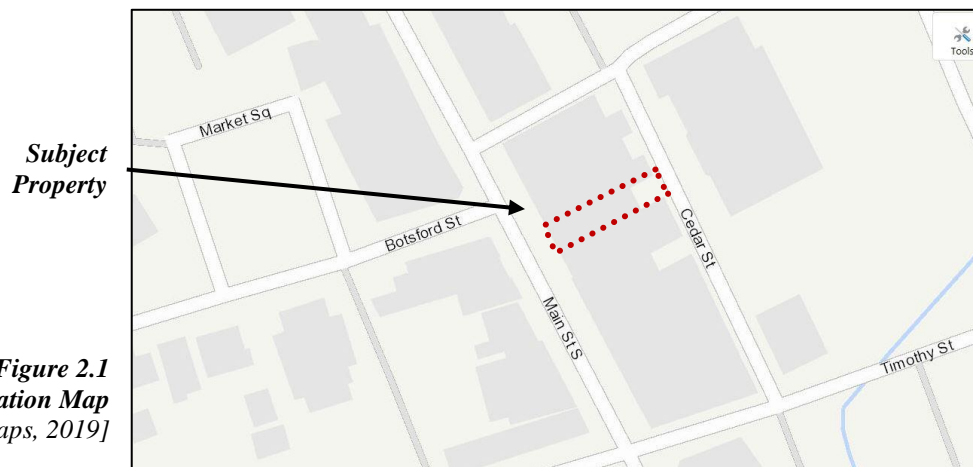
Wayne Morgan, Heritage Planner, was retained by the owner to prepare this HIA in accordance with the provincial, regional and municipal policies and to recommend any mitigation actions with respect to the heritage resources and values of the property and adjacent heritage resources. Wayne Morgan's curriculum vitae is contained in ***Appendix M***.

The study area contains lands and building on the east side of Main Street South (209 Main Street South) just south of the intersection of Botsford and Main Streets. The property is within the original surveyed lot known as Lot 94 in the first concession east of Yonge Street (EYS) in the Town of Newmarket. This part of Newmarket was originally (prior to 1857) within the Township of Whitchurch.

2.0 DESCRIPTION OF THE PROPERTY AND ITS CONTEXT

2.1 Location

The property is located in the Town of Newmarket in the Regional Municipality (formerly County) of York in Lot 28, Registered Plan No. 81 which is within the original Lot 94 in Concession One EYS. The subject property is on the east side of Main Street South opposite the intersection of Main and Botsford Street in the older part of the community of Newmarket (**Figures 2.1 and 2.2**). The property is bounded on the west by Main Street South, on the south by the north property boundary for 211 Main Street South, on the east by Cedar Street and on the north by the south property boundary for 207 Main Street South.



2.2 Ownership and Legal Description

Currently the property is owned by:

Jimgate Inc.
145 Hill view Road
Aurora, Ontario L4G 2M6

The short legal description of property is:

Part of Lot 28 in Plan 28 Newmarket as in R653639 (firstly described); in the geographic township of Whitchurch (now the Town of Newmarket) in the former County (now Regional Municipality) of York.

Appendix A contains a survey of the property which is approximately 220 square metres (2,368 square feet) in size.

The property has been addressed by the municipality as 209 Main Street South, although prior to 1958, it was addressed as 86 Main Street East.

2.3 Area Character and Physiography

As shown on the maps (**Appendix C**), the subject lands are on the south-east side of the Main Street hill, the top of which is occupied by the Christian Church and the former Registry Office (now Town Museum). The slope of the subject land is to the south and east. As a result, the Main Street grade is higher than the Cedar Street grade; the Building height is two storeys on Main Street and three storeys on Cedar Street. The land drains to the south and east to the Holland River, which drains north to Lake Simcoe. Although there are no creeks on the property, a sketch map of the early development of the area (Figure 4.4) shows that, historically, there was a small creek either crossing the property or immediately north of the property. The subject property is within an area that was urbanized as early as the 1840s. There are no tree or grassed surfaces on the property. The Building, like the structures to the north and south, abuts the Main Street right-of-way with no setback. Historically, Main Street, is a minor road connecting Newmarket to lands to the north. The Street was the original focus for Newmarket's development, with buildings constructed on either side of the Street from Water Street north to Davis Drive and beyond. All maps, starting with 1853, show the built up area initially along Main Street and then extending to the east and west of Main Street, although some of the Holland River lands remained undeveloped except for mill sites near the south end of Main Street.

The area character identified in the maps is shown in a 1927 aerial photograph (Figure 2.3) in which the subject property is within a built up urban area generally focused on Main Street.

Since 1927, there has been little change in area land uses within the immediate Main Street area, with isolated pockets of redevelopment. Substantial development in Newmarket has largely been beyond the Main Street area.

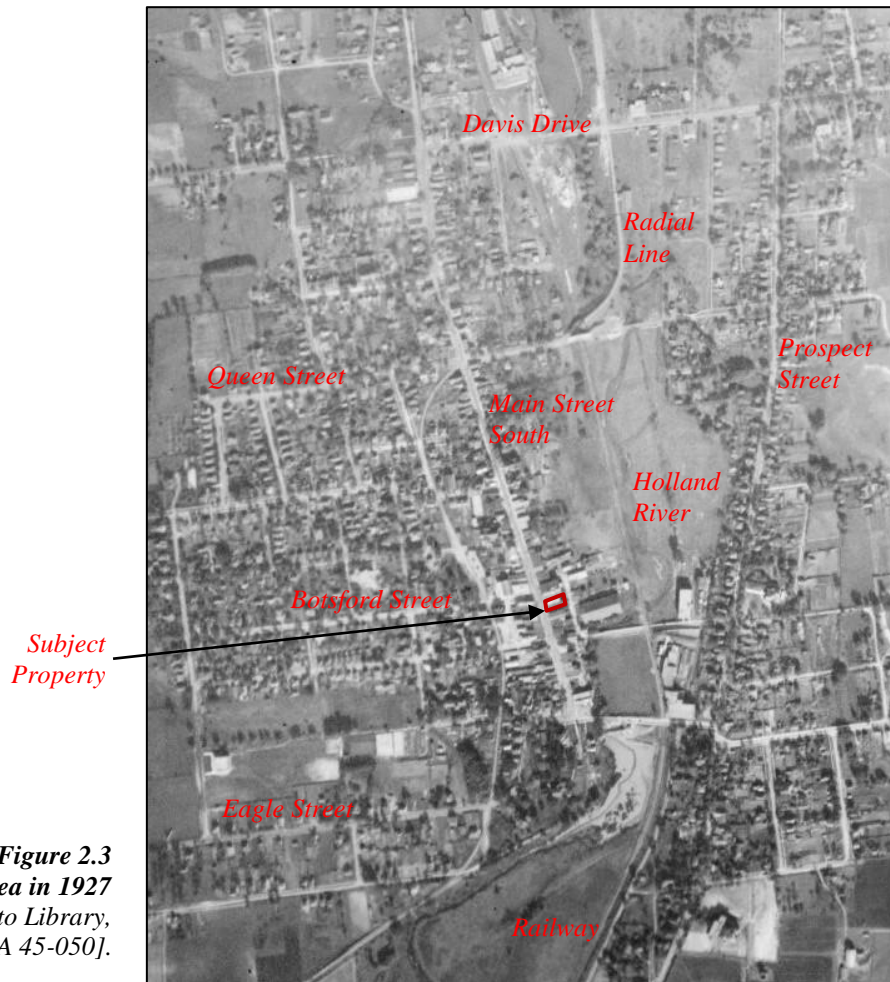


Figure 2.3
The Area in 1927
 [Source: National Airphoto Library,
 Photo RA 45-050].

Detailed aerial photographs of the subject property in its immediate context in 1927, 1946, 1970 and 2018 are found in **Appendix D**.

The property is located in the Schomberg Clay Plains physiographic region¹. The Schomberg Clay Plain is described as:

Located near Schomberg, Newmarket, and to the north of Lake Scugog, the three larger areas, taken together cover about 475 square miles, and are included under the name of the Schomberg clay plains. In the first two areas the surface under the clay is that of a drumlinized till plain. The smaller drumlins are completely covered, but many of the larger ones escaped complete burial although the clay may occur well up the slopes of the hills. The average depth of the clay deposit seems to be about 15 feet ... Since the rolling relief of the underlying till plain has not entirely been eliminated these areas are not so flat as many lake plains. ... In the area along the Holland River between Newmarket and

¹ Chapman and Putnam, pp 296 – 299 & 299 - 307.

Holland Landing considerable dissection has taken place giving rise to rough topography.

2.4 Context - General Character

The subject property is within an immediate area that remains urban in character (Figures 2.2 and 2.3).

As shown by the photographs in **Appendix B**, the properties surrounding the subject property are similar in character. Urban development, in the form of two and three storey, nineteenth century commercial buildings exist to the north, south and west of the subject property. A large one storey Community Centre and Lion's Hall is located to the east of the subject property on the east side of Cedar Street. Beyond the Centre, there are recreational uses, parking and the rail line in the Holland River valley

Main Street South is a moderately traveled, paved two lane local road with an urban character – storm drains, curbs and sidewalks. There is signalized intersection close to the subject property at Main Street and Green Lane. There are also signalized intersections at Main Street and Water Street and at Main Street and Queen Street.

2.5 Context - Adjacent and Nearby Heritage Properties

Since the subject property and properties to the south and north of it are within the Lower Main Street South HCD, 207 and 211 Main Street South are heritage properties. Both were originally the end units of the Millard Block. Across Main Street from the subject property, 206 and 208 Main Street South are also within the HCD and are heritage properties. These heritage properties have been identified in the relevant photographs in **Appendix B**.

.

3.0 HERITAGE POLICIES

3.1 The Planning Act and Provincial Policy Statement (2014)

Section 2 of the *Planning Act* identifies “matters of provincial interest, which includes the conservation of significant features of architectural, cultural, historical, archaeological or scientific interest.”²

Section 3 of the *Planning Act* enables the Province to issue Policy Statements on matters of Provincial Interest. The Provincial Policy Statement (2014) (PPS) issued under the *Act* applies to the subject site. Section 2.6 of the PPS, which addresses Cultural Heritage, states:

Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

The PPS provides the following definitions to the italicized terms.

Significant means in regard to cultural heritage and archaeology, “resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people.”

Built heritage resources “means a building, structure, monument, installations or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including Aboriginal community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers.”

Cultural heritage landscape means a defined geographical area that may have been modified by human activities and is identified as having cultural heritage value or interest by a community including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship meaning or association. ...

conserved means “the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the *Ontario Heritage Act*. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.”

²Ontario Ministry of Culture. Heritage Resources in the Land Use Planning Process, p 1.

There are other policies in the PPS that do not deal with cultural heritage but may apply to the subject site. In such situations, the PPS states that “when more than one policy is relevant, a decision-maker should consider all of the relevant policies to understand how they work together.” This HIA examined only section 2.6 of the PPS.

3.2 Ontario Heritage Act (OHA - 2019)

Parts IV (individual properties) and V (Heritage Conservation Districts - HCDs) of the *OHA* enables a municipality to list and designate properties and areas of cultural value or interest after consultation with its heritage advisory committee. Section 27 of the *OHA* requires the municipal clerk to keep a register of properties of cultural heritage value or interest. Subsection 27.1 of the *OHA* allows municipal councils to include properties of cultural heritage value that have not been designated (listed properties) on the register.

The Provincial Government has established criteria for determining the cultural heritage value or interest of Part IV properties through Regulation 9/06. It has not established criteria for evaluating properties within a HCD.

Once a property is designated, demolition or alterations affecting its heritage attributes may not occur without municipal council approval. Council’s may delegate its approval to staff. HCDs are required to have plans providing guidance to council, staff and property owners on alterations, demolitions and new construction within a HCD. Owners may appeal Council’s decision on an application to alter or demolish to the Local Planning Appeals Tribunal.

The *OHA* also enables municipalities to enter into easement agreements to conserve property of cultural heritage value or interest (section 37). Such easements run with the title to the property. Municipalities may enforce such easements. The decision of a municipal council with respect to an easement is final.

3.3 Greenbelt Plan

In 2005, the Province approved the Greenbelt Plan for the Greater Golden Horseshoe and amended it effective July 1, 2017. The Greenbelt Plan “identifies where urbanization should not occur in order to provide permanent protection to the agricultural land base and the ecological and hydrological features, areas and functions occurring on this landscape”.

The Greenbelt Plan does not apply to the subject property which is identified in the Plan as ‘Settlement Area Outside of the Greenbelt’.

3.4 Places to Grow – Growth Plan for the Greater Golden Horseshoe (2019)

In 2006, the Provincial Government approved the Growth Plan for the Greater Golden Horseshoe and recently amended it in May 2019. The Growth Plan is the Government’s

framework for development and the management of growth in the area to 2041. On Schedule 2, Places to Grow Concept, the subject property is shown as ‘Built-Up Area - Conceptual’ and ‘Urban Growth Centres’.

The Growth Plan requires that municipalities develop and implement official plan policies and other strategies in support of cultural heritage resource conservation (Section 4.2.7, policy 2).

3.5 York Region Official Plan

The Official Plan of the Regional Municipality of York (ROP) was adopted by Regional Council on December 16, 2009 and approved by the Minister with modifications. The ROP has been appealed in part to the Ontario Municipal Board (OMB). Parts of the Plan have been approved by the OMB. The Plan has also been amended in part by Regional Council since 2009. The January 2019 consolidated ROP has been reviewed for this report. The Region is currently undertaking a review of the ROP.

Section 3.4 of the ROP provides the following relevant cultural heritage policies:

3. *To require local municipalities to adopt official plan policies to conserve significant cultural heritage resources.*
8. *To encourage local municipalities to consider urban design standards in core historic areas that reflect the areas’ heritage, character and streetscape.*
11. *To require local municipalities to adopt official plan policies to conserve significant cultural heritage resources and ensure that development and site alteration on adjacent properties will conserve the heritage attributes of that property.*

With respect to policy 3, the Newmarket Official Plan (OP) contains policies for the conservation of significant cultural heritage resource.

With respect to policy 8, the Town of Newmarket has adopted a Heritage Conservation District Plan for the Lower Main Street Area, the historic core of Newmarket.

With respect to policy 11, the Newmarket OP has policies addressing the conservation of heritage resources which are discussed below.

In the ROP, the subject property is designated ‘Urban Area’ on the Regional Structure Map (**Appendix M**). There are no additional policies in this land use designation regarding the conservation of cultural heritage resources.

3.6 Newmarket Official Plan and Zoning By-law

The Official Plan (OP) for the Town of Newmarket was adopted in April 2008 with subsequent amendments consolidation in the September 2014 versions currently available on the Town's website. This version was reviewed for this report.

Cultural Heritage Resource policies are contained in section 11 of the Newmarket OP.

The following cultural heritage resource objectives of the Newmarket OP are relevant to the subject property:

- a. *conserve significant built heritage resources and significant cultural heritage landscapes;*
- b. *ensure that all new development has regard for cultural heritage resources and appropriately accommodates such resources in development and redevelopment proposals;*
- d. *ensure that the cultural heritage of the Historic Downtown Centre is protected for the enjoyment and edification of existing and future Town residents and visitors.*

Newmarket OP cultural heritage conservation policies relevant to the subject property are:

Policy 2

Designated cultural heritage structures involved in planning applications shall be carefully and sensitively retained as part of any new development or redevelopment to ensure that the cultural heritage value of the building or lands is not compromised. ...

Policy 4

In order to examine an area's cultural heritage potential, council may wish to establish a Heritage Conservation Study Area.

Policy 5

Specifies the scope of studies for Heritage Conservation Study Areas.

Policy 6

Where an area is designated as a Heritage Conservation District, partial demolition, alterations, renovations, repairs or additions may be allowed provided that the proposed changes are compatible and consistent with the building and its heritage attributes. Infill buildings must also be compatible with the surrounding buildings and streetscape. In both cases, compatibility may include building materials, colour, height, scale and design.

Policy 8

Development and site alteration on adjacent lands to a protected heritage property designated under Parts IV, V and VI of the Ontario Heritage Act may require, at the discretion of Council, or as provided for in an approved Heritage District Plan, a Cultural Heritage Impact Assessment to evaluate and demonstrate, to the satisfaction of the Town, in consultation with Heritage Newmarket, that the heritage attributed of the designated heritage property will be conserved (OPA #7, By-law 2012-42).

Policy 9

Development and site alteration adjacent to a protected heritage property shall be designed to conserve, be compatible with, and minimize the impact on the identified heritage attributes of the designated heritage property (OPA #7, By-law 2012-42).

Policy 10

Council may consider the use of heritage design guidelines specific to areas of historic significance such as the Historic Downtown Centre. The guidelines will assist in the design and review of adaptive reuse proposals.

In the Newmarket OP, the area is designated ‘Urban Centre’. Lands immediately east of the subject property have a ‘Flood Plain’ overlay. (**Appendix M**). One of the primary goals for the Urban Centre policy area in the ‘Historic Downtown Centre’ as discussed in section 4.3.4 of the Newmarket OP is to revitalize the area. As a result the subject property is within a Community Improvement Policy Area as designated in the OP (Schedule 7). Policy 3 in this section encourages “the improvement of the streetscape and facades along Main Street”. Policy 8 in this section encourages improvements in the form of upgrading and rehabilitation.

The subject property is zoned UC-D1, Historic Downtown Urban Centre Zone with a FP, Floodplain overlay on the rear of the property (**Appendix M**). The zone permits a range of commercial, institutional and residential uses with a minimum and maximum building height of 2 and 3 storeys respectively. This zone does not have any additional heritage requirements.

3.7 Lower Main Street South Heritage Conservation District

The Newmarket Council approved a Heritage Conservation District (HCD) designation for the Lower Main Street South area by By-law 2013-51. The By-law include a plan for the area. The subject property is included with the designated District (**Appendix M**). The Plan classifies buildings/properties as Historic, Complimentary or neither Complementary or Historic. The District Plan contains policies for each of the three categories of buildings/properties.

For buildings/properties classified as Historic, the relevant Plan policies are:

- 4.21.2 Retain historic buildings subject to a heritage impact assessment;
- 4.21.3 Conserve heritage attributes;
- 4.21.4 Improvements are encouraged that respect historic materials, features and functions;
- 4.21.5 Restoration of damage or lost features are encouraged based on documentary and as-found evidence; and
- 4.21.6 Conserve historic masonry.

For buildings/properties classified as Historic Commercial, the relevant Plan guideline in section 5.2 is to follow the four-step process:

- Step 1: Identify historic materials and distinctive features of the building;
- Step 2: Discover the building's history;
- Step 3: Assess the building's condition; and
- Step 4: Plan the design of the building taking into consideration the findings of steps 1 to 3.

Additional guidelines are included in the Plan for masonry conservation, painting, window repair and storefront.

It is noted that, in the HCD Plan under New Construction, policy 4.2.4.1, "*building height is not less than two storeys and not more than three storeys and is complementary to adjacent historic buildings and the streetscape*".

Appendix D of the HCD plan specifies that a heritage impact assessment is required "*for demolition or removal of an historic building, demolition and replacement of complementary buildings and other existing buildings, facade redesign or replacement, and erection of a new building*".

3.8 Standards and Guidelines for the Conservation of Historic Places in Canada

In 2005, Parks Canada produced a set of standards and guidelines for the conservation of historic places in Canada. These standards and guidelines are intended to identify best practices in the management of heritage resources which include buildings, landscapes and archaeological sites. The approach taken in developing the standards and guidelines was informed by international charters for the conservation of heritage resources developed under the auspices of ICOMOS, the international council on historic sites and monuments, a body of heritage professionals which advises the United Nations Educational and Scientific Committee.

In 2010, Parks Canada updated and expanded the document in a second edition.

In general the Standard and Guidelines seek to:

- preserve the heritage attributes of the historic places;
- ensure that restoration work is consistent with documentary evidence;
- ensure that alterations are reversible and do not create a false sense of history; and
- ensure that additions to a heritage place are distinguishable from the heritage character of the place, yet sympathetic to that character.

The Standards and Guidelines have been adopted as policy by the Town through policy 6.2.5 of the Town's OP.

3.9 Municipal Heritage Status of the Subject and Adjacent/Nearby Heritage Properties

The Millard Block, including 209 Main Street South, has been designated by the Town by By-law No. 2013-51 under Part V of the *Ontario Heritage Act*. The property at 209 Main Street South is within the Lower Main Street Heritage Conservation District (HCD), is classified as Historic Commercial Buildings in the District Plan (**Appendix M**) and is subject to the District Plan policies for Historic Commercial Buildings.

The following table lists the heritage status of properties adjacent or nearby to the subject property. The column titled Comment on Status refers to the 'Built Form and Classification in the HCD Plan.

TABLE 3.1 HERITAGE STATUS OF ADJACENT / NEARBY PROPERTIES				
Address	Historic Building Name	Location	Heritage Status	Comment on Status
207 Main St S	Millard Block	Adjacent	Designated - HCD	Historic Commercial
211 Main St S	Millard Block	Adjacent	Designated - HCD	Historic Commercial
206 Main St S	Reformer Block	Across the Street	Designated - HCD	Historic Commercial
208 Main St S		Across the Street	Designated - HCD	Historic Complementary
200 Cedar St	Community Centre	Across the Street	None	not a potential heritage resource

4.0 HISTORICAL SUMMARY

In 1783, the chiefs of the Mississaugas agreed to sell to the British government a tract of land stretching from the Trent River in the Bay of Quinte to the Etobicoke Creek along the north shore of Lake Ontario. Additional land surrenders in this area, which were made in 1784, 1787 and 1788, were reputed to include all lands between the south shore of Lake Simcoe and Lake Ontario.³ A confirmatory treaty with the Mississaugas made in 1805 attempted to clarify these land acquisition.⁴ However, seven townships south of Lake Simcoe continued to be claimed by the Mississaugas. In April 1923, the Ojibwas and Mississaugas gave up rights to land between Lake Simcoe and Lake Ontario by the Williams treaty.⁵ However, “final legal extinction of Indian title in this area was not achieved until 1973.”⁶ Lands forming the Town of Newmarket, which include the subject property, were part of that 1973 treaty.

The area of the Town of Newmarket which includes the subject property was originally part of Whitchurch Township. The Township was named after the town of Whitchurch in Herefordshire, England where Elizabeth Simcoe, wife of the Lieutenant-Governor was born. The Township was established as an administrative unit within the Home District and became a municipality in 1849. In 1851, the Home District was divided into York, Peel and Ontario counties with Whitchurch in York.⁷ In 1858, the village of Newmarket was created as a separate administrative unit from the northwest corner of the Whitchurch Township. In 1880, the village of Newmarket was elevated to the status of a town. The Regional Municipality of York was created in 1971 from the then County of York which included Newmarket. The Town is bounded on the south, east and north by the Towns of Aurora, Whitchurch-Stouffville and East Gwillimbury; and on the west by the Township of King.

In 1794, Lieutenant-Governor John Graves Simcoe instructed the surveyor Augustus Jones to layout Yonge Street as a military road providing access, via Lake Simcoe, to Georgina Bay. Also in 1794, Abraham Iredell laid out lots on either side Yonge Street, including Whitchurch Township, with the numbering of the Yonge Street lots starting with one at Eglinton Avenue in Toronto. In Newmarket, these lots start in the south at number 87 with the subject lands in lot 94. The rest of the Township was surveyed by John Stegman in 1800-02 with Yonge Street being the base for the concessions which numbered to the east from this base. The Township was laid out in a ‘single front’ system⁸ dividing the Township into lots, concessions, concession roads and sideroads. In Whitchurch, north-south roads are concession roads with the land between termed a concession. The subject lands are in the first concession east of Yonge Street (EYS). Each concession, including the Yonge Street concession, is divided into two hundred acre, rectangular lots extending from one concession road to the next. Sideroads run east to west, generally occurring after every fifth lot.

³ Gentilcore, plate 82.

⁴ Champion, Isabel, 5.

⁵ McGillivray, Allan, 3.

⁶ Gentilcore, plate 82.

⁷ Dean, plate 98.

⁸ Dean, plate 99.

Generally “the system resulted in a settlement pattern consisting of single rows of farmsteads along the concession road.

The initial survey imposed a settlement grid on the land. The subject lands are part of Lot 94, Concession 2 EYS of this initial grid system of land division. Subsequent subdivision of Lot 94 created new land parcels within the Lot. In 1895 the Town hired Peter Gibson, surveyor, to rationalize the land divisions within the Town. His Plan is numbered 81, with the subject lands part of Lot 28 of that Plan.

Selections from the Registry Office’s abstract index to deeds and mortgages for the subject property are contained in **Appendix K**.

4.1 Development of the Area

The Larger Geographic Area and Whitchurch Township

To understand development of the subject property, it is essential to place it within the context of development of the larger area.

The area is within the Schomberg Clay Plain physiographic region. The general development of this region up to the 1960s has been described by Chapman and Putnam.

Being associated with well-drained upland soils of drumlinized areas, such as the Bondhead series, and being fairly easily accessible to colonization routes from York, these clay plains were well settled and thoroughly cleared during the first half of the nineteenth century. Little forest cover remains except in the wettest places. Mixed farming was the rule with a dominance of grain in the cropping program. ... With the extension of paved roads these areas come with the range of the Toronto milk shed and some of the farms became fluid milk suppliers⁹.

More specific detail about the development of the area is described below.

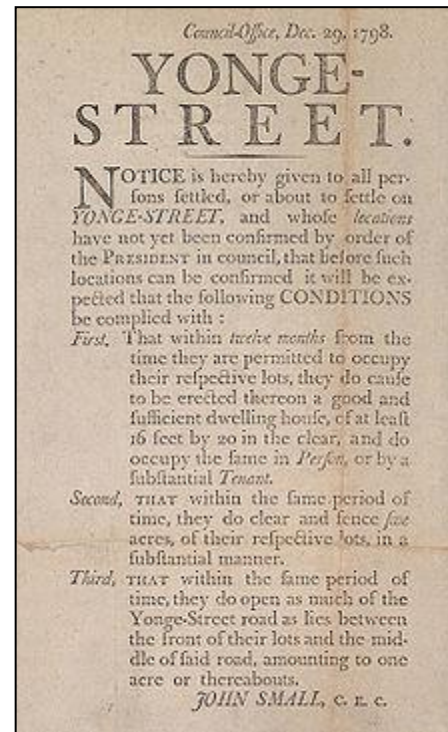
The opening of the area to early settlement was facilitated by the survey of Yonge Street and adjacent lands starting in the late 1790s. Yonge Street had the dual purpose of developing the adjacent new Townships (King and Whitchurch in this area) and serving as a military road. Initial clearing of Yonge Street was undertaken in 1795 by the Queen’s Rangers. Subsequent clearing and maintenance of the Street was the responsibility of adjacent land owners. As a result, the Government’s priority was to accelerate continuous settlement along Yonge Street. Therefore, Crown and Clergy Reserve lands, which were not open to settlement, were dispersed from Yonge Street throughout the inner concessions of the adjacent Townships. Lots bordering the Street were the amongst the earliest granted. As well, for the lots adjacent to Yonge Street, settlement duties, which facilitated the transfer of land from the Crown to settlers, were shortened to twelve months from the usual two years.

⁹ Chapman and Putnam, pp 298 – 299.

In a 1792 proclamation, Figure 4.1, the Governor of Upper Canada, John Graves Simcoe, offered free land grants, subject to settlement conditions.

In response to the availability of land and to escape American military duties, a number of Americans were early settlers to the area.

Timothy Rogers, a Quaker from Vermont, was responsible for the settlement of forty mostly Quaker (Society of Friends) families in Whitchurch. Rogers acted as a land agent for the upper Canadian government, ... Rogers was offered one thousand acres in 1801 if he could bring a set number of people and settle a certain number of farm lots. The forty families Rogers persuaded to locate in Whitchurch came from Vermont, New York and Pennsylvania.¹⁰



This initial wave of settlement was followed by others from the United States and the United Kingdom.

Figure No. 4.1
Yonge Street Proclamation, 1798.

In 1846, William Smith, in the Canada Gazetteer, described Whitchurch Township as:

A Township in the Home District... In Whitchurch 43,463 acres are taken up, 15,330 of which are under cultivation. This is an old settled township containing many fine farms, which are generally well cultivated and many of which are beautifully situated, and have excellent orchards attached to them. Most of the land is rolling. Whitchurch was originally settled by Pennsylvanian Quakers, most of whom or their descendants still hold the land. The village of Newmarket is situated in the north-west corner of the township. There are four grist and thirteen saw mill in the township.

Population in 1842, 3,836.

Ratable property in the township £51,392.¹¹

The development of the land for agriculture, including clearing of the land of trees, facilitated the building of saw and grist mills in the area. These were located on streams and rivers with sufficient water to power the operations. These included mills in the village of Newmarket as described by Smith in 1846:

¹⁰ Whitchurch History Book Committee, 14.

¹¹ Smith, 219.

A Village in the Township of Whitchurch, three miles and a-half from Holland Landing, and about thirty miles from Toronto. It is situated on the east branch of the Holland River, in the midst of a finely undulating, old settled, and well cultivated country, and is surrounded by very fine farms. The village was commenced about thirty years since, and was originally settled by Pennsylvanian Quakers. The principal part of it is built on the south side of a gently sloping hill, forming one long narrow street; the remainder of the village is built on the side of a hill, a little to the east. Newmarket contains about 600 inhabitants. There are six churches and chapels, viz.. Episcopalian, Presbyterian, Catholic, Congregational, Methodist, and Christian.

Post Office, post every day in summer, and three times a week in winter.

Professions and Trades.—Three physicians and surgeons, two grist-mills, two breweries, one distillery, one tannery, one foundry, one carding machine and cloth factory, five stores, three taverns, one druggist, one painter, two ladies seminaries, one gunsmith, two cabinet makers, three blacksmiths, one watch maker, one tinsmith, six shoemakers, three waggon makers, two saddlers, three tailors, four carpenters, one hatter.¹²

By 1853, the Ontario, Simcoe and Huron Union Railway was operating from Toronto as far north as Aurora. Later that year it was extended as far north as Newmarket, running roughly parallel to Yonge Street but by-passing the hamlet of Bogartown. This rail line was extended to Collingwood via Barrie in 1855.

In 1906, a second rail line, the Toronto and York Radial Railway (the Metropolitan), was constructed on Yonge Street to north of Aurora and then across country to the village of Newmarket, again by-passing Bogartown. The radial line provided improved accessibility to the Toronto area for passengers and freight. Both rail lines are shown of Figure 4.2. The railways stimulated some development in the area, with development focused on the settlements of Newmarket and Aurora as shown in Figure 4.2.

With the provision of large scale sewerage services, the construction of Highway 404 on the east boundary of Newmarket and Aurora and GO train service, development in the area has accelerated during the last thirty years.

¹² Ibid, 124.

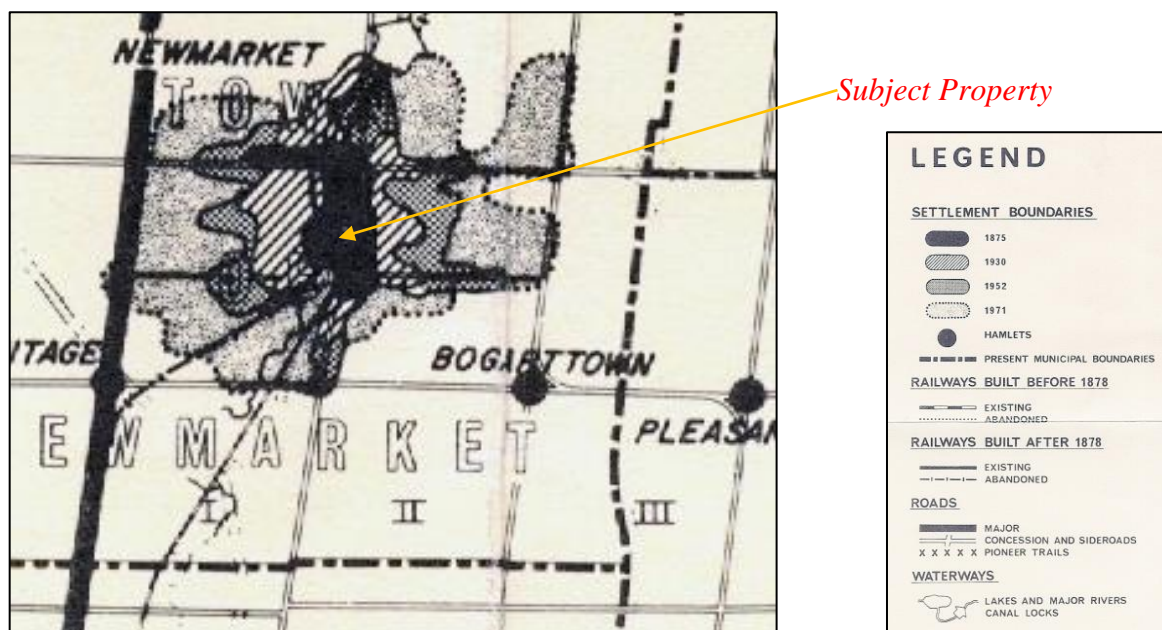


Figure No. 4.2

Historical Development of the Aurora / Newmarket area up to 1974

[Source: Region of York].

Town of Newmarket

In addition to the description of the village of Newmarket in 1846 cited above, various other sources have described the early development of Newmarket:

Two of the original settlers helped create the centre of business and commerce in Newmarket. Joseph Hill erected the first mill and dam on the west bank of the river at the south side of today's Water Street. ... Nearby, Hill built a store and to the west ... a wooden residence. South of this first mill ... Elisha Beaman built a second mill about 1803.¹³

By 1830, Newmarket had established itself as the most important trading centre in the northern part of York County. ... by 1846, there were perhaps 500-600 people living there with most of the houses and shops stretching along Eagle, Water and Main Streets.

In 1853 the Ontario, Simcoe and Huron Railway reached Newmarket from Toronto, thus encouraging the growth and development of Newmarket. ... On January 1, 1858, Newmarket was separated from the Township of Whitchurch and incorporated as a municipality.¹⁴

¹³ Whitchurch History Book Committee, p. 44.

¹⁴ Regional Municipality of York, Historical Development, p. 19.

During the latter quarter of the nineteenth century, Newmarket experienced considerable growth with a number of factories moving to Newmarket as a result of municipal bonusing and other financial incentives. Like Aurora, Newmarket was connected to the radial line. Newmarket also received a number of County services including a registry office for the north part of the County and the Industrial Home (later York Manor).

Although growth was slow in the first half of the twentieth century, Newmarket experienced considerable growth in the latter half with the provision of infrastructure to accommodate the overflow growth from Toronto – sewage services from the York/Durham Sewage Scheme, the extension of Highway 404 on the east and Highway 9 on the west and the provision of GO transit service.



Figure No. 4.3

Main Street in Newmarket, looking north from Timothy Street, circa 1900.

4.2 The Subject Property

Table 4.1 HISTORICAL TIMELINE – Centre Unit, Millard Block (part Lot 28, Plan 81)	
Key Date	Historical Event
1794 - 1800	Yonge Street and adjacent township lots surveyed
1804	Crown grant of land (Lot 94 - 190 acres) to Henry Crone who conveys it two months later to Timothy Rogers
1812	Rogers conveys 200 acres in Lots 94 and 95 to Timothy Millard
1838	Timothy sells a part of Lot 94 containing subject property to son John
1846	John Millard sells subject property to son Joseph who built a frame structure for his furniture / undertaking business or as a commercial rental property
1862	Fire destroys Millard's Main Street store and other buildings in area.
1863	Millard rebuilds a three unit brick, two storey structure – the Millard Block
1876	Danford Roche opens dry goods store in centre and south unit of Millard Block
1909	Joseph Millard gives centre unit of Millard Block to daughters – Jane Rumsey & Elizabeth Millard; around this time W. A. Brunton opens a dry goods store in the centre unit
1939	Elizabeth Millard gives centre unit to nieces – Florence & Beatrice Rumsey
1941	The Rumseys sell centre unit to Robert & Maxwell Smith; Carl Gable's dry goods store becomes the tenant
1953	Robert Smith dies; estates sells centre unit to Maxwell Smith
1966	Maxwell Smith dies; estate sells centre unit to George Tsapoitis and others for the Granada Restaurant
2019	W. J. Tsapoitis and others sell centre unit to Jimsgate Inc.

Shortly after arriving in the area in 1800, Henry Crone petitioned for the land in Lot 94. Henry Crone, a Quaker, headed one of the families brought by Timothy Rogers from the United States to settle in the area. To secure ownership (the patent) to the Lot, Crone must have fulfilled settlement duties specified in the 1792 proclamation including building and residing in a dwelling at least 16 feet by 20 feet, clearing a portion of the Lot and opening and maintaining Yonge Street in front of the Lot. He secured the patent in 1804¹⁵ but within two months he conveyed all 190 acres to Timothy Rogers.¹⁶ Roger's interest in 200 acres in Lots 94 and 95, was transferred to Timothy Millard in 1812.

Timothy Millard (1776 – 1840) was from the United States but moved to the Markham area in 1805.

¹⁵ Land Records, York Region, Lot 94, Con 1 EYS, Newmarket, patent.

¹⁶ Ibid, Instrument No. 2005.

Timothy Millard ... The Millards were of Huguenot descent who, in 1764, had fled France ... to settle in Wales. From Wales they emigrated to America... In the spring of 1805, Timothy, with his wife Katharine Yeiser, set out on horseback – from ... Pennsylvania ... they settled in Markham township near Stouffville ... After seven years they came on to the Newmarket settlement where Timothy Millard ... procured 200 acres, parts of lots Nos. 94 and 95.

This farm ... extended from Yonge Street to the Second Concession ... At the east end of this farm, facing the trail (Main Street) he erected his farm dwelling.¹⁷

Timothy Millard, a farmer, built a farm house, a saw mill and one of his sons erected a grist mill, all on the Millard property. The house was built close to, if not on, the subject site facing Main Street as shown in Figure 4.4. In 1838 Timothy sold part of his farm, including the subject property, to his son John Millard¹⁸ when Timothy probably moved his farm house from Main Street to the south side of Timothy Street. John Millard continued the farming tradition of his father for, in the 1861 Census, at the age of 75 he is listed as a farmer on 34 acres of Lot 95¹⁹. The relocated Millard farm house was destroyed in the flood of 1878.

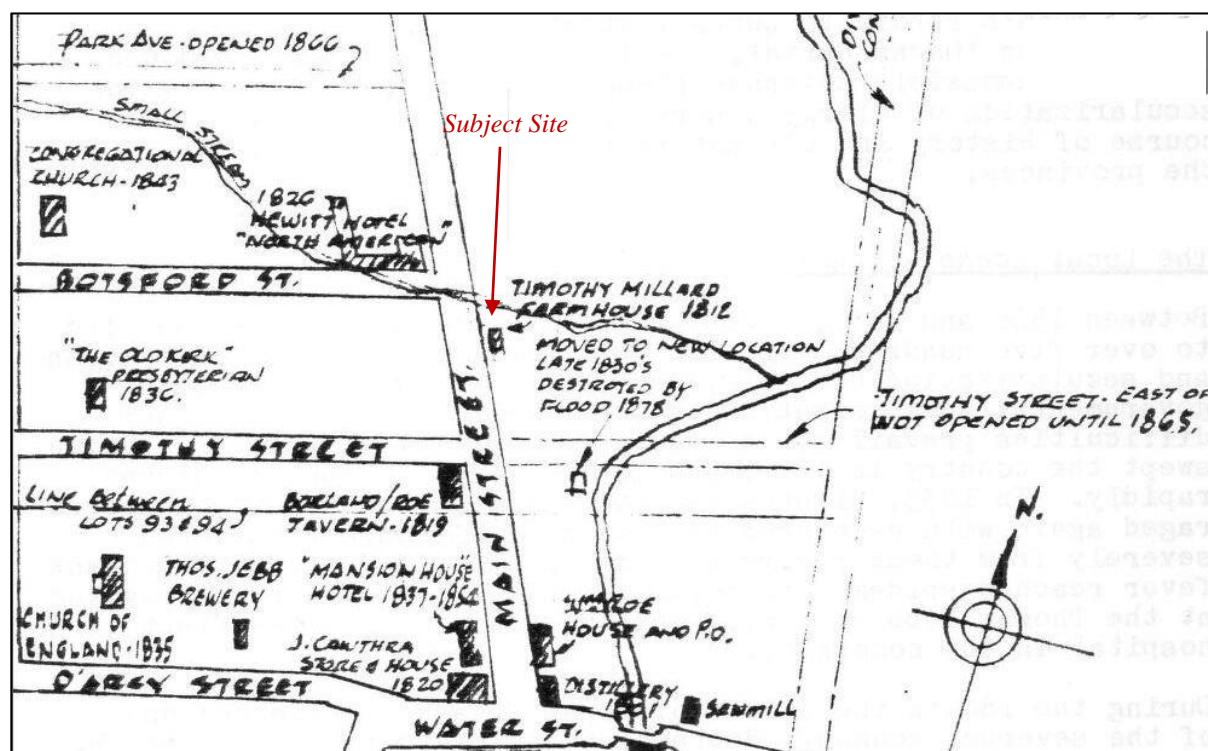


Figure No. 4.4 Early Development of the Area and Subject Site [Source: McCaffrey and Luesby, 15].

¹⁷ Trehwella, 42-43.

¹⁸ Land Records, York Region, Lot 28, Plan 81, Newmarket, Instrument No. 15697.

¹⁹ 1861 Population Census of Canada, Whitchurch Township, Enumeration Area No. 1, p. 11; and 1861 Agriculture Census of Canada, Whitchurch Township, Enumeration Area No. 1, p. 47.

In 1846, John Millard conveyed a portion of the farm containing the subject property to his son, Joseph Millard (1816 – 190?).

Joseph Millard, furniture manufacturer and undertaker, was born in the Township of Whitchurch, York County, in 1816 and is of Welsh descent. He first commenced farming, also worked in a saw-mill, and in 1839 commenced his furniture business in Newmarket with limited capital of twenty-five dollars. This business has steadily increased, and the modest dimensions of its original existence, compared with its present large proportions, is very creditable to Mr. Millard's talent and enterprise and he is now [1885] considered one of the wealthiest men in this section. In 1840 he married Miss Susan Hollingshead, of Whitchurch, by whom he has a family of eight children living, three sons and five daughters. Mr. Millard's parents, John and Mary Millard, emigrated in 1805 ... with their parents, timothy and Mary Millard.²⁰

Joseph Millard built the brick house on Botsford Street just west of Main Street (Figure 4.5) between 1838 and 1846. Joseph's sons included John H., while his daughters included Jane and Elizabeth.

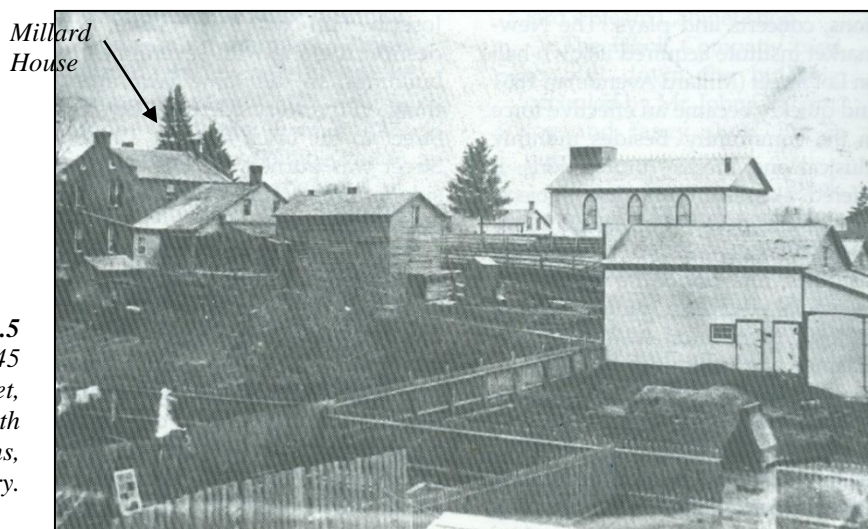


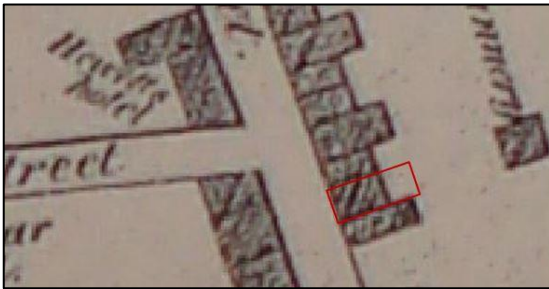
Figure No. 4.5
 Millard House, 445
 Botsford Street,
 East and North
 Elevations,
 mid 19th century.

Around 1846, Millard constructed a frame building on the subject property (Figure 4.6 and **Appendix C**) to serve as his 'sash, door and furniture factory'. This building is also shown in Hallen's 1962 map prior to being destroyed by fire (Figure 4.6 and **Appendix C**). No images of this earlier structure could be found. In the 1861 Census, Joseph Millard was listed as a cabinet maker operating a factory producing household furniture with an annual value of \$4,000. His factory consumed 50,000 feet of soft wood and 2,500 feet of hardwood. His factory was powered by a 6 horse power, steam driven planing mill with three turning lathes. He employed five people and had \$6,000 capital invested in the business, including buildings and real estate.²¹

²⁰ Adam, 478.

²¹ 1861 Population Census of Canada, Whitchurch Township, Enumeration Area No. 1, p. 11.

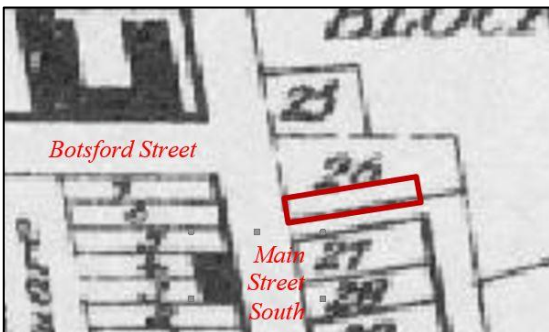
1853



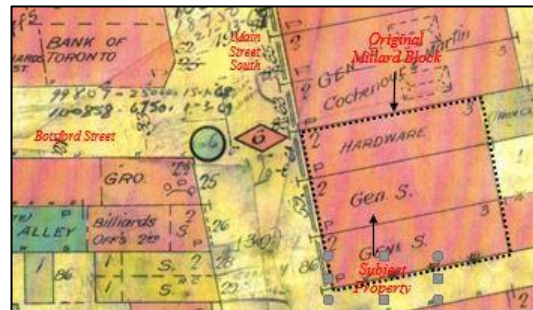
1862



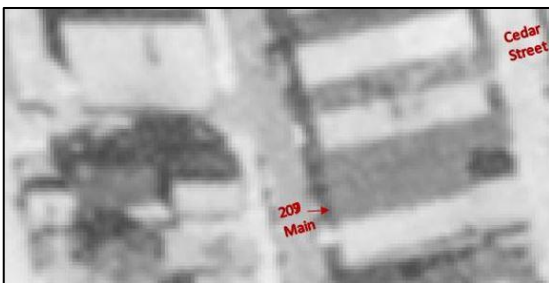
1878



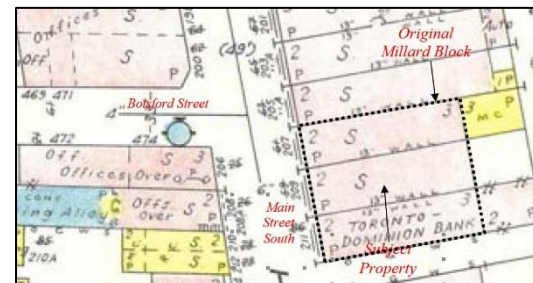
1910



1946



1959



1970



2018



Figure No. 4.6 The Millard Block & Subject Site in Maps and Aerial Photographs, 1853 – 2018.

On December 6, 1862:

a fearful fire broke out a half-past three in the morning, in a wooden tenement occupied by Mr. Dieterle, a watchmaker, and because the fire engine did not function satisfactorily at the beginning, the flames spread until all buildings between, and partly inclusive of the Central Hotel, on the east side of Main Street to opposite the Railroad Hotel, were consumed.

... The flames spread to the Caldwell Chair factory .. in a section of which Mr. Saxton conducted his jewellery business, and the second story of which factory was used as a hall for public purposes and was known as the Temperance Hall. Next the flames reached the sash, door and furniture factory of Joseph Millard, in which was located the first planning mill north of Toronto. This was saved by the ingenuity of Robert Murrar, who with the assistance of other willing helpers, placed it on rollers and shoved it out the burning building.

Losses were very heavy:- Joseph Millard, \$7000.00; ... There were other smaller losses which later came under the list of repairs.²²

A few days later Joseph Millard announced in an advertisement in the local newspaper, the Newmarket Era, that he was carrying on business temporarily on the west side of Main Street – household furniture for sale and funerals as usual.²³

Joseph Millard quickly decided to rebuild, but this time in brick. The Newmarket Era noted on July 24, 1863, under Local Improvement that he was building a workshop on Timothy Street and stores on Main Street:

Some idea of the rapid progress Newmarket is making the present season may be learned from the number of buildings now in course of construction and contemplated erection this season. Mr. Joseph Millard, since the fire in December last, has built an immense workshop [on Timothy Street] in which he has fitted up a powerful engine for driving machinery and which is now in successful operation. He is also building two large brick store, three stories high, on Main street – a credit alike to the proprietor and the workmen and a decided improvement to the village.

By October 9, 1863 the Era reported:

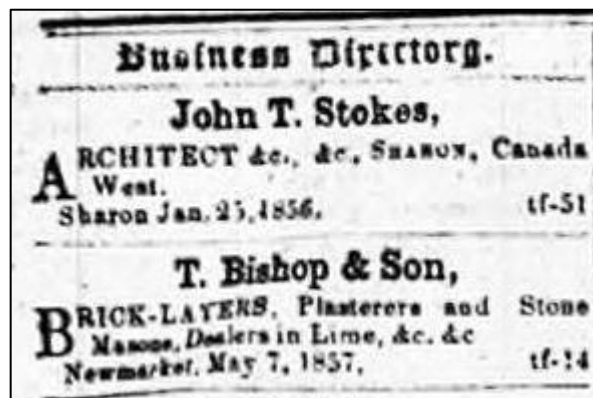
Mr. Joseph Millard has now removed to his new premises, recently erected on Main Street, and known as the Millard Block. During the Summer he has been manufacturing largely, - thus enabling him to be prepared for the fall trade with an immense assortment of household furniture. His show room is well worth an inspection. Speaking of the “Millard Block” reminds us, that just four months ago, the first stone of these very creditable buildings, was laid – in which no less

²² Trehwella, 181.

²³ Newmarket Era, January 23, 1863.

than 121,000 bricks were used, besides the stone work in the foundation. The block is an ornament to the village.

No information could be found identifying either the builder or the designer of the Millard Block. It is possible that John Thomas Stokes (1824 – 1891) of Sharon was the architect. Stokes is the only person who advertised architectural services in the local newspaper at the time (Figure 4.7). He designed the York North Registry Office on Main Street, also built in 1863, the same year as the Millard Block, a number of houses in the area²⁴ and the Presbyterian and Christian churches at the head and foot of Main Street. He also designed the Stoddard commercial block on the Main Street of Bradford²⁵. Similarly, T. Bishop and Son were the only bricklayers advertising locally (Figure 4.7) immediately prior to construction of the Millard Block. However, no evidence could be found confirming that either Stokes was the designer and Bishop the builder of the Millard Block.



*Figure No. 4.7
 Business Advertisement in the Local Newspaper
 [Source: Newmarket Era, January 23, 1863].*

Although no photographs of the Millard Block when it was first constructed could be found, some 19th century photographs exist (**Appendix H** and Figure 4.8) from which it is possible to determine the Main Street elevation of the Block and, in particular, 209 Main Street South. An early photograph of 207 Main Street (the north unit in the Block) can be used to determine the original west elevation of 209 Main Street South. The early appearance and construction of the west elevation is summarized as follows:

Construction: Solid red brick (at least 2 wythes) with white (yellow) brick detailing;
 flat roof; stone foundation

Consists of 3 units – 207, 209 and 211 Main Street South

Details: *Brick Work* - Bricks laid in Flemish bond; white brick voussoirs over all openings; white & red brick banding in parapet; white brick quoins only at ends of block (not on 209 Main Street)

Ground Floor Façade: 3 bay façade (centre door flanked by large plate glass windows); 209 Main Street has an extra door to the north to access upper floor residential units; centre door recessed; red brick ‘pillars’ between openings; narrow stone base

Upper floor façade: 2 bays of tall rectangular window openings – semi-circular heads with casement windows

²⁴ Newmarket Era, September 23, 1870.

²⁵ Biographical Dictionary of Canadian Architects, 1800 – 1950. website.

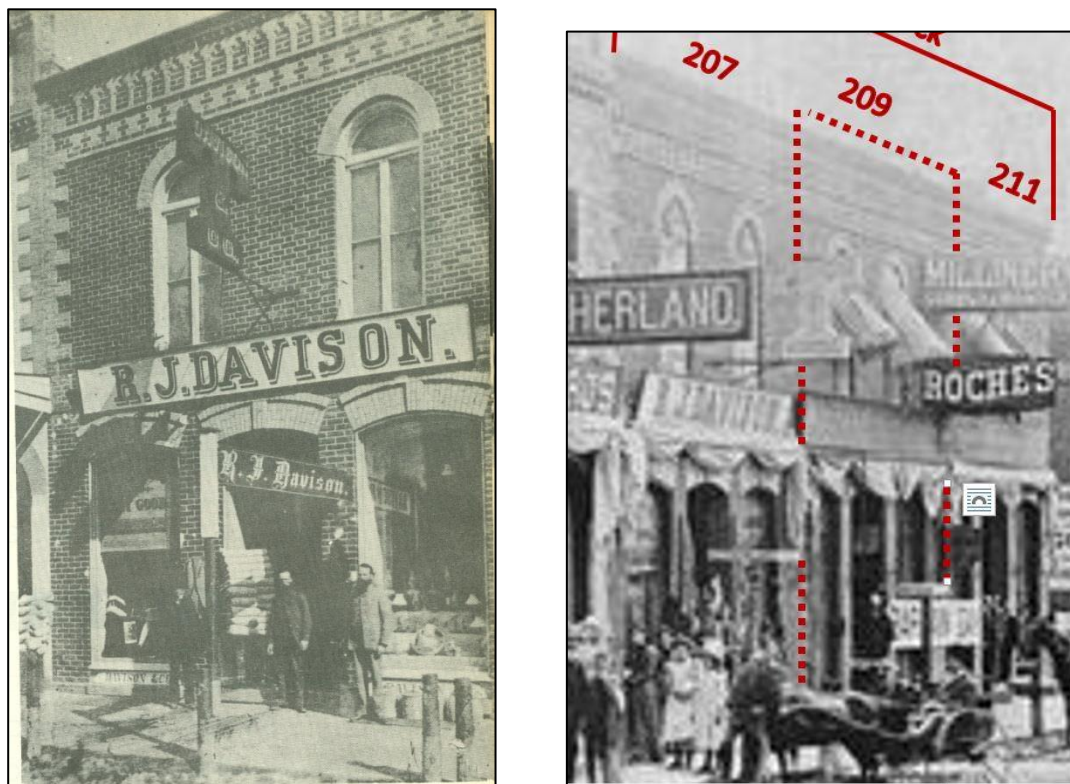


Figure 4.8 *Millard Block West Elevation, c1880 – 1895 (right); 207 Main St S (left).*

Although the Millard family continued to own all of the Millard Block until 1904 and the centre unit (209 Main Street South) of the Block until 1941, Joseph Millard appears to have used it only briefly after 1863 for his showroom. Unfortunately assessment rolls held by the Newmarket Historical Society in their archives were not available to the author during the preparation of this Assessment. They could have been used to determine tenants in the Building. Nevertheless, from photographs, during the latter part of the 19th century, Danford Roche, operating as “Roches”, occupied 209 and 211 Main Street South and R. J. Davison, operating as the “Big T”, occupied 207 Main Street South.

Danford Roche (1852 – 1924) opened his first Newmarket store, which was a general and dry-goods store, in the Millard Block in 1876. In advertisements for his store, he referred to his store as ‘the Leading House’. In 1884, he opened a store in Toronto. He later opened other stores in his business in Collingwood, Aurora, Ottawa and Barrie. However, by 1900 his businesses were in liquidation.

In 1908-1909, Joseph Millard gave the centre unit (209) of the Millard Block to his daughters, Jane Rumsey and Elizabeth Millard.²⁶

²⁶ Land Records, York Region, Lot 28, Plan 81, Newmarket, Instrument Nos. 5007 and 5275.

Tenants from c1900 to 1930 could not be determined. However, the 1910 insurance plan (*Appendix C* and Figure 4.5) shows that both 209 and 211 Main Street South were general stores, while 207 was a hardware store. The 1910 insurance plan also shows that additions had been built on the rear of 207 and 209 Main Street South, but not on the rear of 209.

From at least 1930 to 1941, the centre unit of the Millard Block, then addressed as 86 Main Street East, was tenanted by W. A Brunton and Company, a dry goods store. In 1942, the centre unit was occupied by Carl E. Gable, who also operated a dry goods store.²⁷

Later historic photos show 209 Main Street South in streetscape scenes, although the names of tenants are not discernable. Although the ground floor of the Main Street elevation of 209 may have changed, the upper floor remained unaltered through 1941 (*Appendix H*). However the street elevations of 211 Main Street South was substantially altered around 1937 – 1938 when Samuel Bondi sold the south unit (211) to the Bank of Toronto²⁸ and the Bank proceeded to renovate and add a new façade to their unit.

In 1939, Elizabeth Millard, the surviving daughter of Joseph Millard gave the centre unit (209) of the Millard Block to her nieces, Florence and Beatrice Rumsey.²⁹ The Rumseys then sold the centre unit (209) to Robert C. and Maxwell Smith in 1941.³⁰

The 1959 Insurance Plan (*Appendix C* and Figure 4.5) does not specify any occupant in 209 Main Street South and there was no addition to the rear of 209.

In 1966, Laura Smith, the executrix of the estate of Maxwell Smith, the last surviving Smith brother sold 209 Main Street South to Tommy Tsapotis and George Mandrozo who developed the centre unit of the Millard Block as the Granada Restaurant (Figure 4.9).³¹

Figure No. 4.9
Notice of the Opening of the Granada Restaurant
in the Local Newspaper
[Source: *Newmarket Era*, October 5, 1966].



²⁷ McCaffrey and Luesby.

²⁸ Ibid, Instrument No. 11416.

²⁹ Ibid, Instrument No. 11700.

³⁰ Ibid, Instrument No. 12041.

³¹ Ibid, Instrument No. 20901B.

Sometime in 1994 there was a fire in the Granada Restaurant. Although the fire caused substantial to the building, it was not completely destroyed. The owners retained Elie Catsaros, a Toronto architect to prepare plans for the rehabilitation of the restaurant. Part of the plans from his renovation are contained in *Appendix H*. Some of the major alterations arising from this renovation are the application on the Main Street facade of an “architectural textured protective coating on existing masonry wall”, installation of new second windows on the second floor and replacing the existing ground floor store front. On the east or rear of the building, a new concrete block, three storey addition was constructed. The results of this renovation are seen in the 2009 and 2014 photographs (*Appendix H*).

In 2015, the Granda Restaurant closed and a new tenant, Lil’ Brew Hops retained Mitch Sauder, an architectural technologist, to prepare plans for the further renovation of 209 Main Street South. A copy of the 2015 alterations to the Main Street façade are contained in *Appendix H*. The changes in this renovation were focused on the interior although a new ground floor window on the Main Street Elevation was proposed. The photographs of the results of these renovations are contained in *Appendices E* and *G*.

In 2019 Winnifret Janet Tsapoitis and Sam and Angela Mandrozios sold the subject property to Jimsgate Inc.³² The building at 209 Main Street South is currently occupied by Lil’ Brew Hops on the ground and basement levels and by two residential tenants on the upper floor.

³² Ibid, Instrument No. YR2955412.

5.0 BUILT AND LANDSCAPE RESOURCE DESCRIPTIONS

In July 2019, an on-site survey of all built and landscape resources on the subject property was conducted.

The following components of the property are documented in photographs and plans in:

- **Appendix E** – Building Exterior,
- **Appendix F** – Floor Plans; and
- **Appendix G** – Building Interior.

Landscape photographs of the property are found in the Context Photographs (**Appendix B**) and the Building Exterior Photographs (**Appendix E**).

The measuring stick that appears in some of the photographs is marked in one foot intervals.

5.1. Millard Block, Centre Unit (209 Main Street South) - Building

As discussed in section 4.2, the Millard Block, which consists of 207, 209 and 211 Main Street South, was constructed in 1863. Later alterations to the centre unit (209) were made ground floor storefront early in the 20th century and to all of the west elevation in 1994. As constructed, its architectural style is a vernacular commercial variation of ‘Italianate’ as shown in Figure 5.1. The style was common in Ontario from 1850 to 1900³³.

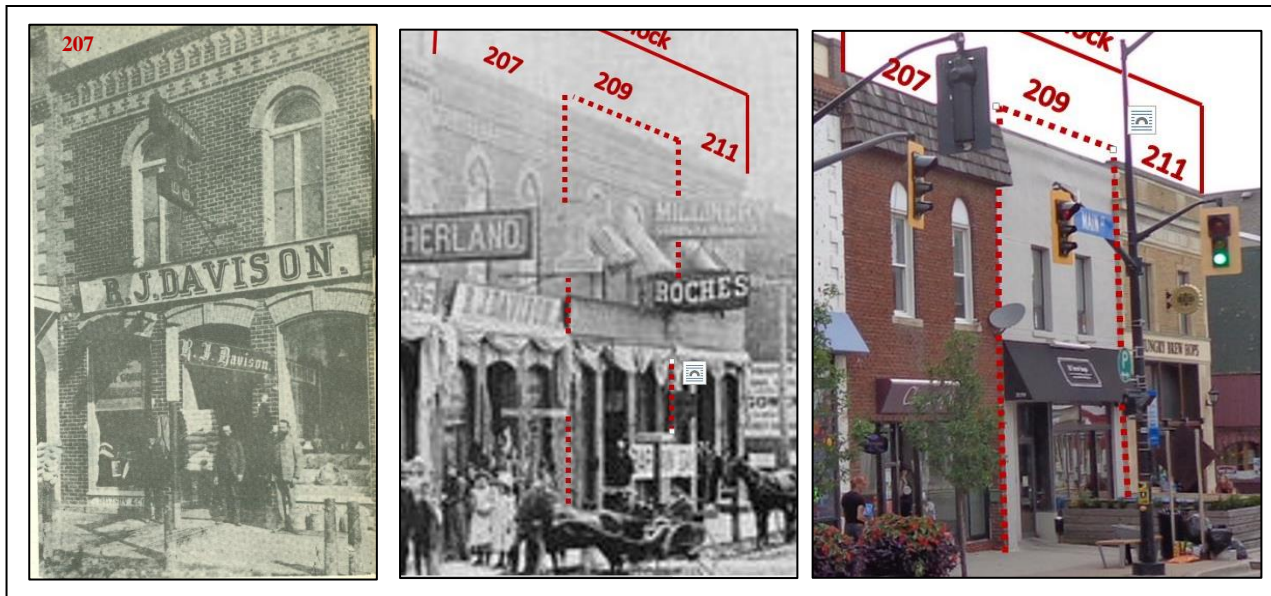


Figure 5.1
Millard Block as constructed (centre, with details for 207 Main Street South, left) and in 2019 (right)), West Elevation.

³³ Blumenson, 52-70.

The Millard Block has a zero setback from the Main Street right-of-way. The Block is two storey commercial structure attached to 205 Main Street South on the north and adjacent to a pedestrian lane on the south. The Block has a three storey rear, or Cedar Street, elevation. The Millard Block is a solid brick structure that rests on a stone foundation (as reported in the 1863 newspaper). The type of foundation stone work could not be determined in the site visit. Although the Main Street elevation was originally brick, all three units of the Block have had various claddings applied to the brick. A paneled “architectural protective coating” has been applied to the Main Street elevation of the centre unit (209). The 2015 renovation drawings specify that the panels are stucco clad. At the top of 209 on the Main Street facade, the bulge in this cladding is evident where it has been applied over the original projecting brick cornice. The rear elevation of 209 is a recent small addition clad in modern concrete block. Larger rear additions were built on the end units of the Block prior to 1910. Since the centre unit is attached to the south (211) and north (207) units of the Block, the centre unit does not have any exposed side walls.

The centre unit (209) of the Block is rectangular in plan measuring 25’ by 89’ (*Appendix F*). Although early photographs of the Block (*Appendix H*) show a one storey flat roofed veranda across the west elevation of the Block, protecting the wooden sidewalks, the veranda has long since been removed. It was replaced by canvas, roll-up awnings, which have also been removed. A narrow decorative awnings current exists above the store front of the centre unit (209).

The Millard Block is capped by a flat roof that slopes slightly to the rear to Cedar Street. The roofing material, which is not visible from the street, could not be determined on the site visit. Although there are no chimney stacks visible from either street, there may be a very small stack on the north side as shown in the aerial photograph (*Appendix F*). On the Cedar street elevation, there is a large metal exterior ventilation duck extending from the mechanical unit on the balcony of the ground floor to the roof (*Appendix F*).

West Elevation – This is the principal elevation of the Block and the centre unit (209). The south two thirds of the ground floor of the centre unit (*Appendix E*) consists of four metal framed, rectangular operable windows with flat transoms above pairs of windows, while the north third has a metal framed restaurant entrance door with a flat transom above and a solid metal door accessing the second floor residences. The two entrances are recessed. At the north and south ends of the ground floor, the stucco clad front wall extends to ground level and frames the openings. The upper floor of this elevation consists of the paneled stucco cladding and two symmetrically arranging window openings with lug sills. The openings have narrow metal or vinyl framed single glazed units with slider openings at the base. There is dark metal flashing at the top of front wall.

East Elevation – The rear modern concrete block elevation has three floors. On the basement floor there is solid metal door and a one storey projection housing the electrical room. A metal staircase provides access to the roof of the electrical room. On the ground floor there is a metal balcony containing the building’s mechanical unit and a solid metal person door.

On the upper floor, there are two square window openings on the south have and a metal ladder providing access to the roof. There window openings contain modern sash with bottom sliders. The metal duct from the mechanical unit to the roof is located between the window openings

Exterior Alterations – Much of the exterior of the centre units (209) of the Millard Block has been altered from its original construction, although the basic bones of the structure – height, roof shape, ground floor storefront, upper floor paired windows, remains intact and the upper floor brickwork may remain under the recent cladding. Despite the following alterations, the existing building, because of its context and retention of the basic bones, is important to the cultural heritage value of the District. The alterations include:

- Removal of:
 - o the ground floor storey front;
 - o the upper floor casement window sash and replacement with modern sliders;
- Addition of:
 - o Concrete block three storey addition to the rear of the structure;
- Alteration to:
 - o the cladding of the west elevation with the addition of stucco over the brick; and
 - o the second floor window openings changing them from large round headed rectangular openings to smaller rectangular openings

Although early photographs could be found of the building, the quality was not the best possible since originals held by the Historical Society Archives were not made accessible to the author despite several requests. The early photographs and more recent renovation plans are contained in **Appendix H**.

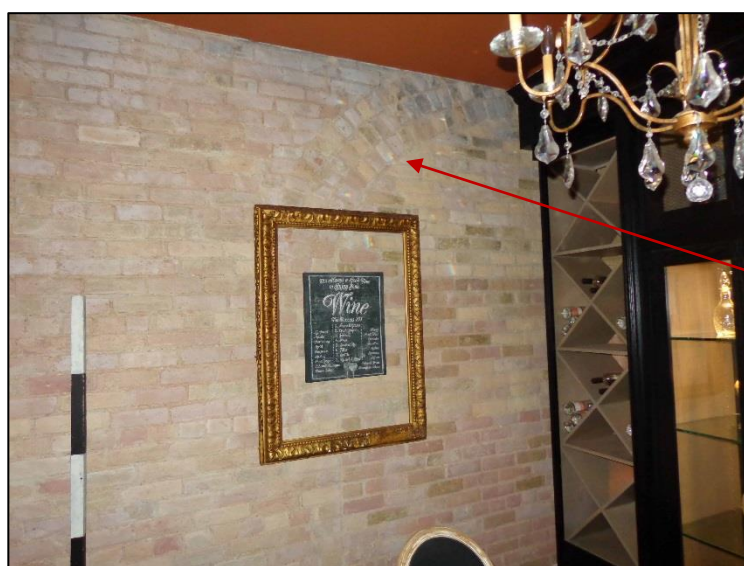
The architectural style of this house is a vernacular variation on the commercial application of Italianate‘.

This style is inspired by Italian Renaissance villas and palazzos and linked to the picturesque movement. Inigo Jones (1573-1652) was the first architect to bring Italianate architecture to England. British architects Charles Barry (1795-1860) and John Nash (1752-1835) developed and popularized the style. The style borrows classical vocabulary, which tends to be concentrated around the doors and windows. Trademark features of this style include deeply round arches, overhanging eaves and robust eave brackets, shallow roofs, corner quoins and asymmetrical square towers. The Italianate style was a popular style for commercial and residential buildings, but less commonly used for religious buildings in Ontario.³⁴

³⁴ Ontario Heritage Trust, *Architectural Styles*.

The Millard Block, including the centre unit (209), exhibited many of the characteristics of the Italianate style as constructed, including, the white brick corner quoins and voussoirs, the semi-circular headed window openings and the double tier of brick corbelling in the cornice, all of which add to the picturesque quality of the exterior of this commercial building.

On the interior, little heritage fabric remains visible. Only part of the original brick wall on the south wall of the ground floor remains visible (Figure 5.2). There is an arch in the brickwork suggesting there may have been an opening between 209 and 211 Main Street South when both were occupied by 'Roches', a department type store. All other space that were examined during the site visit have been renovated with modern materials or have been covered with modern wall and ceiling finishes.



*Figure 5.2
 Part of the South Wall,
 Ground Floor, Rear Dining
 Area.*

5.2 Millard Block, Centre Unit (209 Main Street South) - Landscape

Since the Building is constructed adjacent to the edge of the Main Street South right-of-way, with a zero setback, there is no front yard.

The rear yard is an asphalt paving parking and loading area, as shown in *Appendices B* and *E*, measuring approximately 27' 3" between the Building and the Cedar Street right-of-way.

5.3 Adjacent/Nearby Heritage Properties

Table 5.1 describes the heritage resources of the adjacent / nearby heritage properties.

TABLE 5.1 DESCRIPTION OF ADJACENT / NEARBY HERITAGE PROPERTIES		
Address	Historic Building Name	Description
207 Main St S	Millard Block	North end unit of Millard Block – 2 storey (Main St); originally Italianate architectural style; still has upper floor, semi-circular headed windows.
211 Main St S	Millard Block	South end unit of Millard Block – 2 storey (Main St); originally Italianate architectural style; Main and laneway façades completely remodeled and faced in stone
206 Main St S	Reformer Block	3 storey, 2 nd Empire styled building; book end of block face
208 Main St S		2 storey building

6.0 HERITAGE RESOURCE EVALUATION

6.1 Introduction

The property at 209 Main Street South merits conservation under the *Ontario Heritage Act* by its inclusion and designation as part of the Lower Main Street South Heritage Conservation District (HCD) and identification in the HCD Plan as “Historic Commercial Buildings”.

However, for the purposes of determining the cultural heritage values of the property and its heritage attributes, the criteria for determining cultural heritage value or interest in Ontario Regulation 9/06 made under the *Act* (**Appendix J**) were used. Municipalities use the criteria to evaluate properties for designation. The criteria are grouped into three categories – design or physical value, historical or associative value and contextual value. Newmarket Council has not adopted any additional criteria. These criteria were supplemented by two other factors: resource condition – the extent of deterioration in the attributes and fabric of a resource – and heritage integrity – the extent to which heritage attributes (character defining features) remain in place.

6.2 Application of Provincial Criteria

In this report, the application of provincial criteria, in addition to consideration of condition and heritage integrity, are based on a thorough examination of the property. They have been applied to the Building and landscape. Table 6.1 summarizes the evaluation. The following discussion deals only instances only where the heritage resource meets the criteria.

6.2.1 Building - 209 Main Street South - Cultural Heritage Value

Design or Physical Value:

- i. Example of a style, type, expression, material or construction method

The Building, as constructed, is representative example of a mid-19th century vernacular, commercial interpretation of the Italianate architectural style.

The Building is an early example of a two to three storey commercial brick building having replaced an earlier wood structure in 1863 following an 1862 fire that destroyed many commercial buildings on the east side of the Street.

- ii. Display a high degree of craftsmanship

The west elevation of the Building displayed a moderately high degree of craftsmanship in the exterior brick work. Evidence of this brick work survives in photographs and may survive under the existing stucco cladding.

Table 6.1 Application of Heritage Criteria to 209 Main Street South, Newmarket		
Criteria	Resource	
	Building	Landscape
Design or Physical Value		
i. Rare, unique, representative or early example of a style, type, expression, material or construction method.	Yes	No
ii. Displays a high degree of craftsmanship or artistic merit.	Yes – as constructed	No
iii. Demonstrates a high technical or scientific achievement	No	No
Historical or Associative Value		
i. Has direct association with a theme, event, belief, person, activity, organization or institution of community significance	Yes	No
ii. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	Yes	No
iii. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist significant to a community	*	No
Contextual Value		
i. Is important in defining, maintaining, or supporting the area character.	Yes	Yes – front yard only
ii. Is physically, functionally, visually or historically linked to its surroundings.	Yes	Yes – front yard only
iii. Is a landmark	*	No
Condition / Heritage Integrity		
3 i. Significant condition problems -	No	N/A
i. Integrity – retains much of its original built heritage character -	Exterior, upper floor, south elevation only	N/A

N/A – Not Applicable; * - Marginal

Historical or associative value:

- i. It is directly associated with Joseph Millard who was a successful furniture maker, undertaker and land owner, and third generation of a prominent family that settled this area and contributed to the development of this area's agriculture and commerce.
- ii. It may be associated with a prominent area 19th architect, John T. Stokes.

Although no documentation of the designer of the Millard Block could be found, John Thomas Stokes of Sharon may have designed it. Stokes, who was living and practicing in the area at the time, designed area churches and houses and when the Millard Block was under construction, he was designing the Registry office, also on Main Street. The front façade of the Block exhibits

Stokes' work, particularly in the overall style of the facade and the use of dichromatic brickwork. Since research could not confirm Stokes' involvement in the Building, this criteria was determined to be only marginal.

Contextual Value:

- i. The Building is important in defining, maintaining and supporting the Main Street character of the area.

209 Main Street South, which is the central unit of the Millard Block, together with other two to three storey 19th century commercial buildings, define the physical character of Lower Main Street. The visual presence of the Block is important as a reminder of the commercial, 'Main Street' character of the area that has persisted for almost 180 years.

- ii. The Building is physically, visually and historically linked to its surroundings:

The Building at 209 Main Street South is physically, visually and historically linked to its site and surroundings. Physically it is the central unit of the Millard Block, sharing party walls since 1863 with 207 and 211 Main Street South. The Millard Block is physically attached to building to the north, the Caldwell Block, which was constructed in 1865. Visually 209 Main Street South forms an integral part of the wall of 19th century commercial buildings on the east side of Main Street. Historically, 209 Main Street South has been link to its site since 1863.

6.2.2 Landscape - 209 Main Street South - Cultural Heritage Value

The absence of any front yard setback from the east side of the Main Street right-of-way is an important feature of this cultural heritage landscape. The wall of 19th century commercial buildings, of which 209 Main Street South is an integral part, abutting the Main Street right-of-way, has existed since at least 1853 (*Appendix C*).

The rear yard – the paved parking and loading area – has no cultural heritage value.

6.3 Summary of Cultural Heritage Values

Based on the above evaluation, 209 Main Street South has sufficient cultural heritage value or interest as defined by regulation issued under section 29 (1) under the *Act*. The Building has:

- significant design value or physical value;
- significant historical or associative value; and
- contextual value.

Even the absence of any front yard setback is a significant cultural heritage value.

6.4 Statement of Cultural Heritage Value and Heritage Attributes

Description

The property at 209 Main Street South, containing the centre unit of the Millard Block, is worthy of designation under the *Ontario Heritage Act* for its cultural heritage value, and meets the criteria for municipal designation prescribed by the Province of Ontario under the three categories of design, associative and contextual value. Located on the east side of Main Street South immediately adjacent to the east property line, between Botsford and Timothy Streets, is a two storey (Main Street) commercial building with a three storey Cedar Street elevation.

Statement of Cultural Heritage Value

The property at 209 Main Street South, (part Lot 28, Plan 81), was patented in 1804 by Henry Crone who, shortly thereafter, sold it to Timothy Rogers. In 1812, Rogers sold it to Timothy Millard. The subject property was originally part of a large farm. The Millard family, through succeeding generations, used parts of the farm for various other uses, including mills and commercial operations. Timothy Millard had his house on or close to the subject site until 1838, when it was moved to Timothy Street. In that year he sold part of his land, including the subject site, to his son John. In 1846, John sold the subject property and other lands to his son Joseph for his furniture and undertaking business. In December 1862, fire destroyed Joseph's shop and other buildings on the east side of Main Street South. In 1863 Joseph rebuilt a two storey, brick commercial structure, known as the Millard Block, on the site. It is possible, although not confirmed, that the architect, John T. Stokes, designed it and T. Bishop constructed it. The Millard family owned the centre unit of the Millard Block until 1941. The centre unit of the Block was occupied in the late nineteenth century by Roche's general store, from about 1909 to 1941 by Brunton's dry goods store, from 1942 to 1965 by Gable's dry goods store and from 1966 to about 2015 by the Granda Restaurant.

The Millard Block, as built, was a well-crafted two storey, flat roofed commercial structure, clad in red brick with white (yellow) brick detailing. The west elevation of the centre unit has had a stucco finish applied over the bricks. The building is distinguished by its principal elevation, which contains a store front and door to the upper floor units on the ground floor and, on the upper floor, two symmetrically arranged window openings. These window openings were originally tall rectangular openings with semi-circular heads with casement sash surmounted by semi-circular transoms. The window openings have been reduced in height and contain a single fixed glazing unit with sliders at the base of the opening. There was also a double band of decorative brick work below the projecting cornice, all of which has since

been clad in stucco. In the interior on the ground floor, part of the south brick party wall with a brick arch remains visible.

Contextually, 209 Main Street South is historically, physically and visually linked to its setting on the east side of Main Street South since 1863 where it is an integral part of a continuous wall of commercial, two and three storey brick buildings.

Heritage Attributes:

The heritage attributes of 209 Main Street South are

- The two storey commercial building with a three storey rear elevation;
- The scale, form and massing of the rectangular plan;
- The flat roof that slopes slightly to the rear of the structure;
- On the west elevation, the dichromatic brick work laid in Flemish bond, since covered in stucco;
- The parallel lines of decorative brick work below the projecting cornice, since covered in stucco;
- On the upper floor of the west elevation, the pair of tall window openings with semi-circular heads, white brick voussoirs and lug sills; since reduced to small window openings;
- The casement window sash with semi-circular transoms in the upper floor window openings, west elevation; since replaced with modern slider sash;
- On the ground floor of the west elevation, the four bay façade consisting of arched door and window openings, with a centre recessed door for the store flanked by two large plate glass windows and a door on the north side for access to the upper floor units; since replaced with modern metal framed glass windows and doors; and
- On the interior, part of the south brick party wall containing a brick arch.

6.5 Adjacent/Nearby Heritage Properties Cultural Heritage Values

Table 6.2 lists the cultural heritage values of adjacent or nearby heritage properties.

TABLE 6.2 CULTURAL VALUES OF ADJACENT / NEARBY HERITAGE PROPERTIES		
Address	Historic Building Name	Cultural Heritage Values
207 Main St S	Millard Block	2 storey height; flat roof; not setback from Main St.; still upper floor, semi-circular headed windows; ground floor store front
211 Main St S	Millard Block	2 storey height; flat roof; not setback from Main St.; 1930's façades
206 Main St S	Reformer Block	3 storey, 2 nd Empire styled facades; flat roof; chimneys
208 Main St S		2 storey, flat roofed building

7.0 DEVELOPMENT PROPOSAL

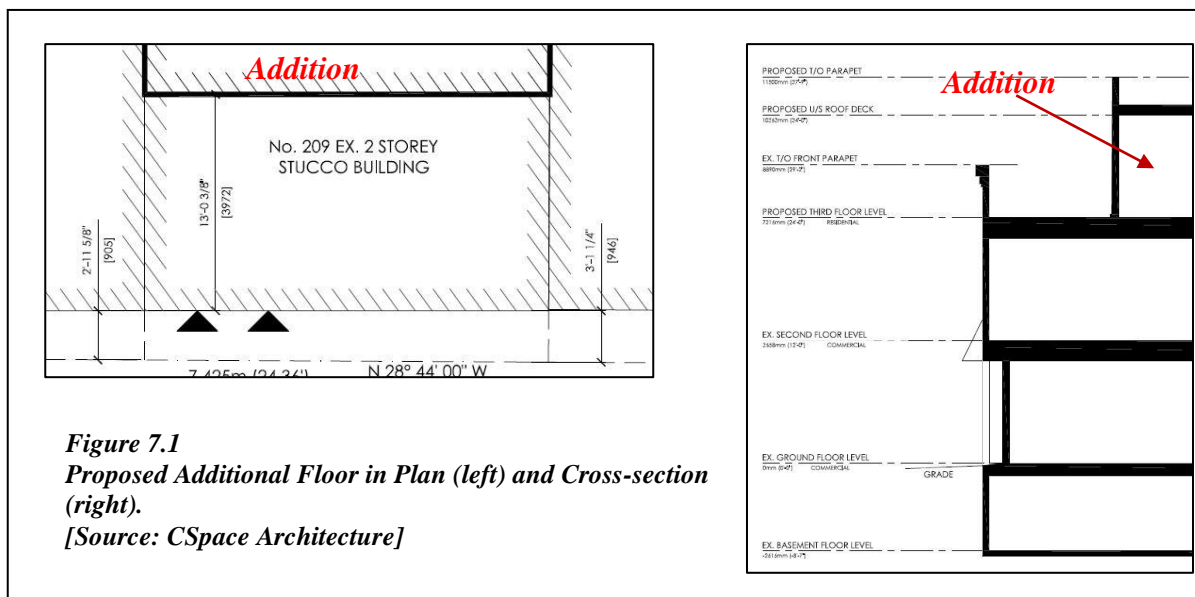
7.1 Overview of the Development Proposal

As shown in *Appendix K*, the owner is proposing to retain the building at 209 Main Street South and make the following alterations:

- construct an additional floor;
- extend the existing upper and additional floors towards the rear property line; and
- restore/renovate the west or Main Street elevation of the structure.

7.1.1 Details of the Development Proposal

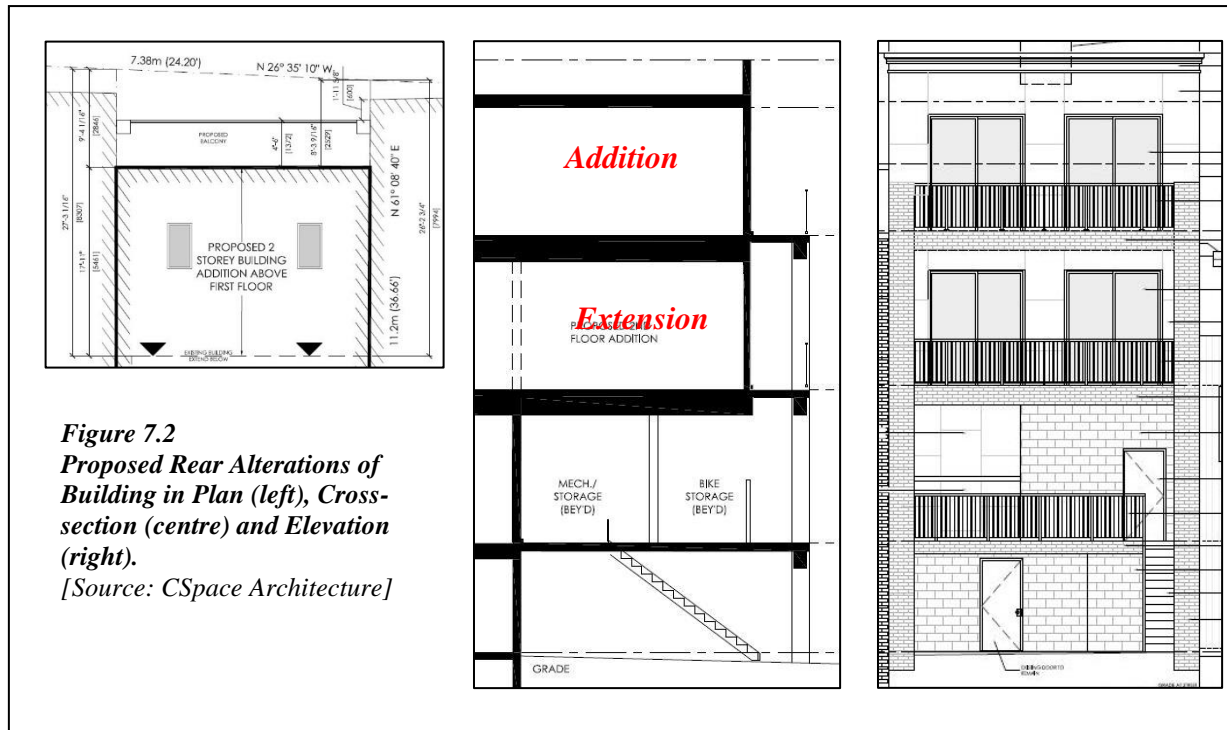
Additional Floor: As shown on the plans (*Appendix K*) and Figure 7.1, the owner proposes to construct an additional floor on the existing roof of the building. The front or west wall of the addition will be set back approximately 13 feet (3.96 metres) from the front wall of the existing building. The addition will have a flat roof. Some of the mechanical units for the building will be placed on top of the addition and set back from the end walls. A court yard will be located on the middle of the south side of the addition.



Rear Extension: As shown on the plans (*Appendix K*) and Figure 7.2, the owner proposes to

- create a balcony on the first floor that would include storage for bicycles;
- extend the east wall of the upper floor to the east and add a small balcony;
- construct the additional floor as far east as the extension to the existing upper floor below and add a small balcony;

- have sliding glazed patio doors on the rear wall of the existing upper floor and the new addition; and
- clad the new parts of the east wall with a brick veneer and metal cladding.



Main Street Façade: As shown on the plans (**Appendix K**) and Figure 7.3, the owner is proposing to restore the Main Street façade above the store front entrance. The proposal is shown next to an early photograph of 211 Main Street South; the latter was the north unit of the Millard Block. The early photograph shows what the façade of 209 Main Street South would have looked like shortly after its constructed in 1863, excluding the quoins on the extreme north end of 211.

The owner has had sample areas of the existing stucco coating removed and found the original brick (Figure 7.4), although, once the stucco is removed, there may be areas where the brick is damaged or badly weathered. The owner will repair the brick using similarly coloured and sized bricks and appropriate mortar. The upper floor windows will replicate the design of the earlier windows based on historical photographs contained in Appendix H. On the ground floor of this façade, the proposal is to have a store front (for the restaurant) and door to the upper units similar to the existing, although the brickwork at either end of the ground floor will be restored. In addition, an awning / sign band will be located between the brick ends of the ground floor.

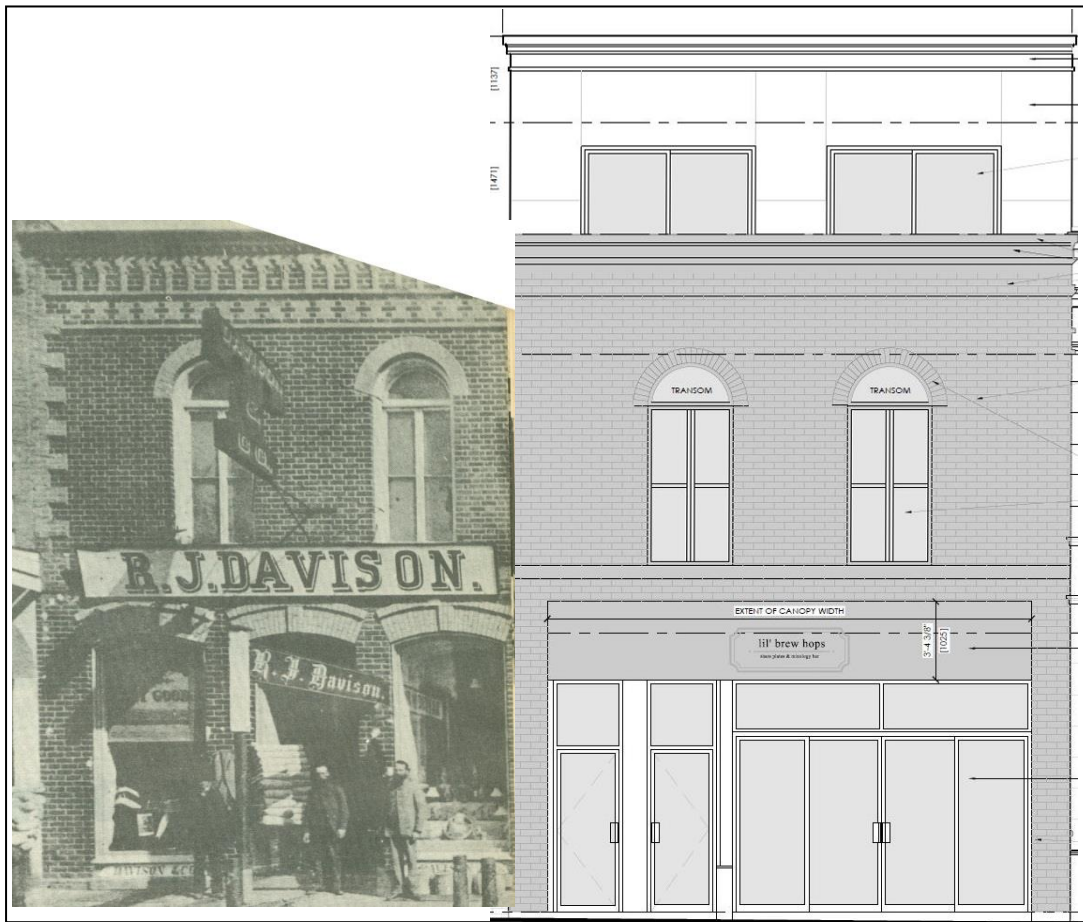


Figure 7.3
Proposed Main Street Façade for 209 (right) and a c1880 photograph of 207 (left).
[Source: Proposal - CSpace Architecture]



Figure 7.4
Removal of Existing Stucco – sample area.
[Source: CSpace Architecture]

8.0 DEVELOPMENT IMPACTS

8.1 Impact of the Proposed Development on the Heritage Resource

The following discussion of impacts of the proposed alterations on the cultural heritage values of the property at 209 Main Street South relate to the specific three alterations discussed in Section 7.1 above.

Additional Floor:

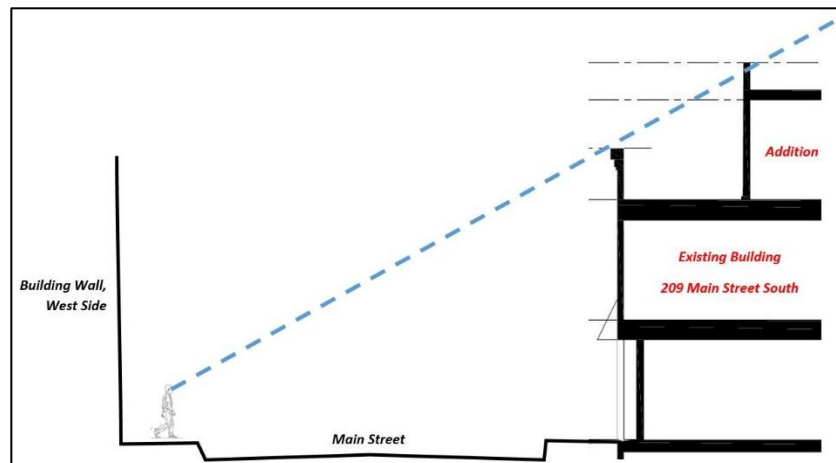
The east wall of buildings on Main Street South between Doug Duncan Drive and Timothy Street is largely two storeys high, although there are some variations and exceptions. The Millard Block (207 – 211 Main Street South), of which the subject property is the centre unit, is two storeys high. To the immediate north, the Caldwell Block (203 – 205 Main Street South), is also two storeys high, although it has a higher parapet than the Millard Block giving a higher appearance to the Caldwell Block. Historically, two buildings in this section of Main Street are three storeys high (201 and 225 Main Street South) and one with a recent third storey addition (219 Main Street South). This character of this section of Main Street is illustrated in the context photographs in **Appendix B**.

The proposal will add a third storey to 209 Main Street South. However, the visual impact of this addition will be mitigated by the roof shape, set back and use of materials.

The third storey addition to 209 Main Street South will have a flat roof, like the roof of the existing building. The flat roof reduces the visual impact of the addition to pedestrians on Main Street, unlike the existing gable roofed third storey addition at (219 Main Street South).

Furthermore, the third storey addition at 209 Main Street South will be set back almost four metres from the existing front or west wall of the building. As shown in Figure 8.1, a pedestrian on the opposite side of Main Street will see little of the third storey addition. The overall visual impression of the subject building will remain as a two storey structure.

Figure 8.1
*Visual Impact of the
 Proposed Third Storey
 Addition.*



In addition, the west elevation of the third storey addition will be clad in light grey metal cladding in contrast to the brick of the original building.

On the west elevation, the third storey addition, relative to the original building, will be distinguishable, subordinate, but sympathetic in design and visual presence.

Rear Extension:

The rear or east elevation of the subject building was not identified as a heritage attribute since it was entirely modern in materials and fenestration. The rear landscape was also not identified as a heritage attribute as it is a asphalt paved parking and loading area. Therefore the proposed extension of the existing building together with the third storey addition will not have an impact on the cultural heritage value of the property.

Main Street Façade:

The proposal will result in the removal of the stucco cladding of the Main Street façade, restoration of the brickwork above and on either side of the ground floor ‘store front’ and the reinstatement of similarly designed upper floor windows.

8.2 Impact of the Proposed Development on Adjacent/Nearby Heritage Resources

As shown in Table 6.2, there are two adjacent heritage properties (207 and 211 Main Street South – the end units of the original Millard Block) and two nearby heritage properties (206 and 208 Main Street South). Potential heritage impacts were examined relative to adjacent properties first and then relative to nearby properties.

Adjacent Properties: On the Main Street elevations, the almost 13 foot setback of the additional storey to 209 Main Street South means that, when viewed from the street, the two storey frontage of the adjacent and subject properties will be continued; the additional storey will not interrupt that view. Even when it is possible to see the additional storey from the street, the flat roof of the additional storey will maintain the roof type of the adjacent properties. Finally, reinstatement of the original window type on the existing upper floor of the subject property will continue the original window types still evident in the adjacent property to the north (207). Overall, there will be no adverse impacts on the heritage attributes of the Main Street elevations adjacent properties from the proposed development on the subject property.

On the Cedar Street elevations, the adjacent properties do not have any heritage attributes which could be adversely impacted by the additional storey and rear extension on the subject property.

Nearby Properties: Since there is an approximately 47 foot separation between the subject property and the nearby properties and the additional storey on the subject property is setback almost 13 feet, there will be no impact on the heritage attributes of the nearby properties.

9.0 OPTIONS, CONSERVATION / MITIGATION AND POLICY COMPLIANCE

9.1 Options for Managing the Heritage Resource

Since the owner is proposing to retain the existing Building, options involving demolition were not examined. The following options involving design changes were considered:

1. *Replicate a historical architectural style in the third storey addition;*
2. *Maintain the existing design of the Main Street elevation of the Building;*
3. *Reface the Main Street elevation similar to 211 Main Street South; and*
4. *Reinstate the original ground floor Main Street elevation*

Option 1 – Replicate a historic architectural style in the third storey addition:

This option involves adding the third storey but designing the Main Street façade of the addition in a style that mimics the original construction of the Building as shown in **Appendix H**. This option could include no setback for the addition; it could be built flush to the existing Main Street frontage.

This option would create a false sense of history – that the Building had always been three storeys in height. It is contrary to one of the main principles of heritage conservation – that new works should be distinguishable, but sympathetic and subordinate to the design of the heritage resource. This principle is specified in the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The proposed Main Street façade for the third storey as shown in **Appendix K** meets the requirements of being distinguishable yet sympathetic and subordinate to the heritage resource.

On this basis, *replication of a historic architectural style of the Main Street design of the third storey addition, is not recommended.*

Option 2 – Maintain the existing design of the Main Street elevation of the Building:

This option involves maintaining, through repair, the existing stucco cladding and window shapes of the Main Street façade of the Building.

The existing stucco cladding on the Building is deteriorating. This is a good opportunity to remove it and repair / restore the underlying brickwork to more closely resemble the Main Street elevation as originally constructed. The existing cladding on the façade detracts from the character of Main Street as shown in the

context photographs in **Appendix B**. The existing cladding lacks the texture of the brick buildings in the area. Stucco was not commonly used in the HCD when buildings were first constructed and its use remains relatively rare. The plain white colour of the cladding also detracts from the character of the HCD. In addition, retention of the small flat headed window openings is contrary to the original design of the Building and inconsistent with the windows in the three buildings to the north which are large, semi-circular headed openings.

Therefore, for the above reasons retention of the existing Main Street façade is **not recommended**.

Option 3 – Reface the Main Street façade to look like the building to the north:

This option involves recladding the Main Street elevation of the Building to resemble the building to the north as shown in Figure 9.1.



Figure 9.1
Earlier Proposal for the West Elevation, 209 Main St S (Left) with 211 Main St S on the right.

This option would create a false sense of history – that the Building had been altered at the same time that the façade on 211 Main Street South was created. The latter alteration occurred in the late 1930s, when the Bank of Toronto acquired the south unit in the Millard Block and converted it to a bank. This option is also contrary to the original design of the Millard Block.

For the above reasons, it is recommended that 209 Main Street South **not be altered** to resemble the front façade of 211 Main Street South.

Option 4 – Reinststate the original ground floor façade of the Building:

This option involves recreating the original ground floor façade largely as shown in Figure 9.2 and *Appendix H*. Although Figure 9.2 is a photograph of 207 Main Street South, 207 was part of the Millard Block and this design was replicated in 209 Main Street South. However, there is a question about historic access to the upper floor. Based on the historic photographs, there was not an additional door for access to the upper floor. Access to the upper floor was either through the main door and/or through the rear of the Building. It should also be noted that the centre door shown in Figure 9.2 was recessed within the opening.



Figure 9.2
*Ground Floor Façade
 of 207 Main St S,
 circa 1880.*

Although there is considerable photographic documentation to recreate the ground floor façade on 209 Main Street South, recreation of it would create problems both in accessing the upper floor units and with the ground floor use.

Access to the upper floor units cannot be limited to point of entry for safety reasons. The treatment of the ground floor façade would have to include an entrance to the upper floor units.

The existing restaurant makes use of outdoor seating. The current fenestration allows for servicing and access to the outdoor seating area separate from access to the restaurant itself. A single point of entry would create problems for the restaurant.

Therefore, for the above reasons reinstatement of the original ground floor façade is **not** recommended.

In summary, options to the proposed design of the development were considered but rejected for various reasons. The proposed development is the best option for conserving this heritage building.

9.2 Conservation / Mitigation Measures

In order to conserve the Building at 209 Main Street South and mitigate any adverse heritage impacts, the following measures are recommended.

9.2.1 Scoped Conservation Plan

As a condition of development approval, the owner provide a scoped Conservation Plan for the treatment of the front façade of the Building at 209 Main Street South satisfactory to the heritage consultant and the Town.

A Conservation Plan:

is a document that details how a cultural heritage resource can be conserved. The conservation plan may be supplemental to a heritage impact assessment, but it is typically a separate document. The recommendations of the plan should include descriptions of repairs, stabilization and preservation activities.³⁵

For the Building at 209 Main Street South it is recommended that the Conservation Plan be limited to the treatment of the front or Main Street façade. The scoped Conservation Plan should include plans and specifications for:

- a. the repair or replication of the masonry design of the façade including detailing of the upper floor window openings and the decorative brick work above those openings and in the cornice and below the cornice;
- b. the size and colour of the bricks;
- c. mortar specifications, including the profile of mortar joints;
- d. specifications for upper floor window sash, including framing and the transom;
- e. details on the flashing above the cornice;
- f. details on any protective barrier, if required, for the third floor outdoor deck; and
- g. details on the ground floor windows and doors.

The Conservation Plan will be prepared to the satisfaction of the heritage consultant and the Town of Newmarket.

³⁵ Ontario Ministry of Culture, Heritage Resources in the Land Use Planning Process, InfoSheet #5, 2.

9.2.2 Community Improvement Grant

As a condition of development approval, any Community Improvement grant for this project provided by the municipality should be conditional on completion of the exterior façade work in accordance with approved plans.

The subject property is within a Community Improvement area and the work is eligible for a Community Improvement Grant provided by the Town of Newmarket. This project merits such a grant. However, payment of the grant should be conditional upon the project being completed according to the approved plans for the Main Street façade of the Building.

9.3 Policy Compliance

The proposals for 209 Main Street South was evaluated using the heritage policies applicable to the subject property. The evaluation is summarized in Table 9.1.

Table 9.1 Policy Evaluation of the Proposal for 209 Main Street South, Newmarket				
Policy Source	Policy No.	Summary of Policy	House Options	Compliance
Provincial Policy Statement	2.6.3	Conserve significant heritage resources & landscape	Building will be conserved in situ	Complies
<i>Ontario Heritage Act</i>		Municipality may designate properties	Property determined to be worthy of designation – is designated in HCD.	Complies
Places to Grow	Sec. 4.2.7, policy 2	Municipality OP heritage policies	Property will be conserved in situ in compliance with municipal OP policies	Complies
York Region OP	3	Municipality have OP policies to conserve heritage	Property will be conserved in n compliance with municipal OP policies	Complies
York Region OP	11	Municipal OP policies to conserve heritage	Property and its heritage attributes will be conserved in situ in compliance with municipal OP policies	Complies
Newmarket OP	11.2	Conserve heritage resources in planning application	Property will be conserved ensuring no compromise of heritage values.	Complies
Newmarket OP	11.8	HIA required – HIA shows heritage values conserved	This report fulfills the requirement for a HIA; heritage values will be conserved	Complies
Newmarket OP	11.9	Adjacent heritage property impacts minimized	This HIA supports proposal as have no adverse heritage impacts on adjacent heritage properties.	Complies
Lower Main St HCD Plan	4.21.2	Retain heritage buildings subject to HIA	This HIA shows heritage building will be retained with minimal impact.	Complies
HCD Plan	4.21.3	Conserve heritage attributes	Heritage attributes will be conserved	Complies
HCD Plan	4.21.4	Appropriate improvements	Improvements respect historic materials, features and functions	Complies
HCD Plan	4.21.5	Restoration based on documentary & as-found	Alterations are based on documentary and as-found features	Complies
HCD Plan	4.21.6	Conserve historic masonry	Historic masonry will be conserved	Complies
HCD Plan	5.2	Follow 4 step process	Development proposal follows the 4 step process	Complies
HCD Plan	4.2.4.1	Building height between 2 & 3 storeys	Development proposal is between 2 & 3 storeys	Complies

In summary, the proposed development complies with Provincial, Regional and municipal heritage policies, including the policies contained in the Lower Main Street Heritage Conservation District (HCD) Plan. The Building will be retained in situ. The Main Street height of the proposal will not exceed three storeys. A Heritage Impact Assessment was prepared for the proposed development. Alterations to the front façade of the Building at 209 Main Street South have been based on historical documentation and as-found evidence. The heritage attributes of the Building will be conserved and enhanced through implementation of the development proposal.

10.0 CONCLUSIONS AND RECOMMENDATIONS

The owner of an approximately 220 m² (2,368 ft²) property at 209 Main Street South on the east side of Main Street South between the intersections with Botsford and Timothy Streets in Newmarket proposes to develop the property by adding an additional floor, extending the rear of the Building towards Cedar Street and altering the Main Street façade. The property is designated by the Town under Part V of the *Ontario Heritage Act (OHA)* by Lower Main Street South Heritage Conservation District (HCD) by By-law 2013-51. The property contains a heritage structure known as the centre unit of the Millard Block. In the owner's development application, it is proposed to retain the Building, setback the new addition from Main Street and restore / renovate much of the Main Street South façade of the original structure based on documentary and as-found evidence.

10.1 Conclusions

The cultural heritage significance of the whole property was evaluated after examining the structure and property, including a detailed inspection of the interior and exterior of the Building. The property has significant cultural heritage value or interest warranting conservation under the *OHA* and restoration of the front façade for the following reasons:

1. design value or physical value because the Building:
 - as constructed, is a representative example of a vernacular, commercial interpretation of the Italianate architectural style;
 - constructed in 1863, is an early example of a two to three storey commercial brick building on Main Street, built following an 1862 fire which destroyed an earlier wood structure and part of the east side of Main Street South; and
 - as constructed, has a moderately high degree of craftsmanship in the brickwork on the Main Street façade.
2. historical or associative values because the Building:
 - is directly associated with Joseph Millard, a member of a prominent area pioneer family and successful furniture maker, undertaker and land owner; and
 - may be associated with a prominent local architect, John T. Stokes.
3. contextual values, because the Building is:
 - important in defining, maintaining and supporting the Main Street character of the area; and
 - physically, visually and historically linked to its site and surroundings.

The landscape of the property does not have sufficient cultural heritage value to warrant conservation under the *OHA* although it is noted that the zero setback from Main Street (i.e., no front yard) is an important characteristic of the Building and its context.

A development plan submitted on behalf of the owner shows the proposed alterations to the retained Building cited above. Options to the proposed development were considered, but it

was determined that the development as proposed by the applicant is acceptable from a heritage conservation perspective. The proposed development complies with applicable Provincial, Regional and Municipal heritage policies, including the policies in the plan for the Lower Main Street South HCD. The proposed development is also consistent with good heritage conservation practice in that it will retain the Building, setback the additional floor from the existing Main Street façade by an acceptable distance and restore / renovate the façade based on good historical evidence. It was also determined that the proposed development at 209 Main Street South will not have any adverse impacts on adjacent/nearby heritage properties.

It was concluded that the proposed development should be approved under the *Planning Act* and a heritage permit under the *Ontario Heritage Act* should be granted subject to a scoped Conservation Plan for the Main Street façade and any Community Improvement Grant be conditional upon completion of the work in accordance with approved plans.

10.2 Recommendations

Recommendation –The Town approve, subject to conditions, the proposed development of property at 209 Main Street South under the Planning Act and the Ontario Heritage Act subject to two conditions.

1. The Council of the Town of Newmarket, with respect to the proposed development at 209 Main Street South as shown in the drawings contained in ***Appendix K*** of this Heritage Impact Assessment ('HIA'):
 - a. approve the proposed development under the *Planning Act* substantially in accordance with the drawings in ***Appendix K***; and
 - b. approve a heritage permit for the proposed development under Section 42 of the *Ontario Heritage Act*;

subject to following conditions, which are described in detail in the Sections of this HIA specified in brackets below:

- i. the owner, to the satisfaction of the Town and the heritage consultant, prepare a scoped Conservation Plan for restoration / renovation of the Main Street façade of the Building (Section 9.2.1); and
- ii. any Community Improvement Grant for the proposed development be payable upon completion of the façade work in accordance with approved plans, including the scoped Conservation Plan (Section 9.2.2).

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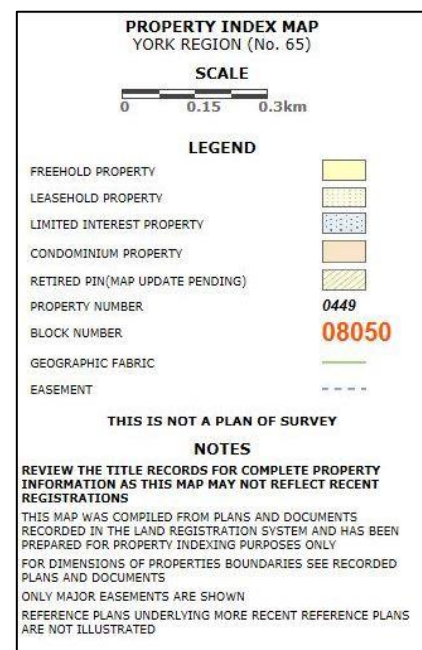
Appendix A: Property Survey

Property Index

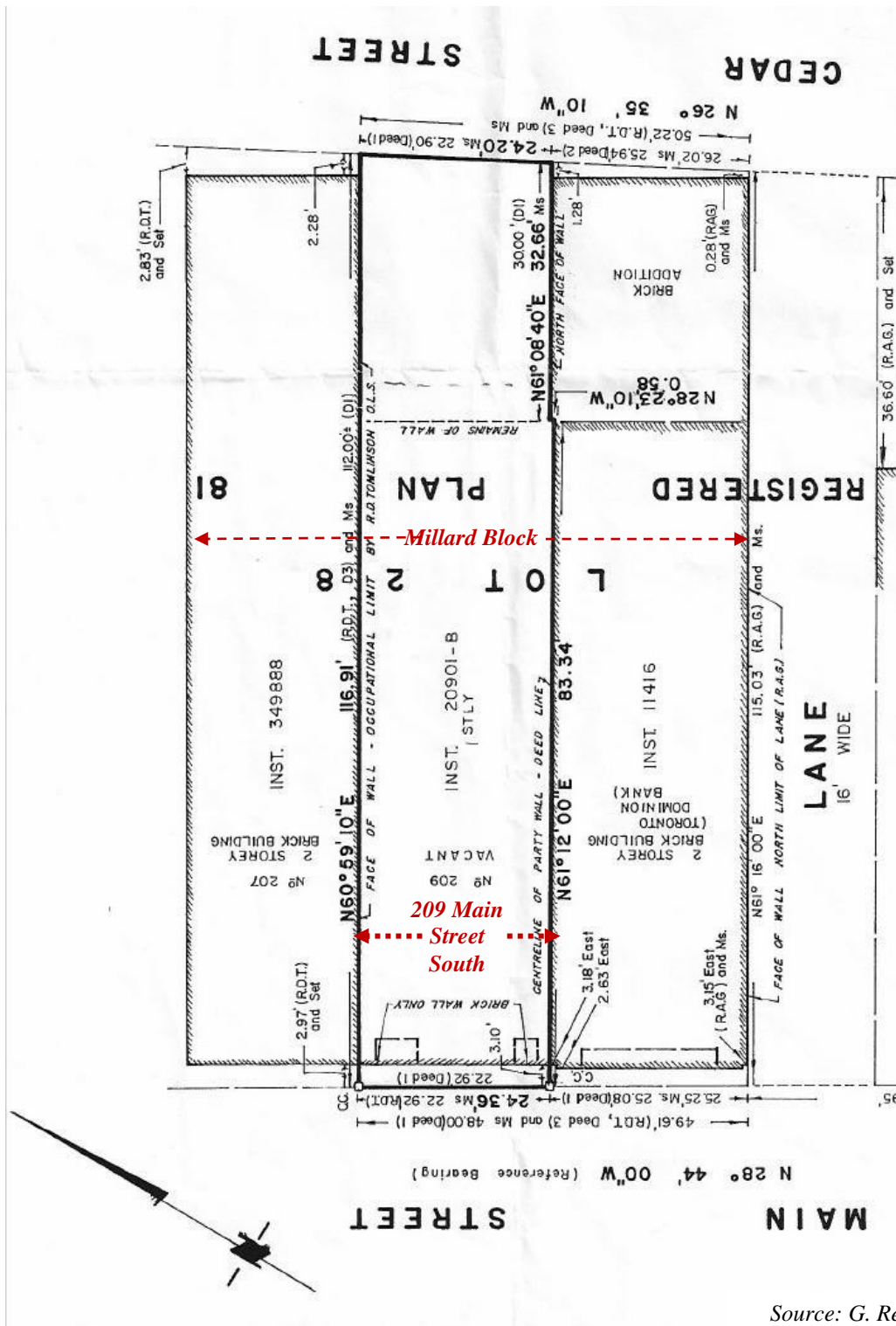


Subject Property

*Source: Lloyd & Purcell Ltd, Ontario Land
Surveyors, June 6, 2013.*



Survey - 1994



Source: G. Rentis, Ontario Land
Surveyor, March 23, 1994.

Appendix B: Photographs - Context

Main Street South



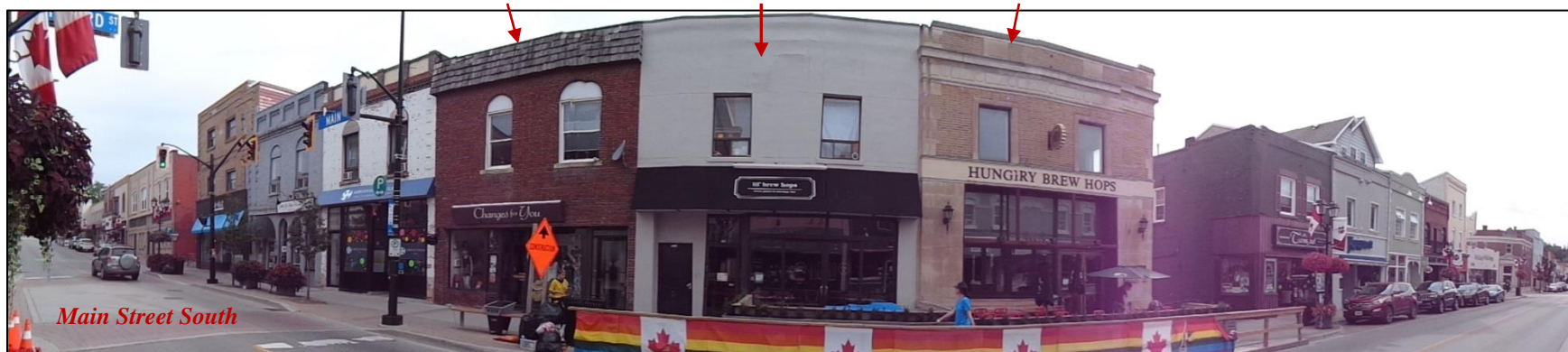
East side of Main Street South from Doug Duncan Drive looking south.

207 Main Street South

209 Main Street South

2011 Main Street South

East side of Main Street South; view centred on 209 Main Street South





Main Street South

East side of Main Street
South from 217 Main Street
South looking north.



West side of Main Street South
opposite 209 Main Street South

Main Street South

East side of Main Street South from Timothy Street looking north.

West side of Main Street South from Timothy Street looking north.



Cedar Street



View north on Cedar Street
from the rear of 209 Main
Street South.

West side of Cedar Street
centred on 209 Main
Street South.

*209 Main Street
South*



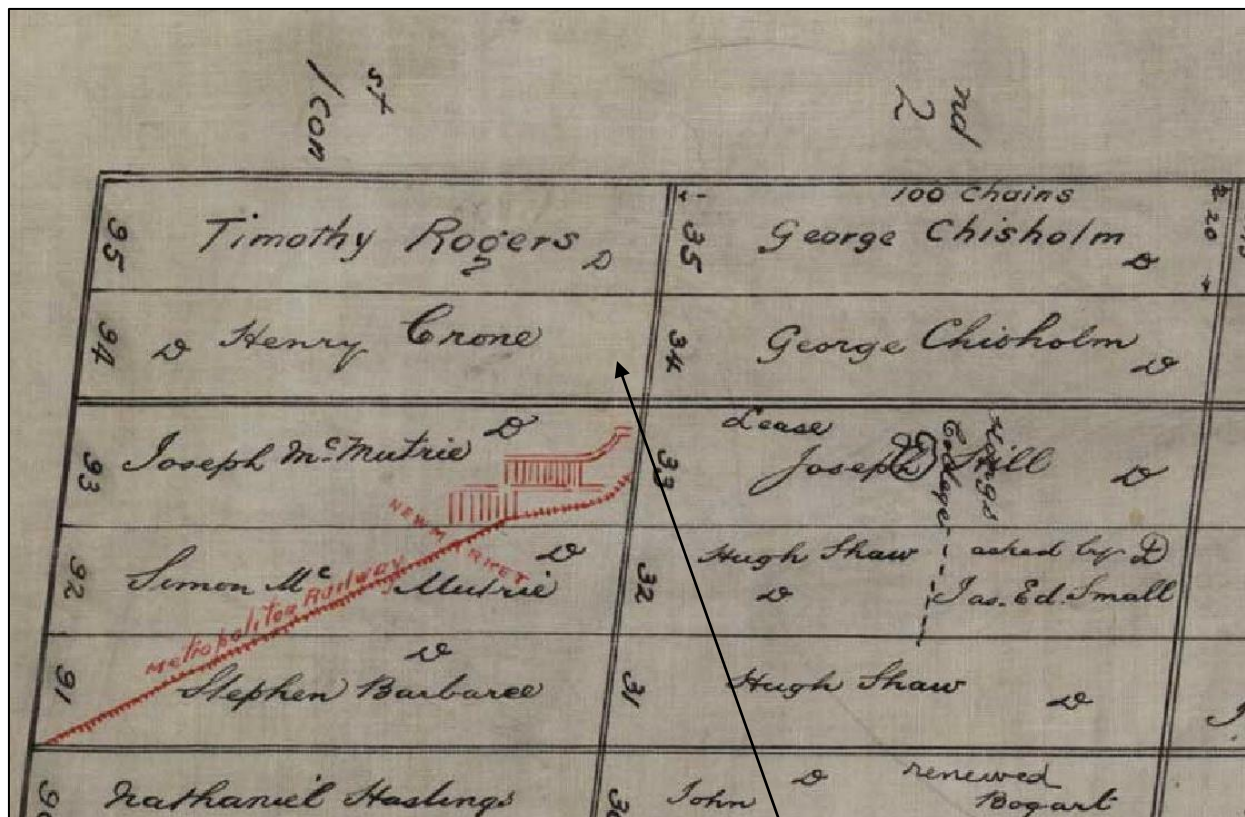
Cedar Street

View south on Cedar Street from the rear of 209 Main Street South.

East side of Cedar Street opposite the rear of 209 Main Street South.



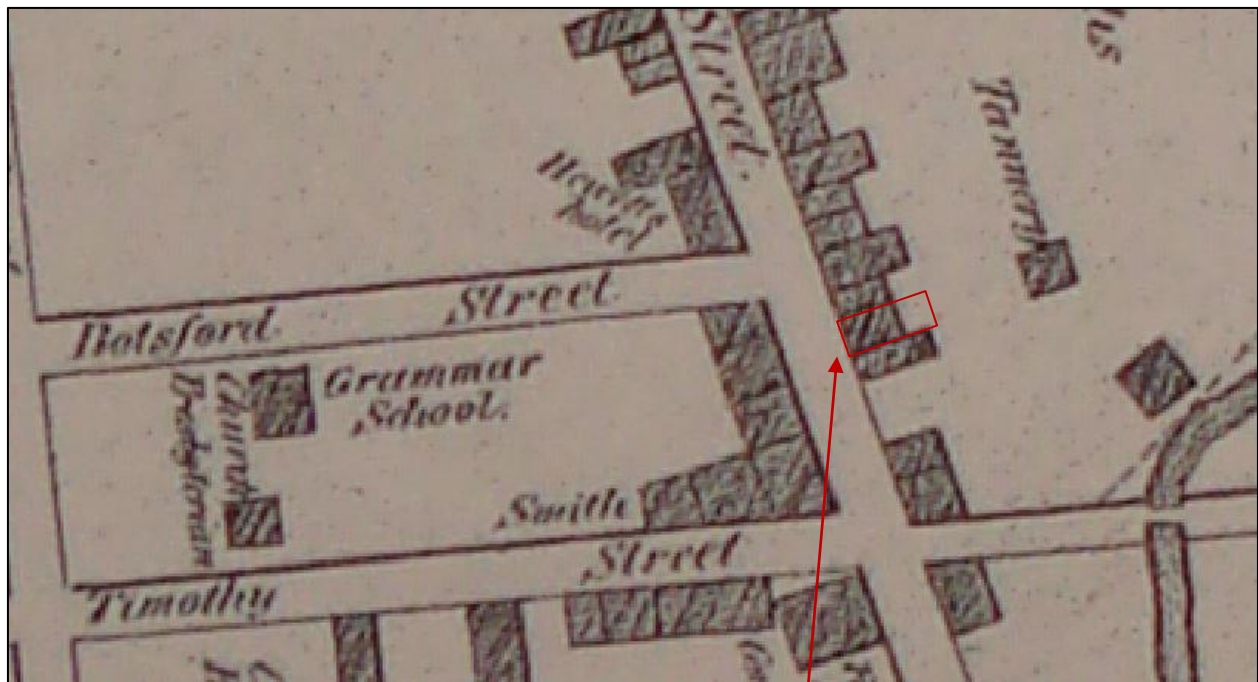
Appendix C: Maps

Patent Plan

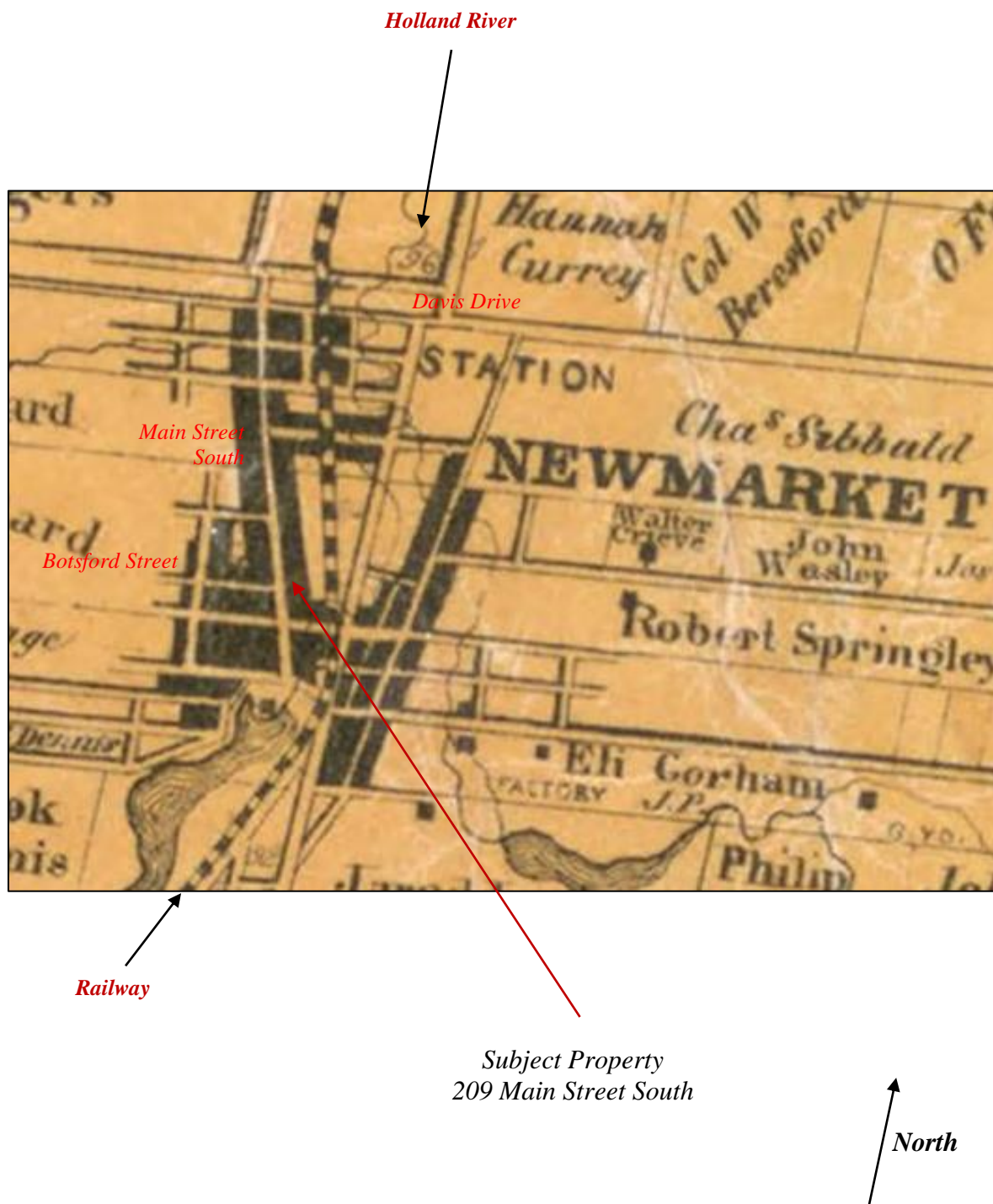
1853 – Gibbard

CONTEXT



1853 – Gibbard**DETAIL**

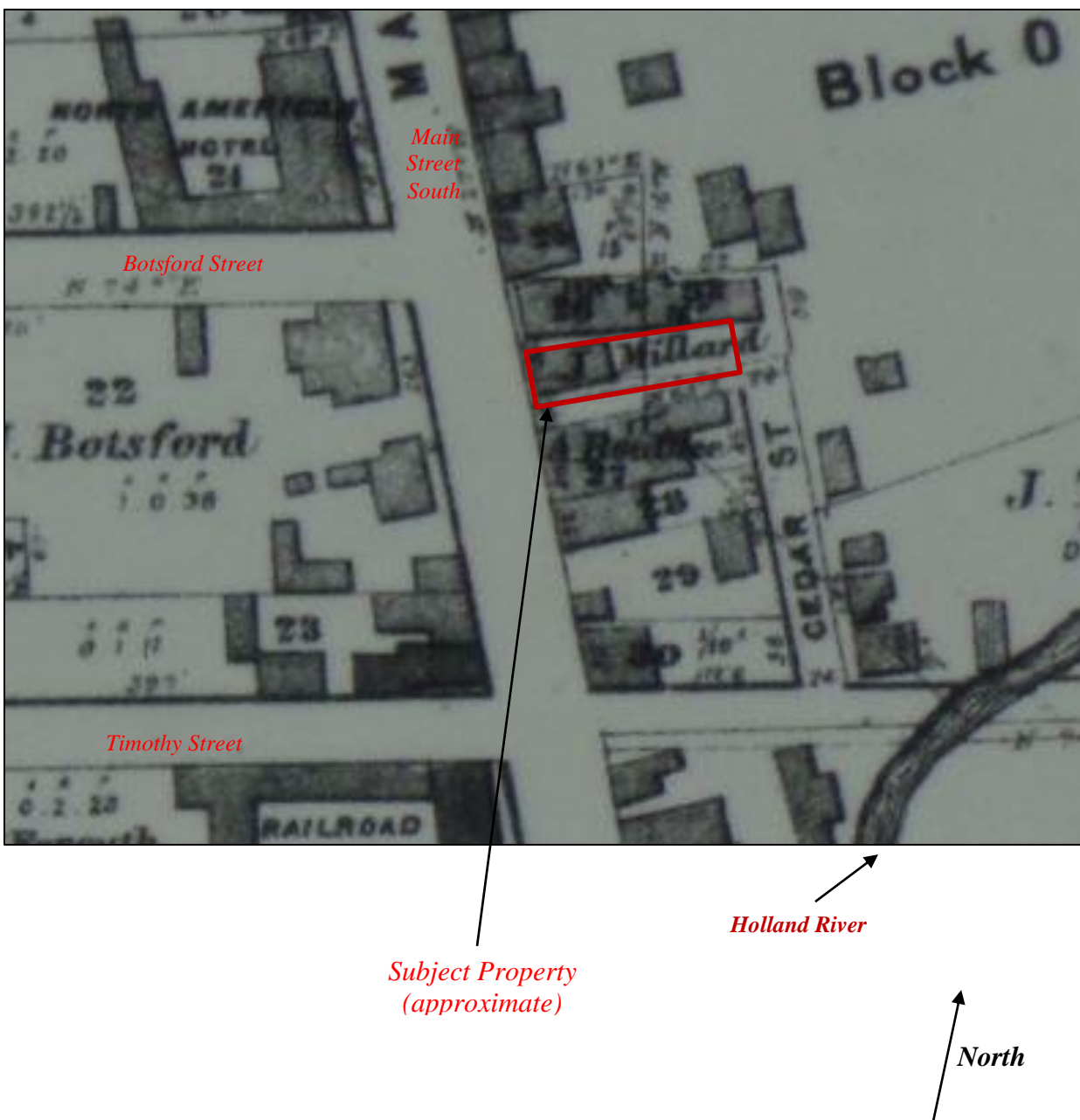
*Subject Property
(approximate)*

1860 – Tremaine**CONTEXT**

1862 – Hallen

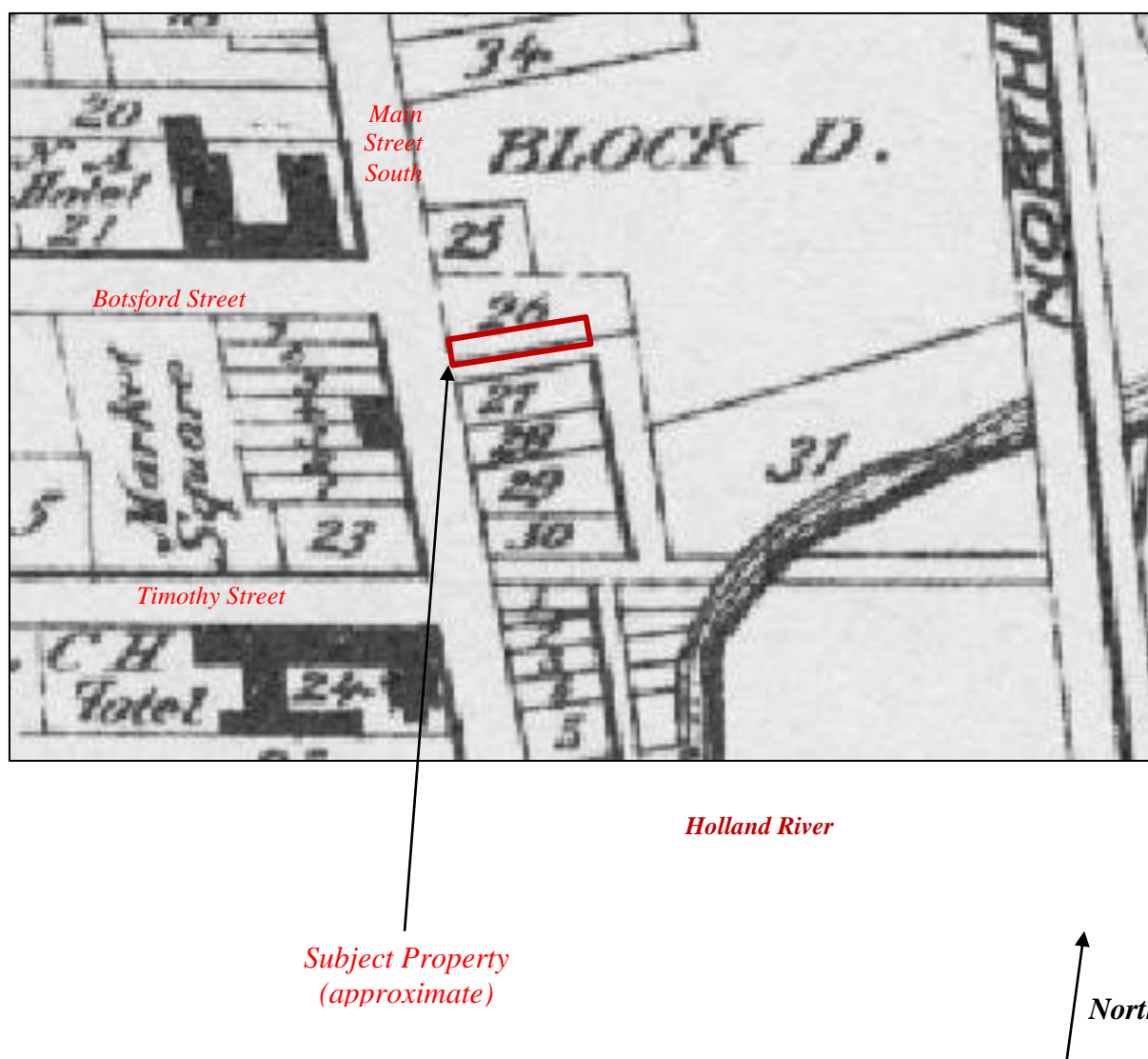
CONTEXT



1862 – Hallen**DETAIL**

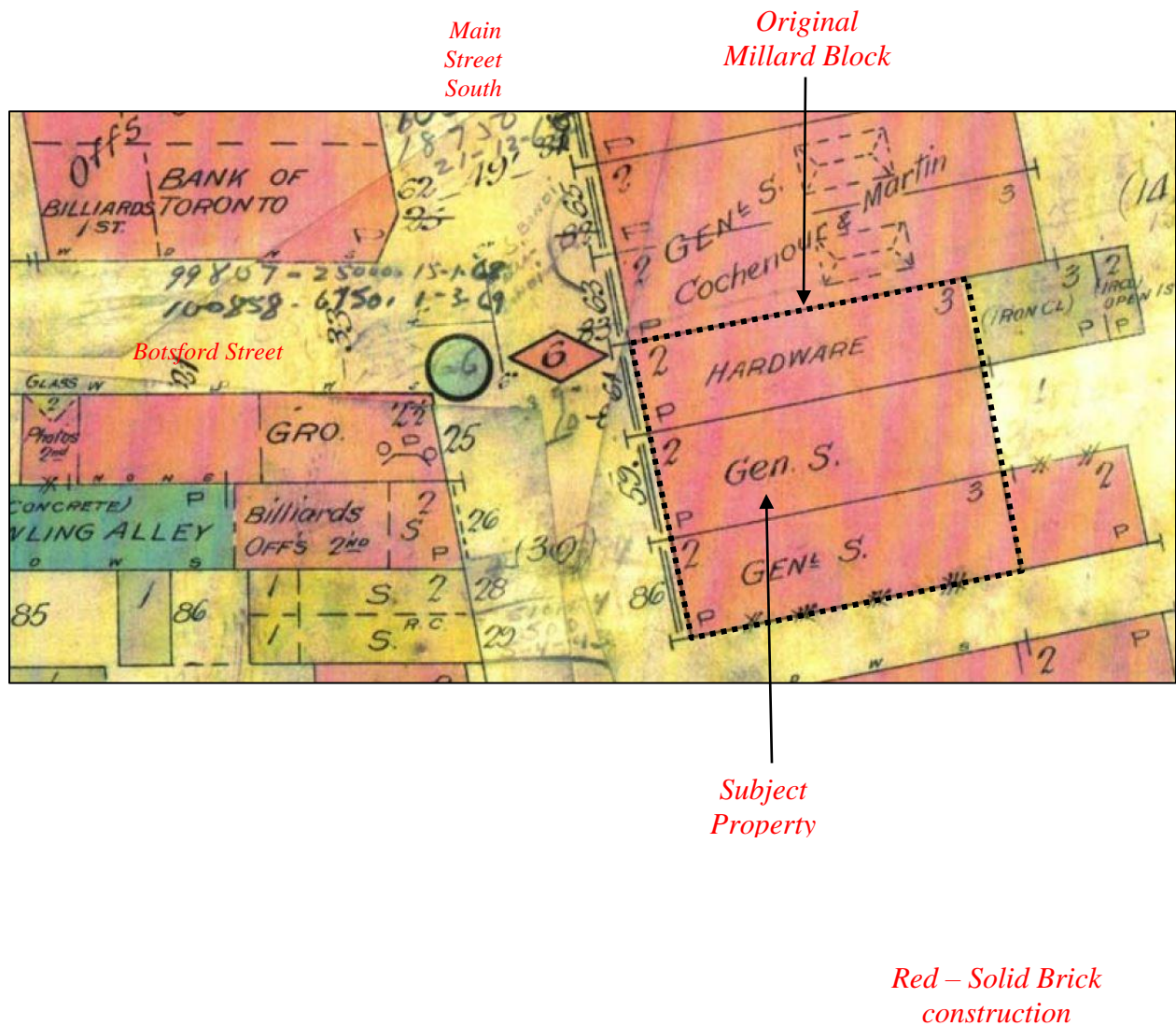
**1878 – York County Illustrated
Historical Atlas**

DETAIL



1910 – Fire Insurance Plan

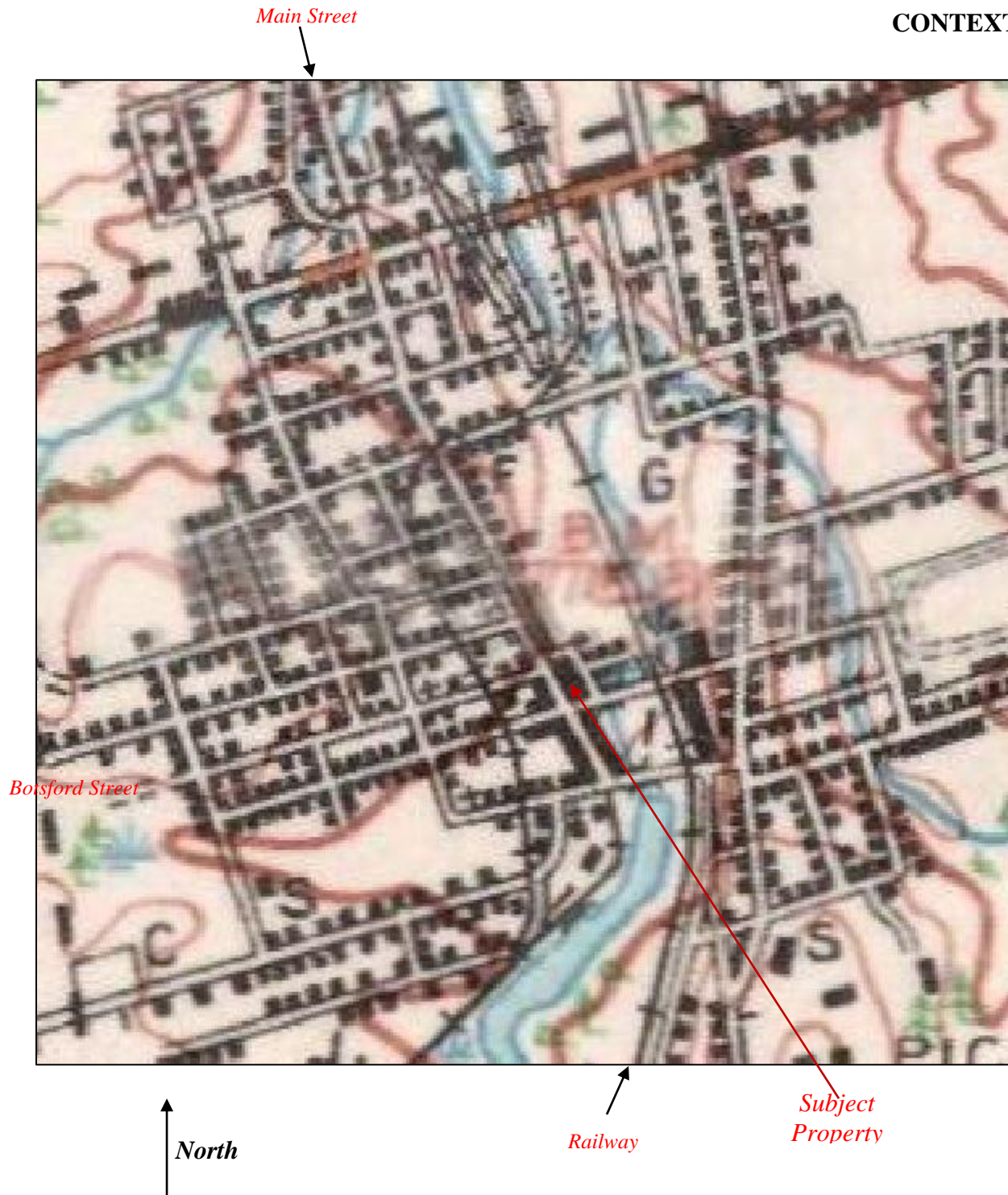
DETAIL



1928 National Topographic Map

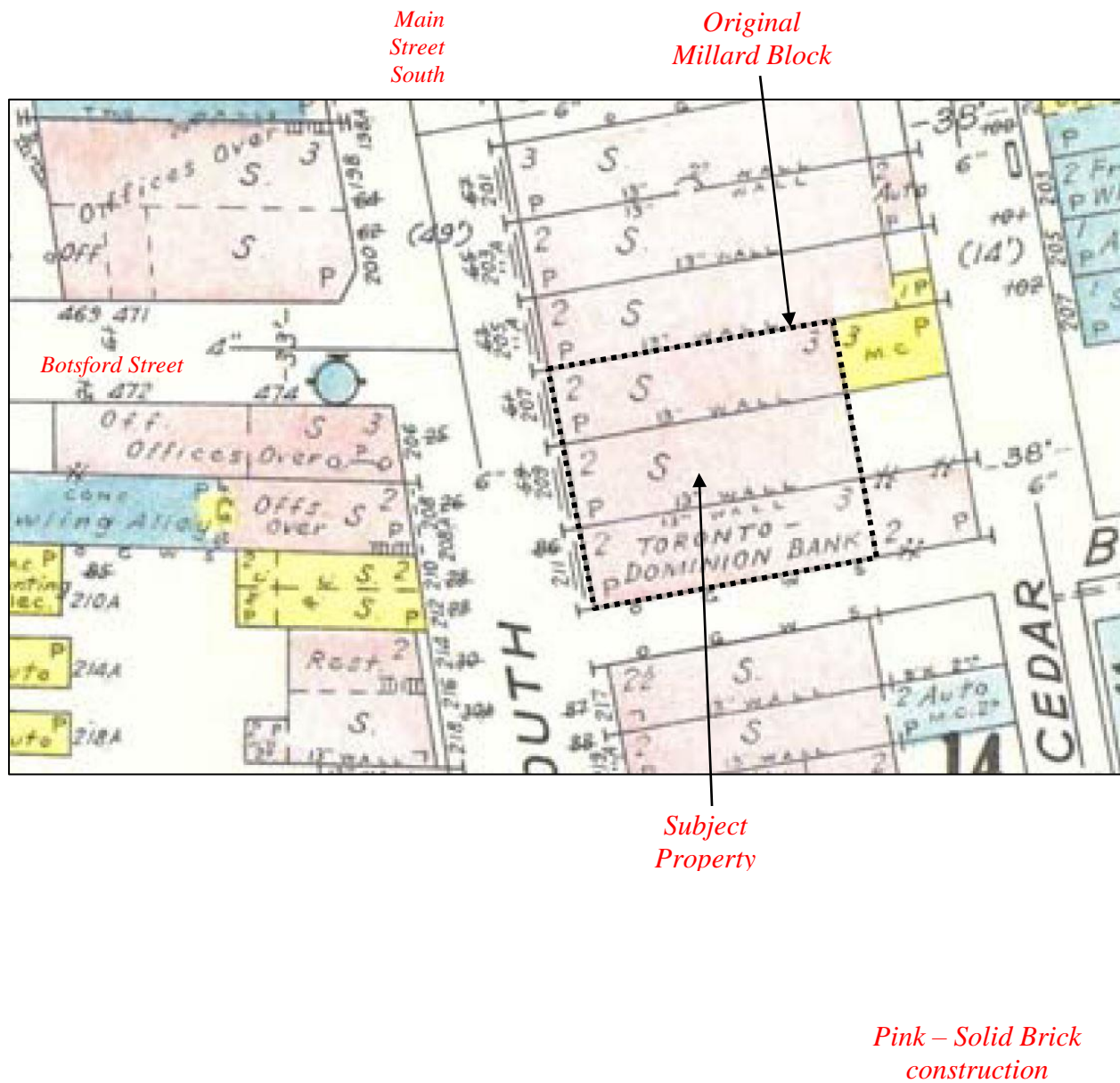
Scale 1:63,360

Contour interval – 25 feet

CONTEXT

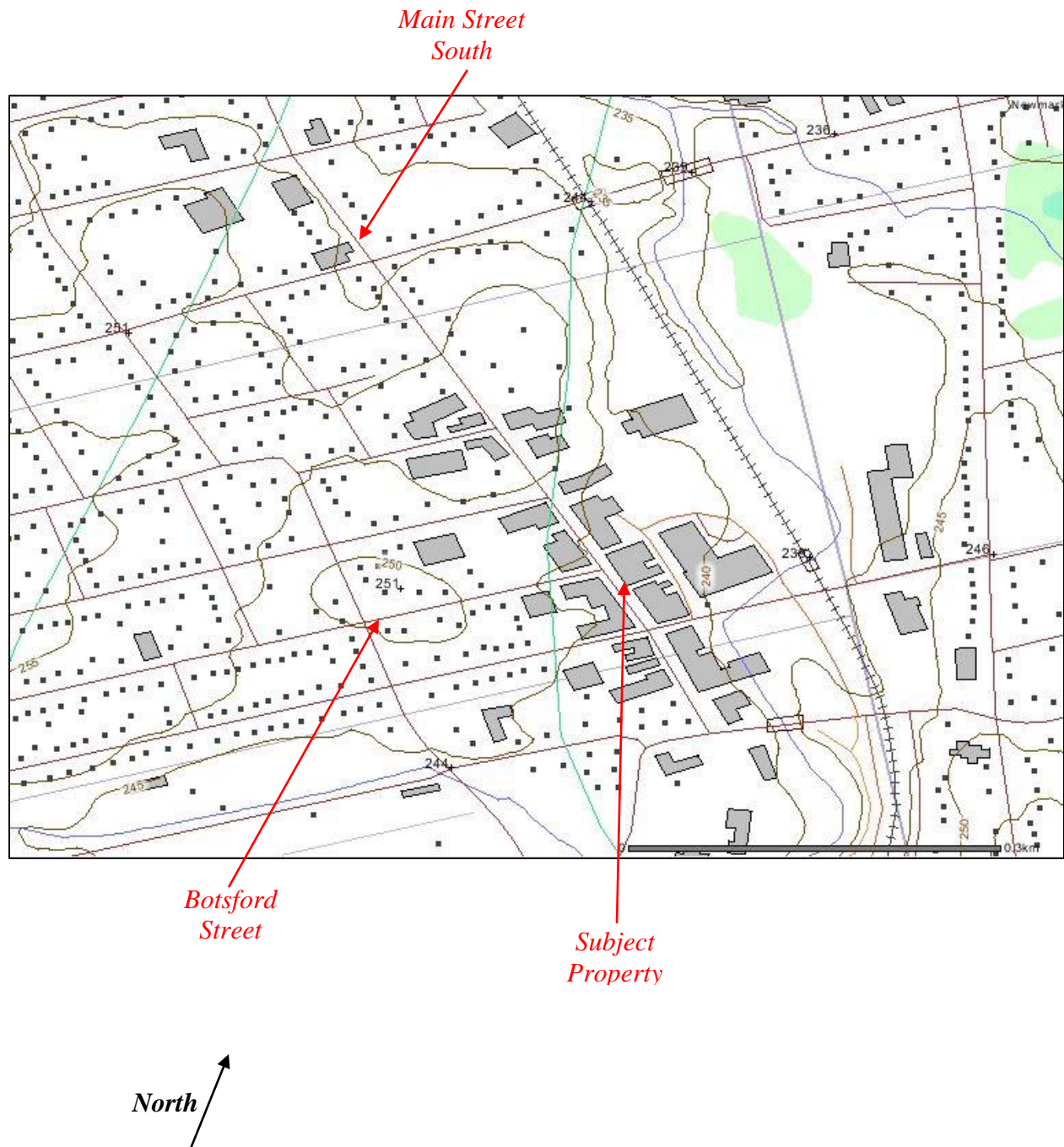
1959 – Fire Insurance Plan

DETAIL



Ontario Basic Mapping
Contour interval – 5 metres

CONTEXT



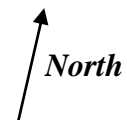
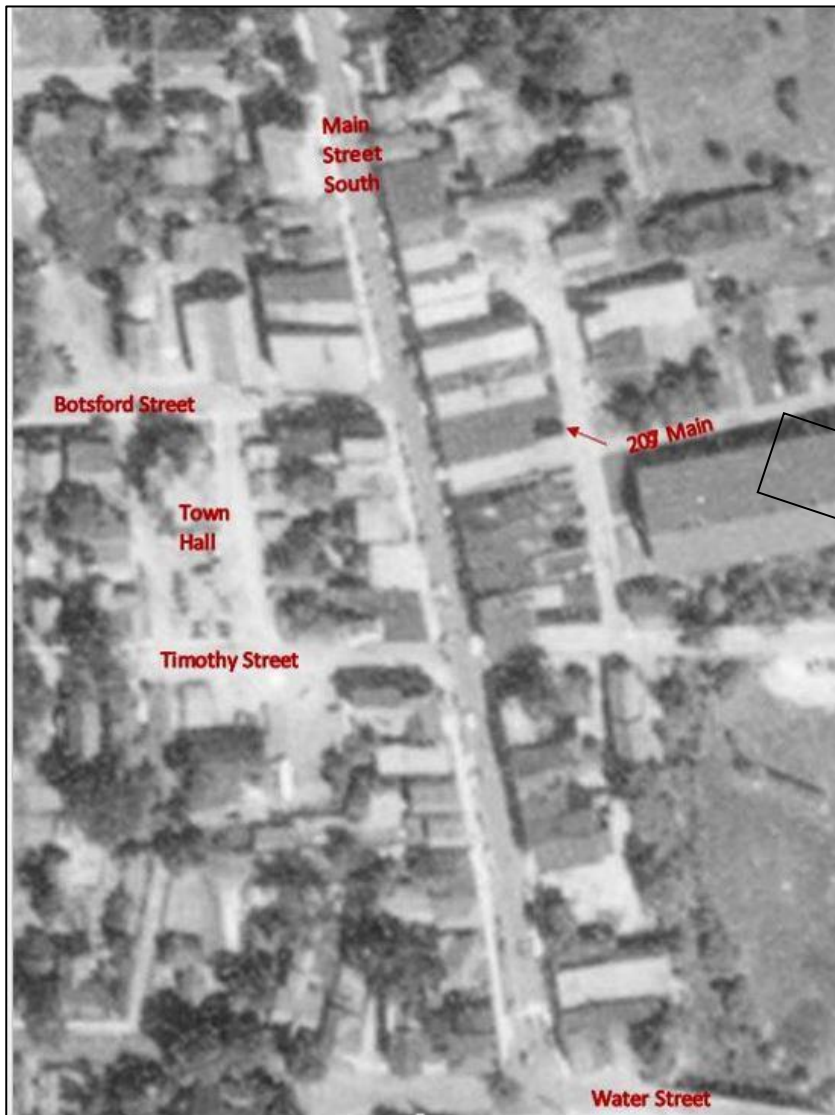
Appendix D: Aerial Photographs

1927
**Context &
Detail**



1927
Source – National Airphoto Library
Roll No. RA45-050

1946
**Context &
Detail**



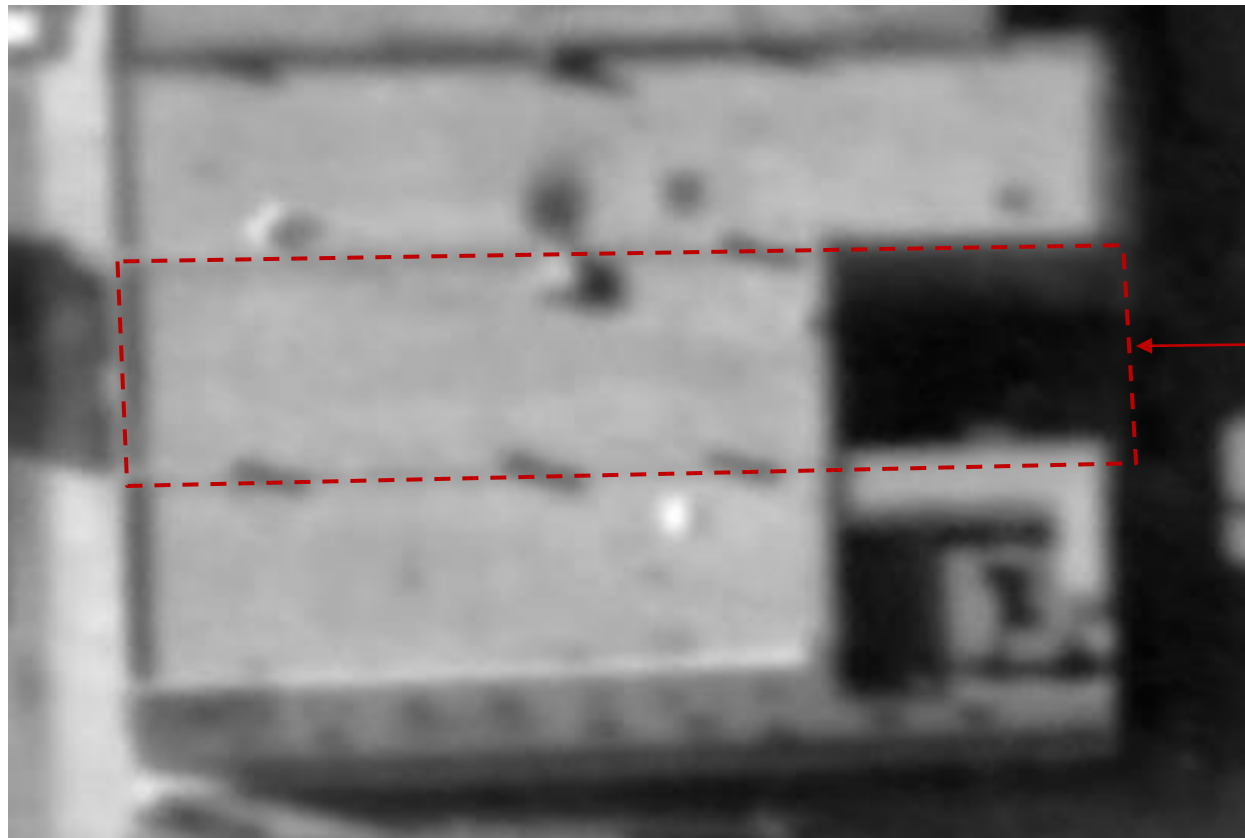
1946
Source – National Airphoto Library
Roll No. A10077-045

*1970
 Context &
 Detail*



North

***1970
Millard Block***

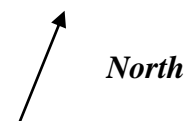
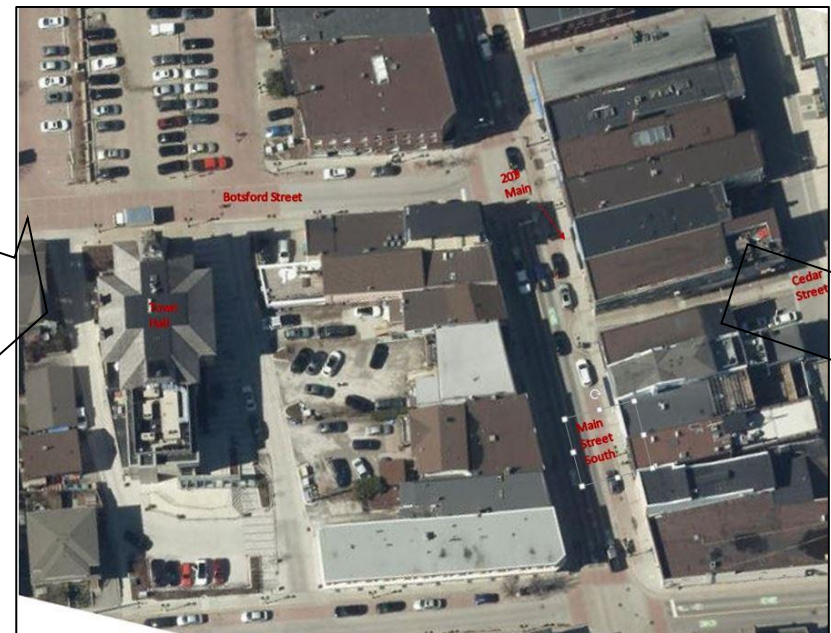


***209 Main Street
South***

North

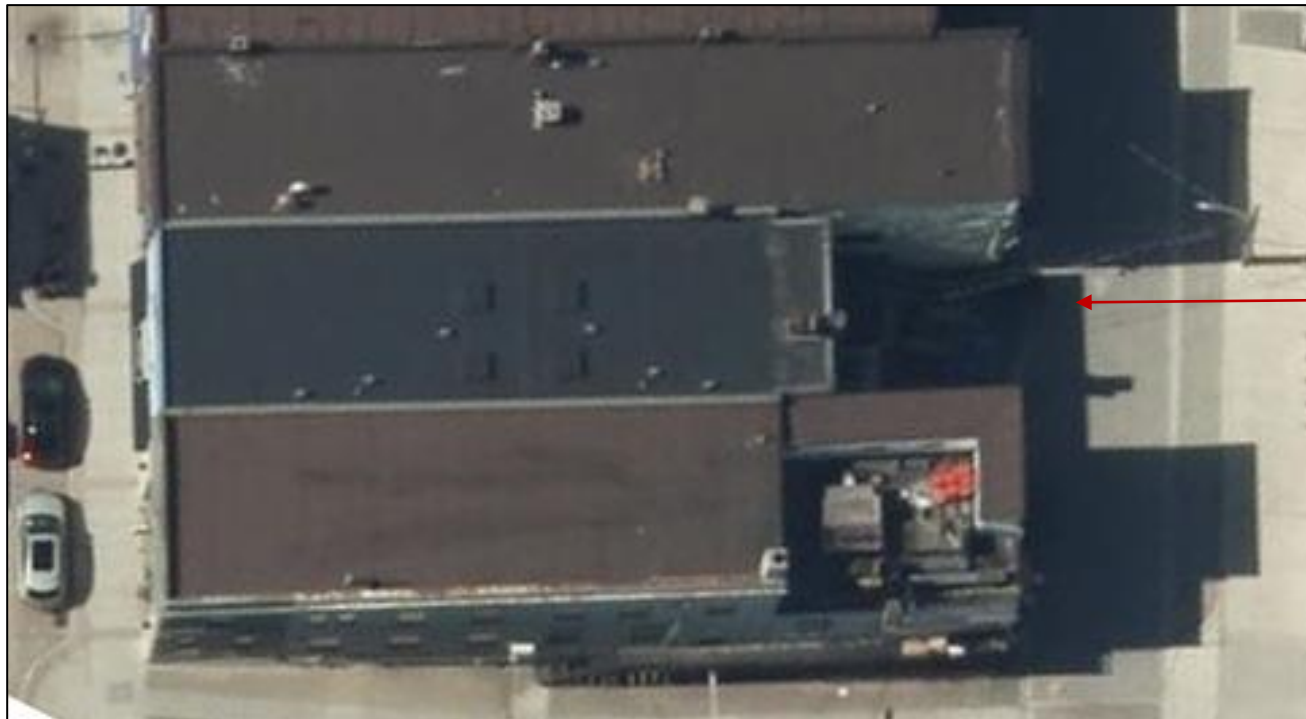
***1970
Source – YorkMaps***

2018
*Context &
 Detail*

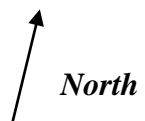


2018
 Source – YorkMaps

***2018
Millard Block***



***209 Main Street
South***

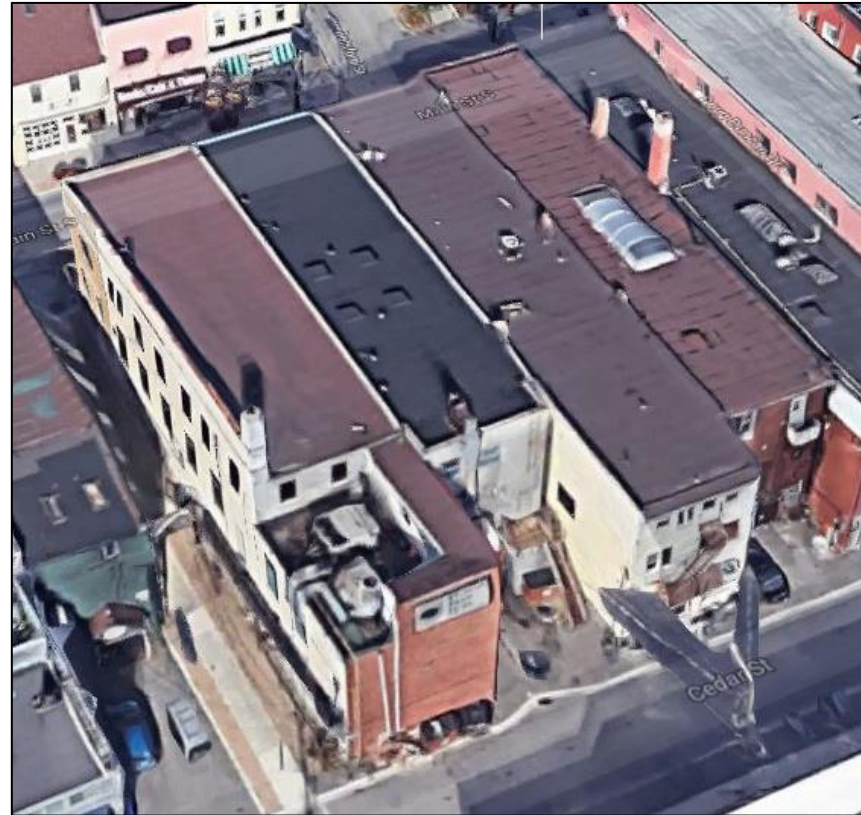


***2018
Source – YorkMaps***

**2018
Millard Block,
3D Views**



From Main Street South looking east.

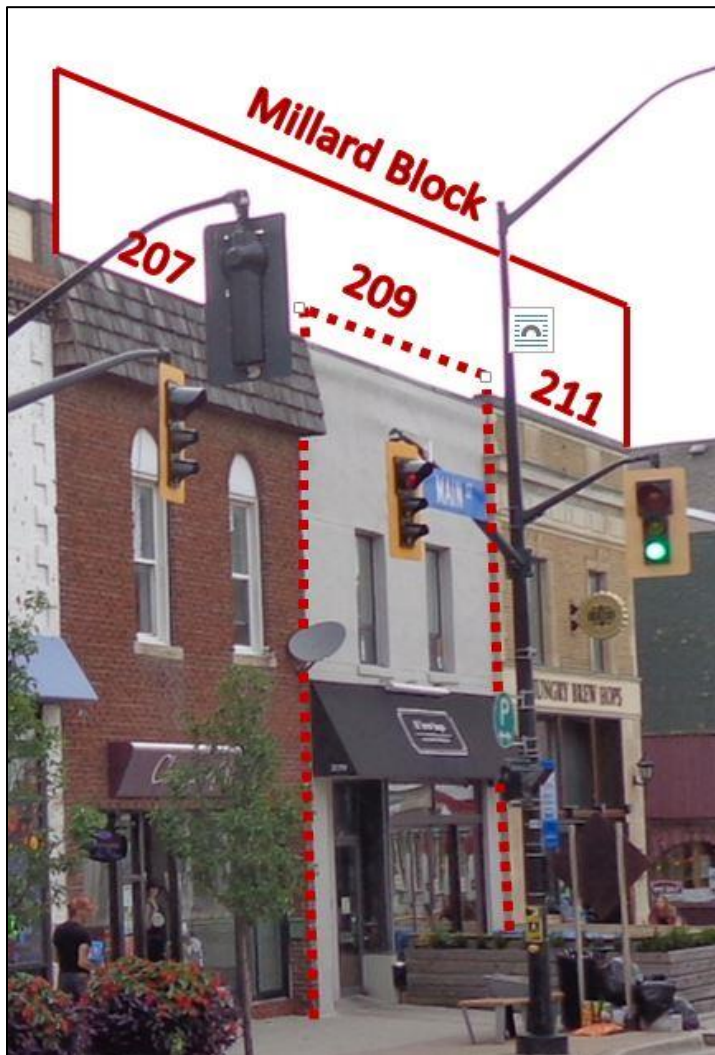


From Cedar Street looking northwest.

Source: Google Maps.

**Appendix E: 209 Main Street South
Exterior Photographs**

Main Street South Elevation



Millard Block from
the northeast.

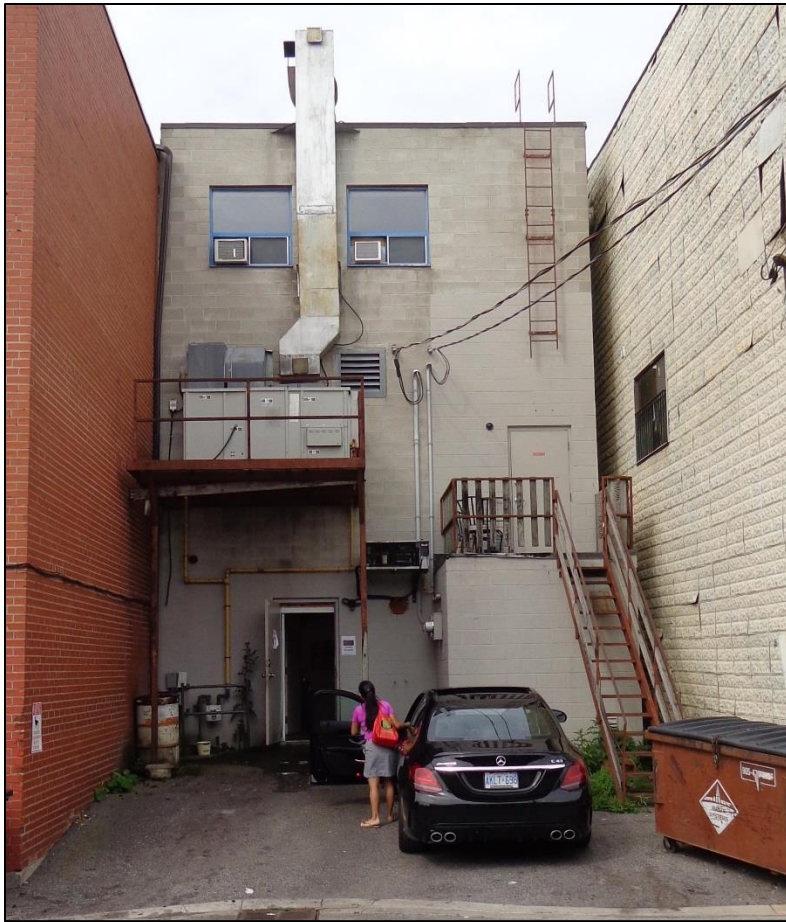
Millard Block,
209 Main St. S. in context.



Main Street South Elevation

209 Main Street South, West Elevation

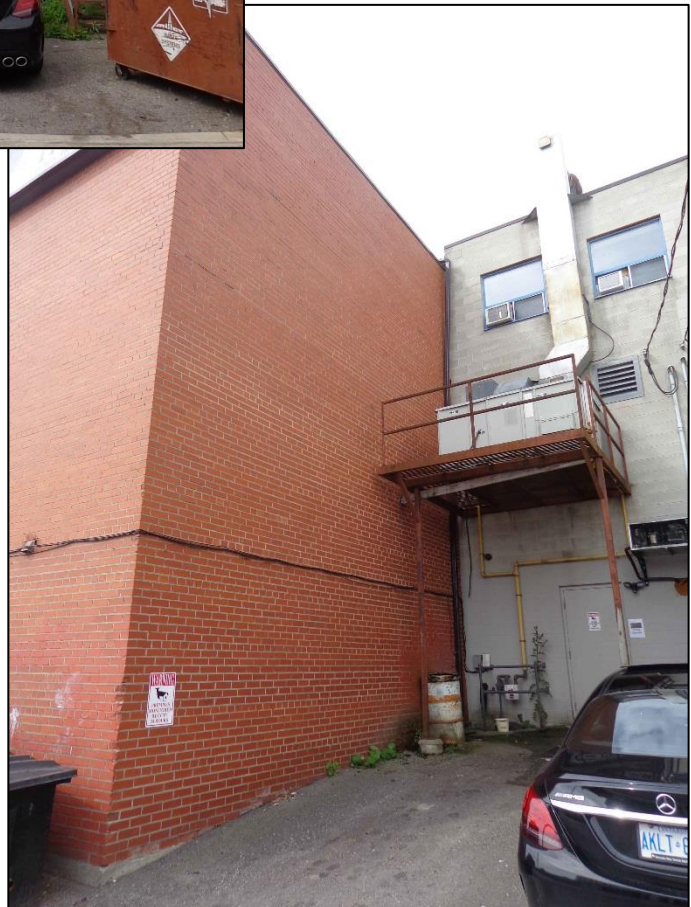




**Cedar Street
Elevation**

209 Main Street South,
East Elevation

211 Main Street South, North
Elevation and part of 209 Main
Street South, East Elevation



Cedar Street Elevation



Reveal between 209 and 207
 Main Street South, East
 Elevation

207 Main Street South, South
 Elevation and part of 209 Main
 Street South, East Elevation



**Appendix F: 209 Main Street South –
Floor Plans**

2019

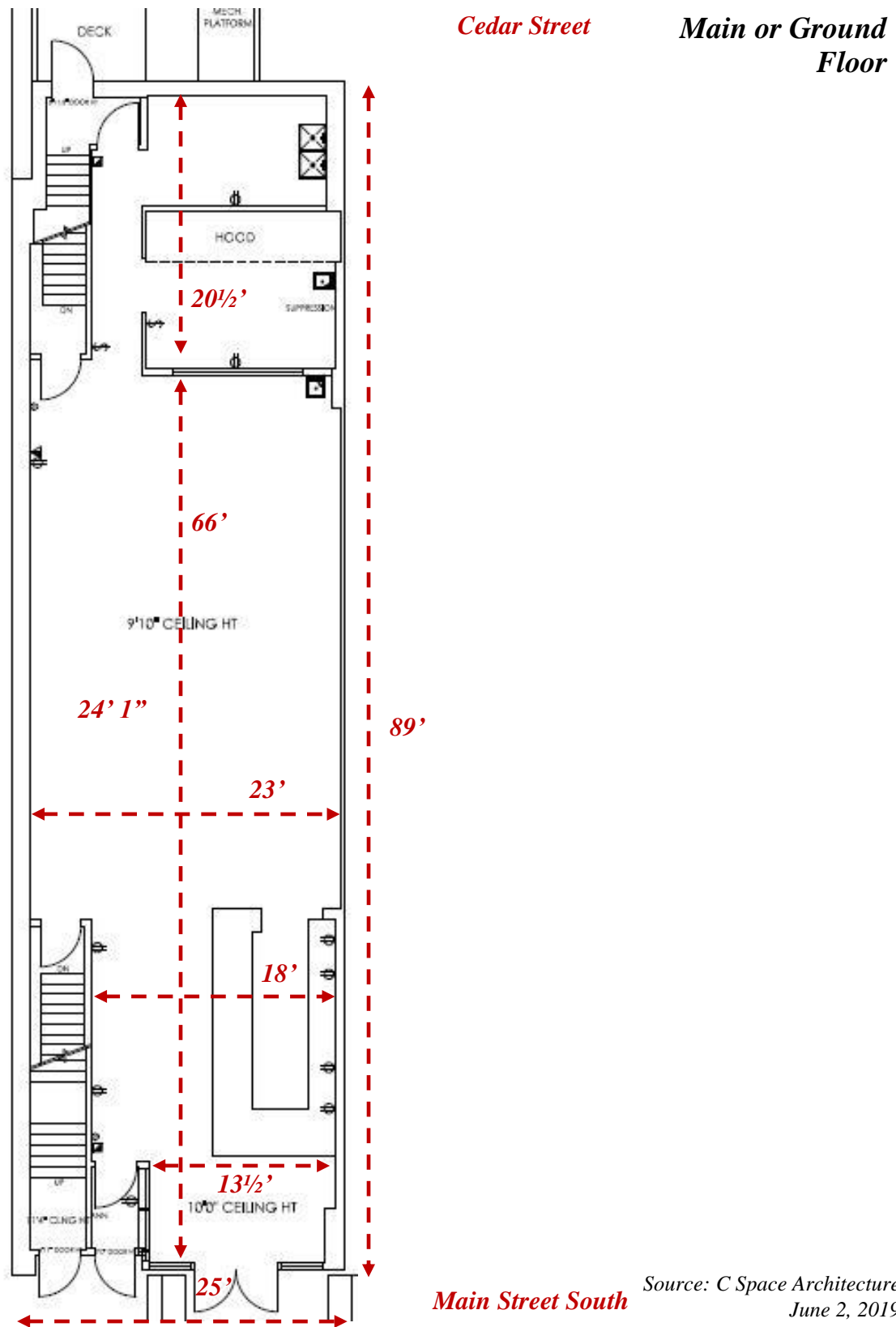


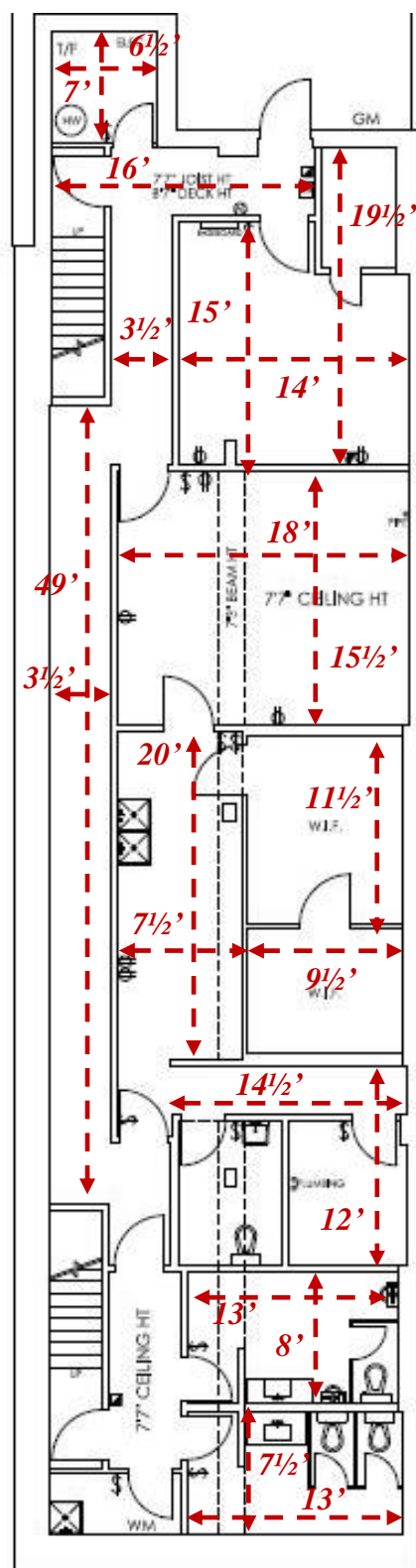
Aerial Photograph – Roof Plan

North

South

Source – Yorkmaps, 2019

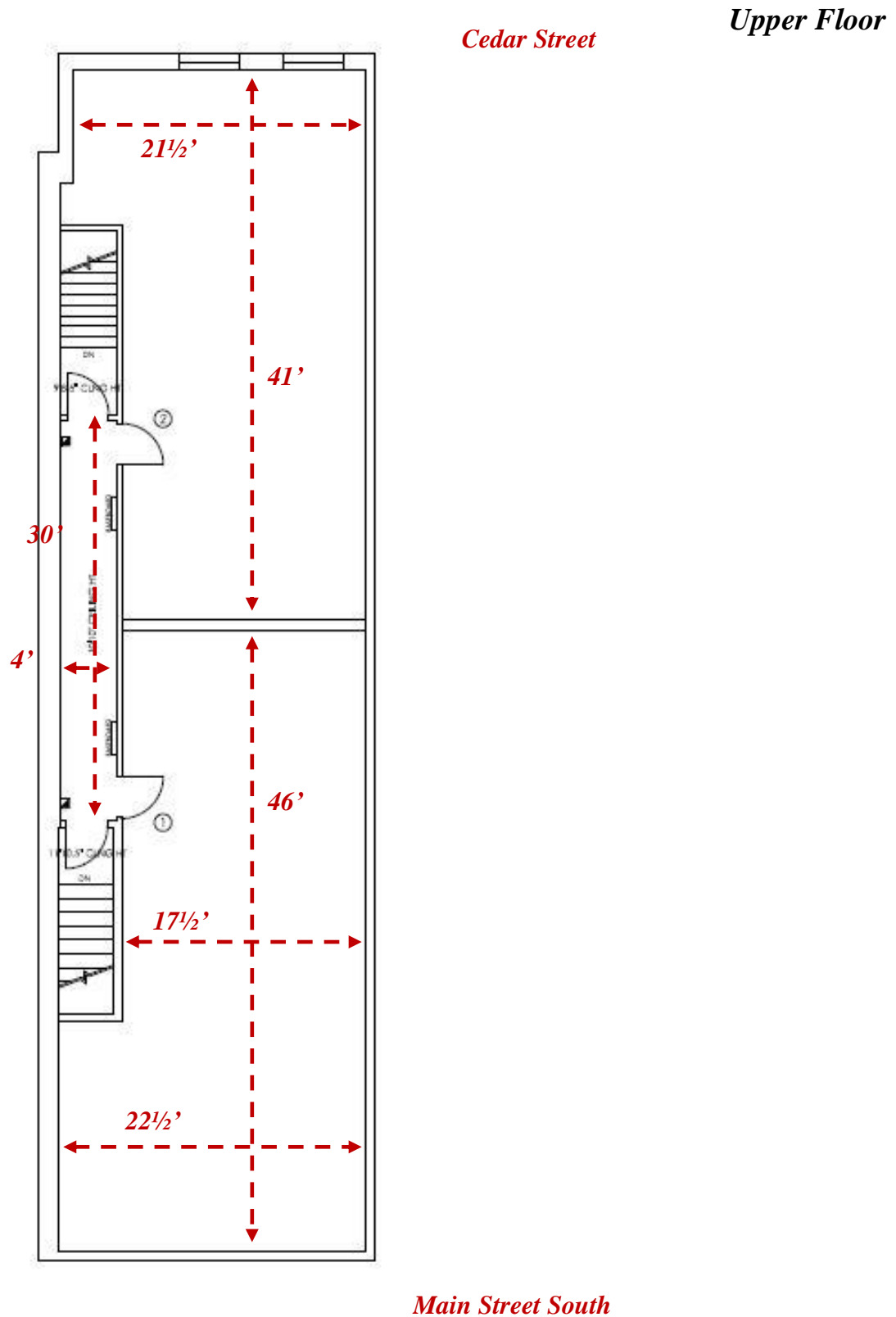




Cedar Street

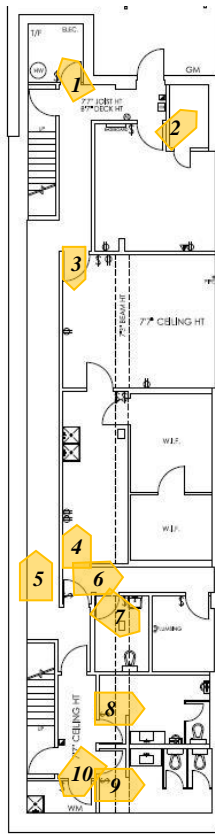
Basement

Main Street South

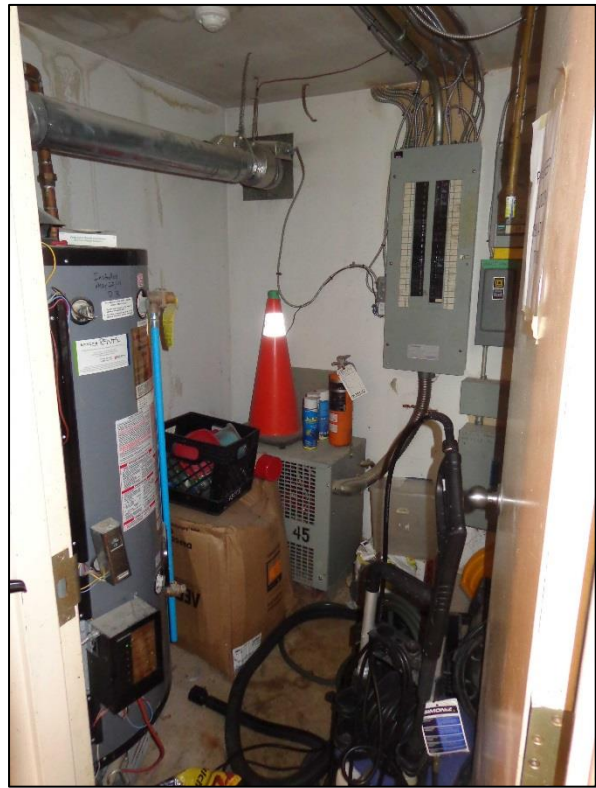


Appendix G: 209 Main Street South - Interior Photographs

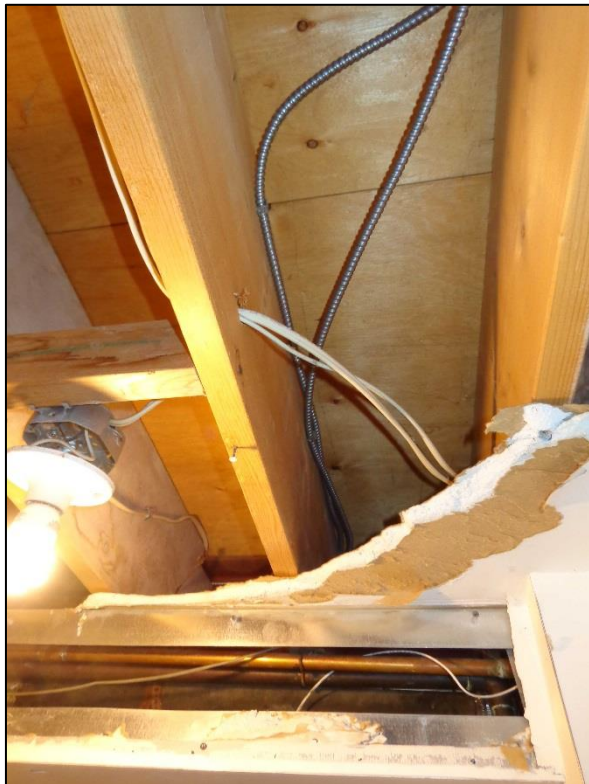
Basement



Basement Floor Plan –
Photograph locations



1. Mechanical Room –
View East



2. New addition – Ceiling Joists and
Flooring above.

Basement

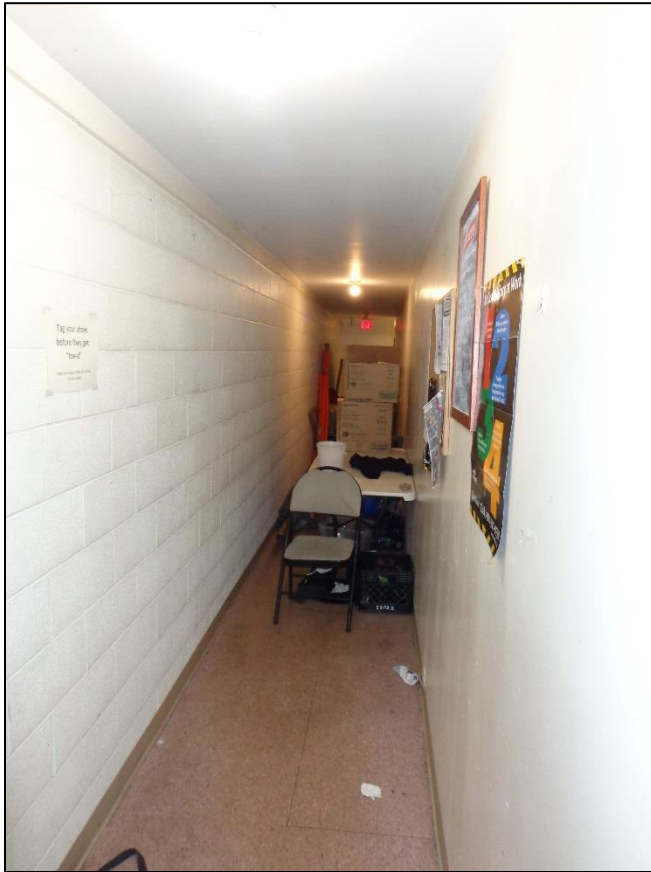


3. East Centre Room – Looking West.

4. West Centre Room – Looking East; Walk-in Refrigeration on Right.



Basement



6. Main Hallway – View East.

5. Hallway next to staff washrooms – View South.



Basement



8. Staff Washrooms – View West.

7. Public Washrooms (Male) – View South.



Basement



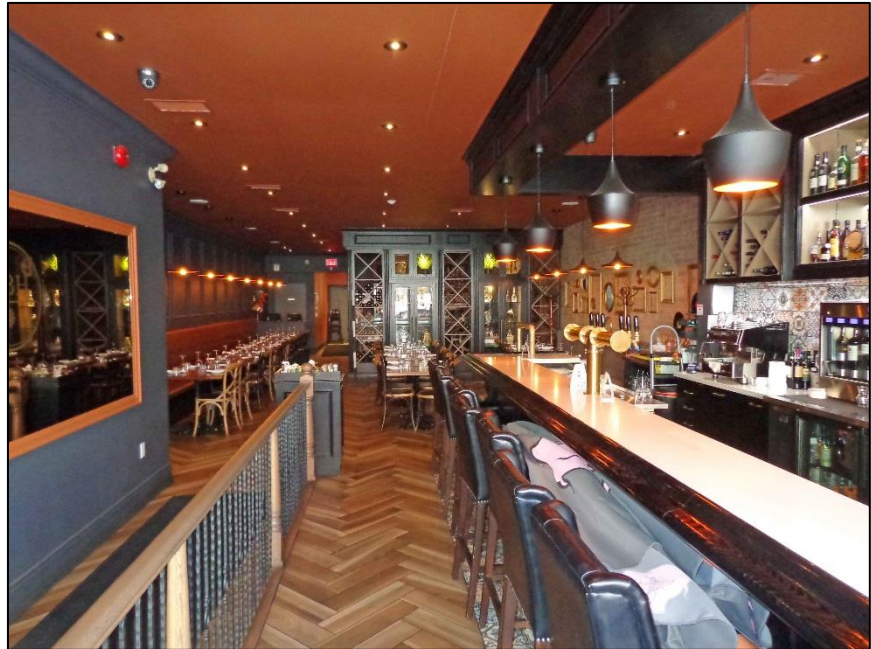
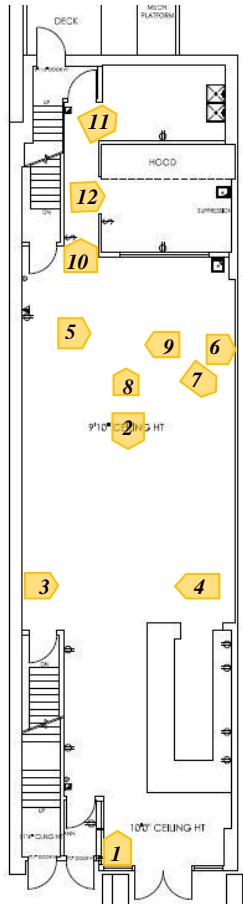
10. Public Washrooms (Female) –
View South and West.

9. Janitor's Room – View
West and North.

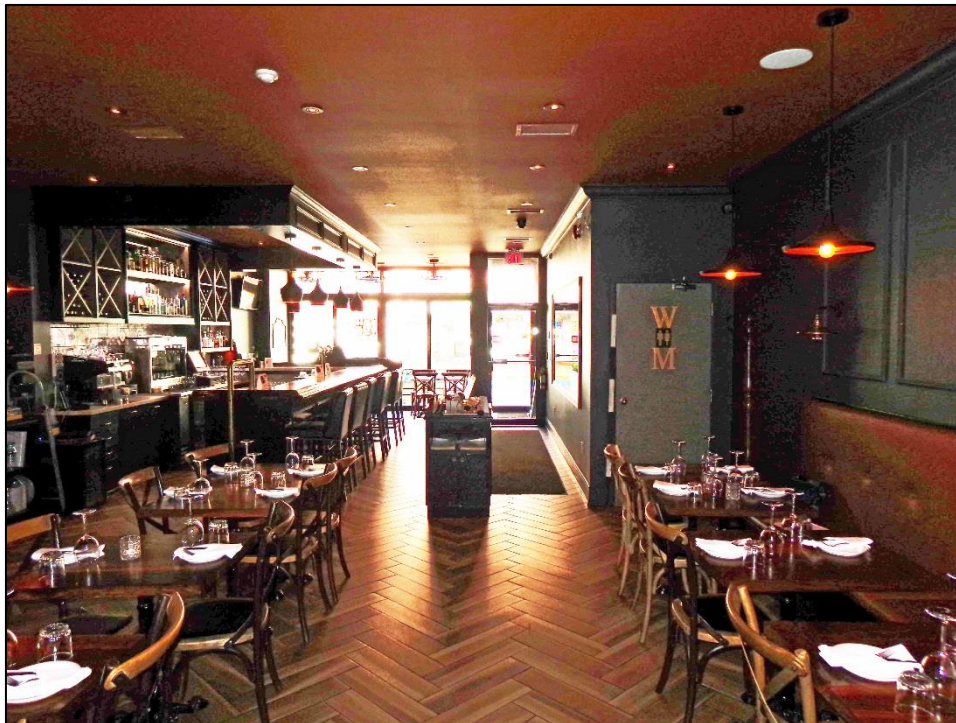


Ground Floor

Ground Floor Plan –
Photograph locations



1. Main Dining Area – View East from Front Entrance.



2. Main Dining Area
– View West
from rear of
Dining Area.

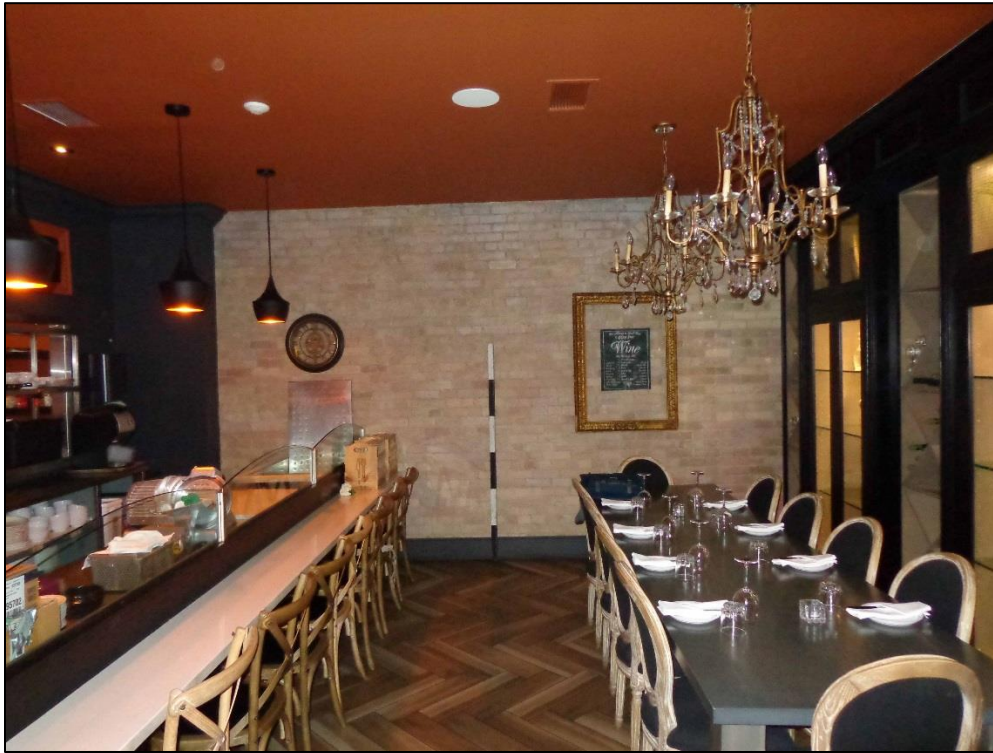
Ground Floor



3. Main Dining Area – South Wall.

4. Main Dining Area – North Wall.





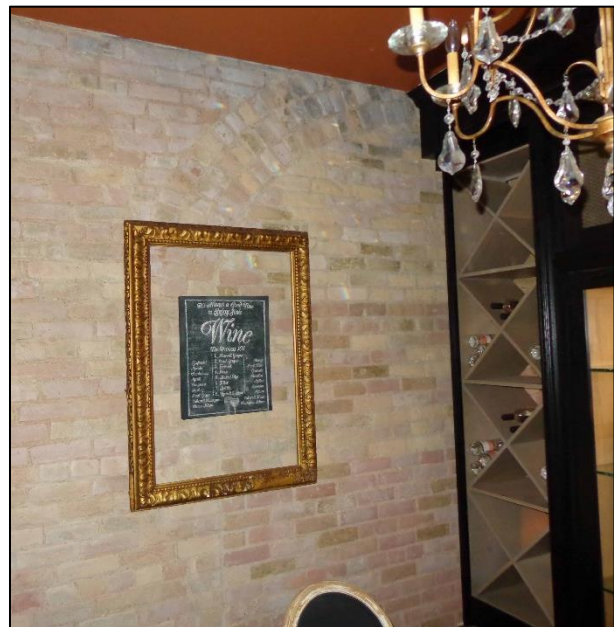
Ground Floor

5. Rear Dining Area – South Wall.

6. Rear Dining Area – South Wall, Arch
Brickwork detail.



7. Rear Dining Area – South Wall,
Arch in Brickwork.





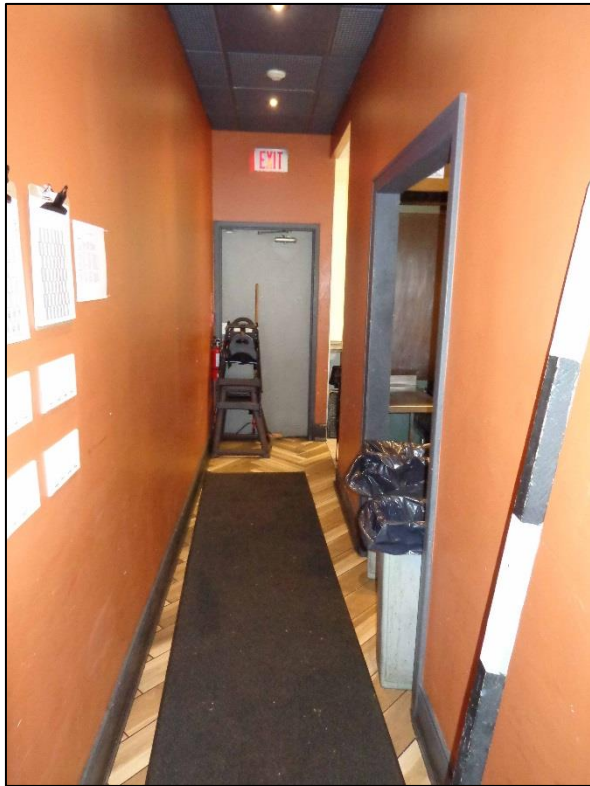
Ground Floor

8. Rear Dining Area –View East.

9. Rear Dining Area – North Wall.



Ground Floor



10. Rear Hall next to Kitchen
– Looking South.

11. Rear Clean-Up Area –
Looking East and South.



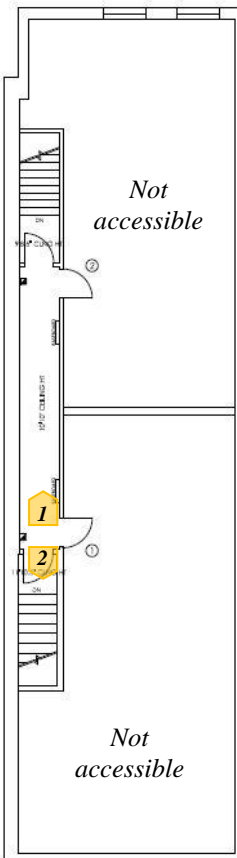
Ground Floor

12. Rear Kitchen – Looking South.



Upper Floor

Upper Floor Plan –
Photograph locations

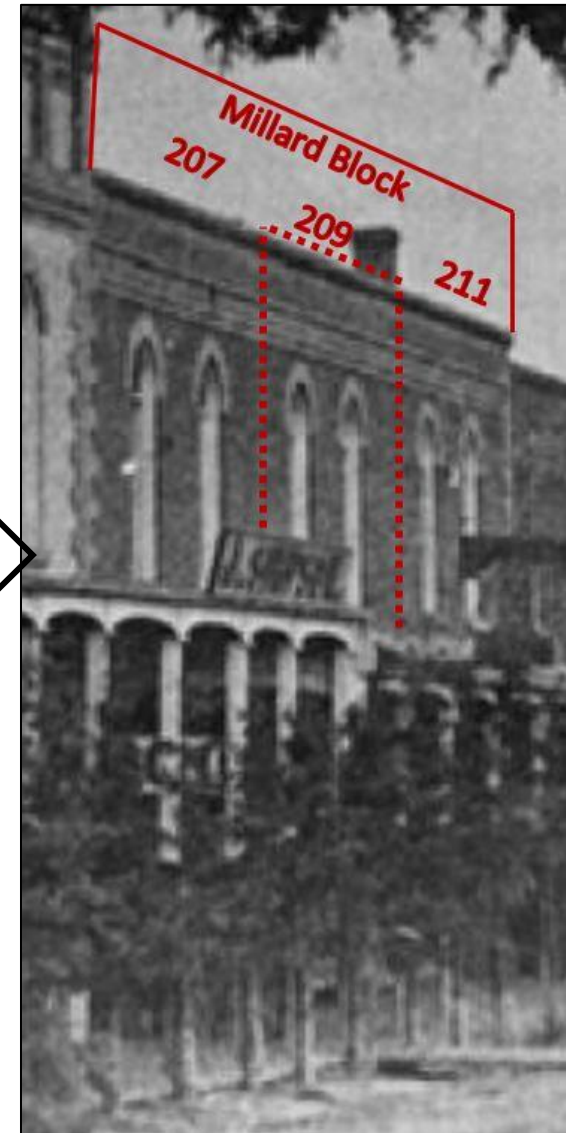
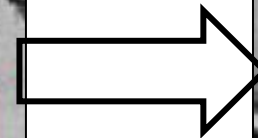
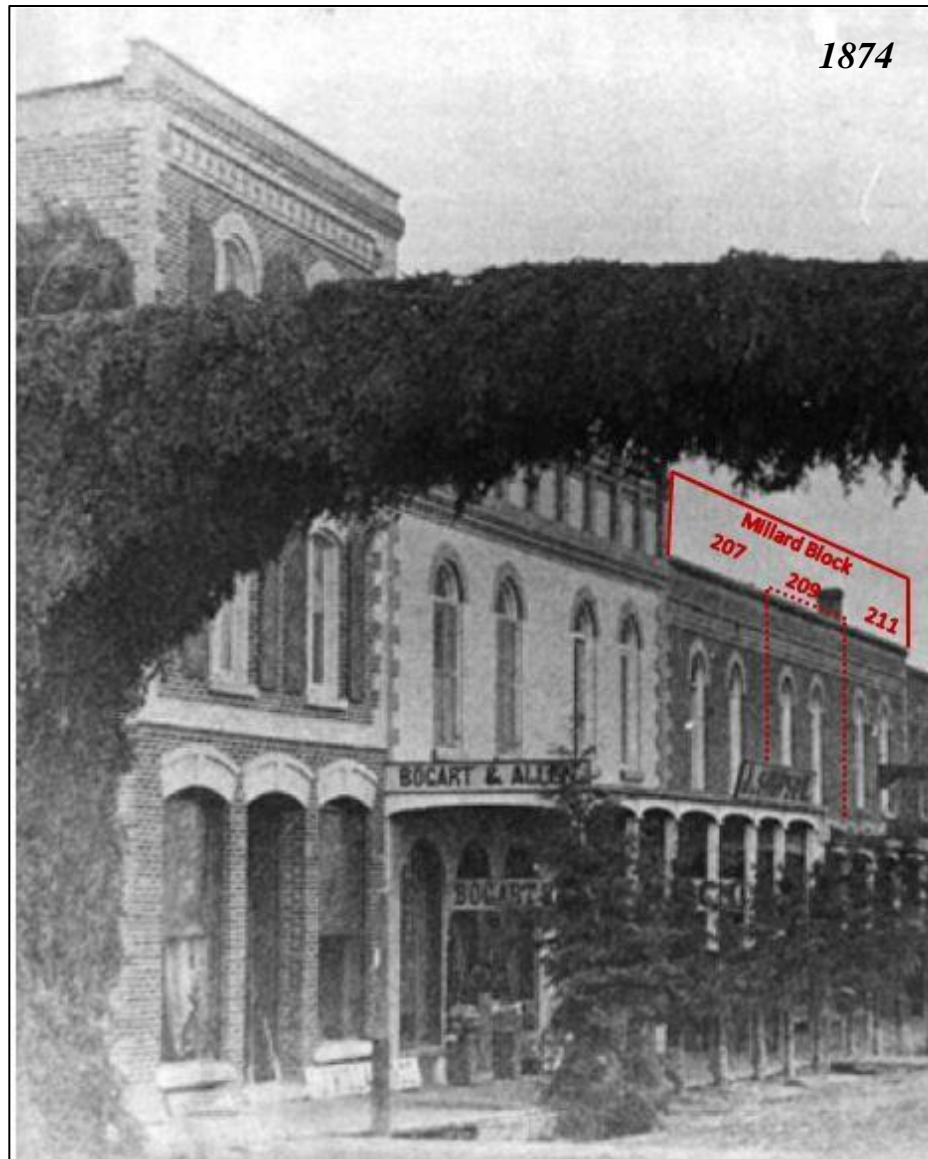


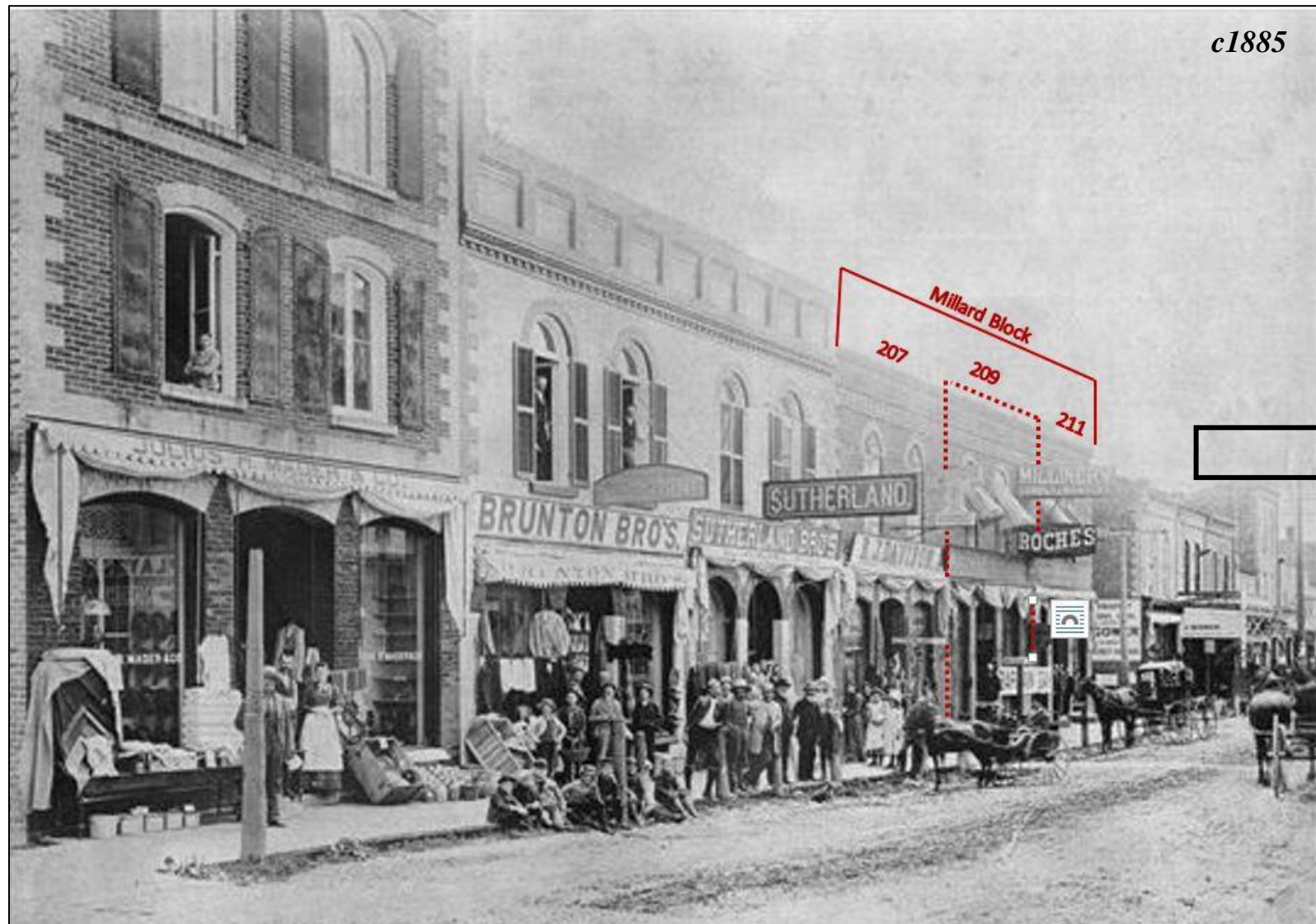
2. Side Hall – View East.

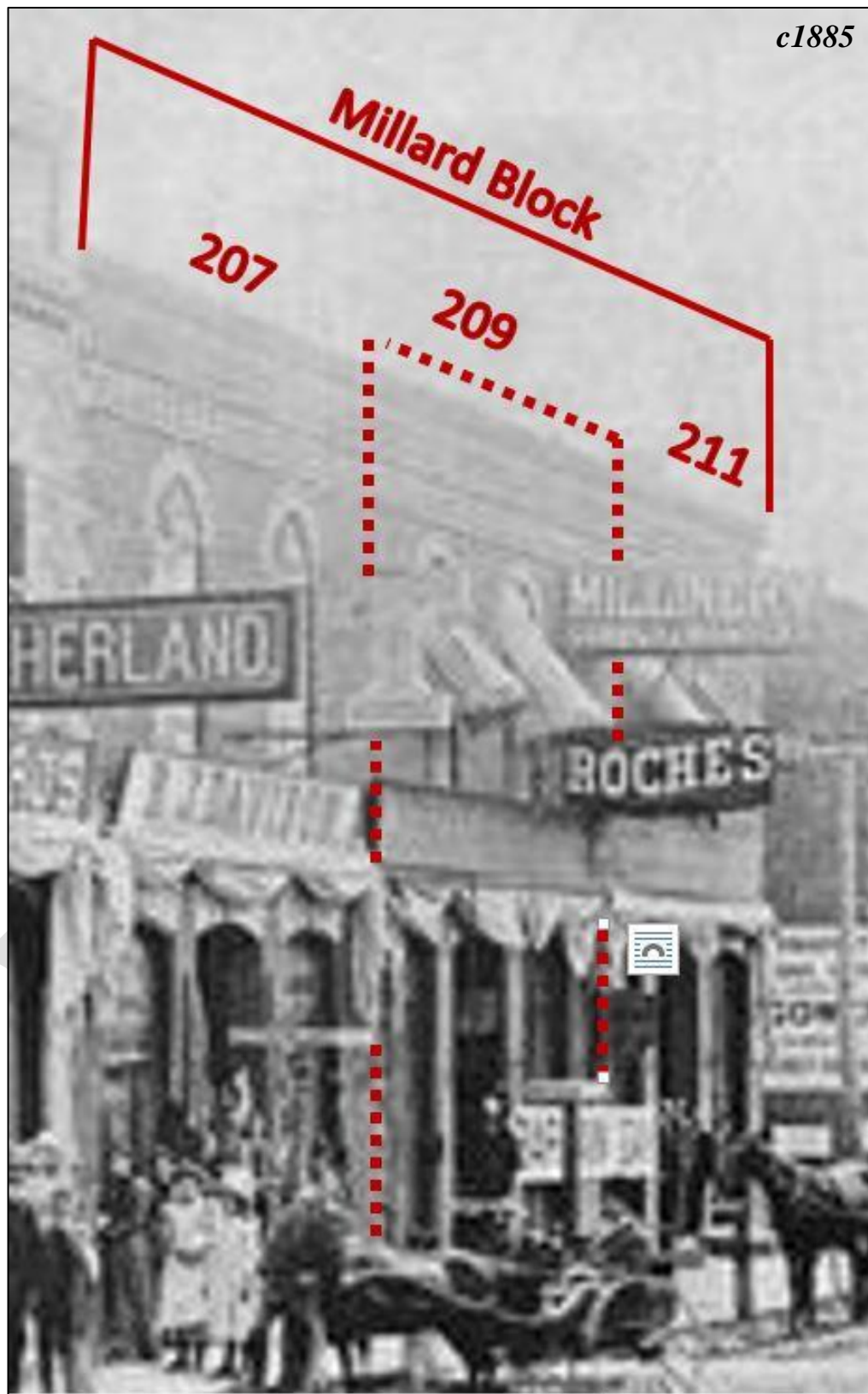


1. Staircase – View West
down to Main Street.

**Appendix H: 209 Main Street South and Area
Historic Photographs and Plans**

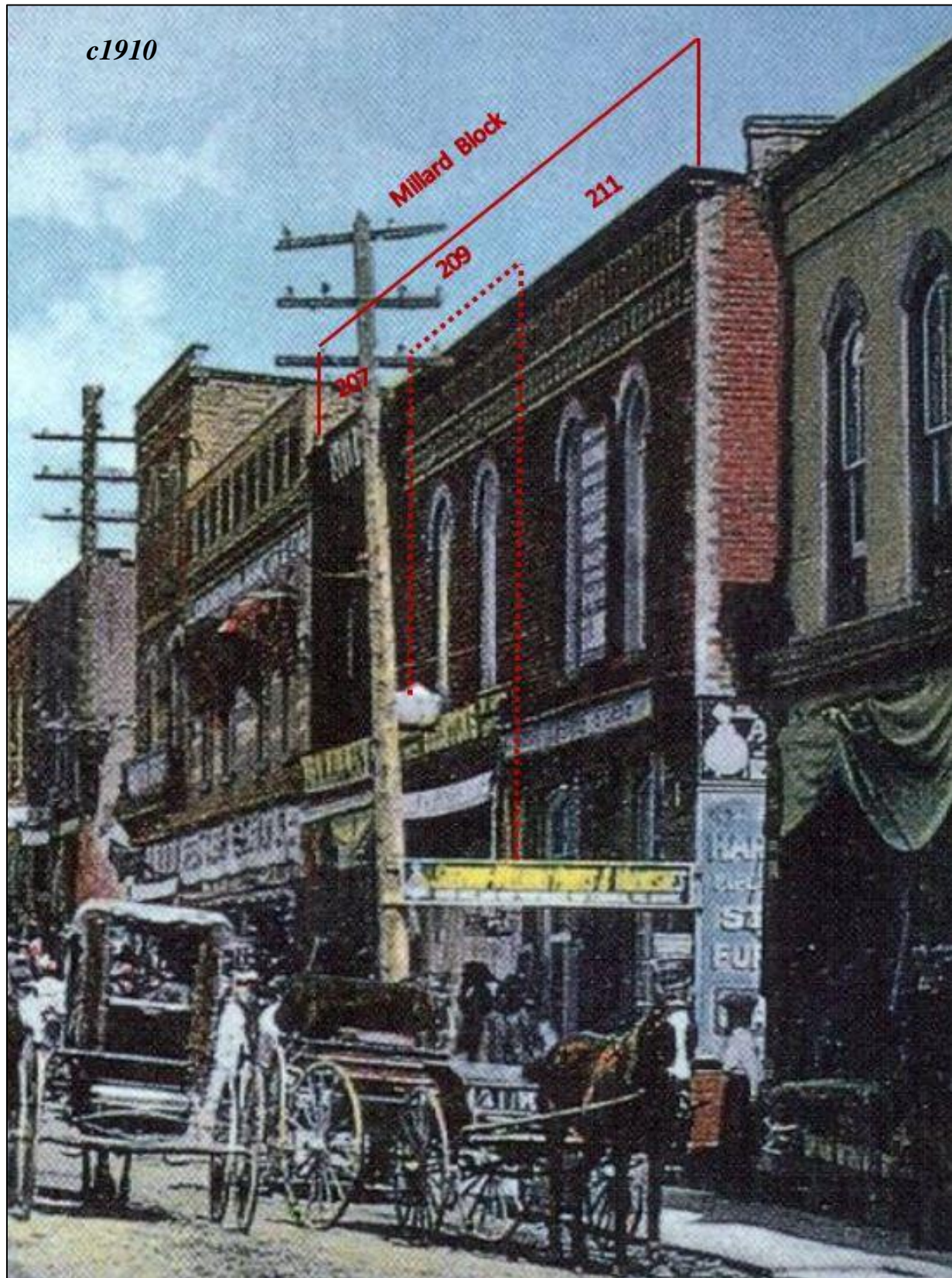








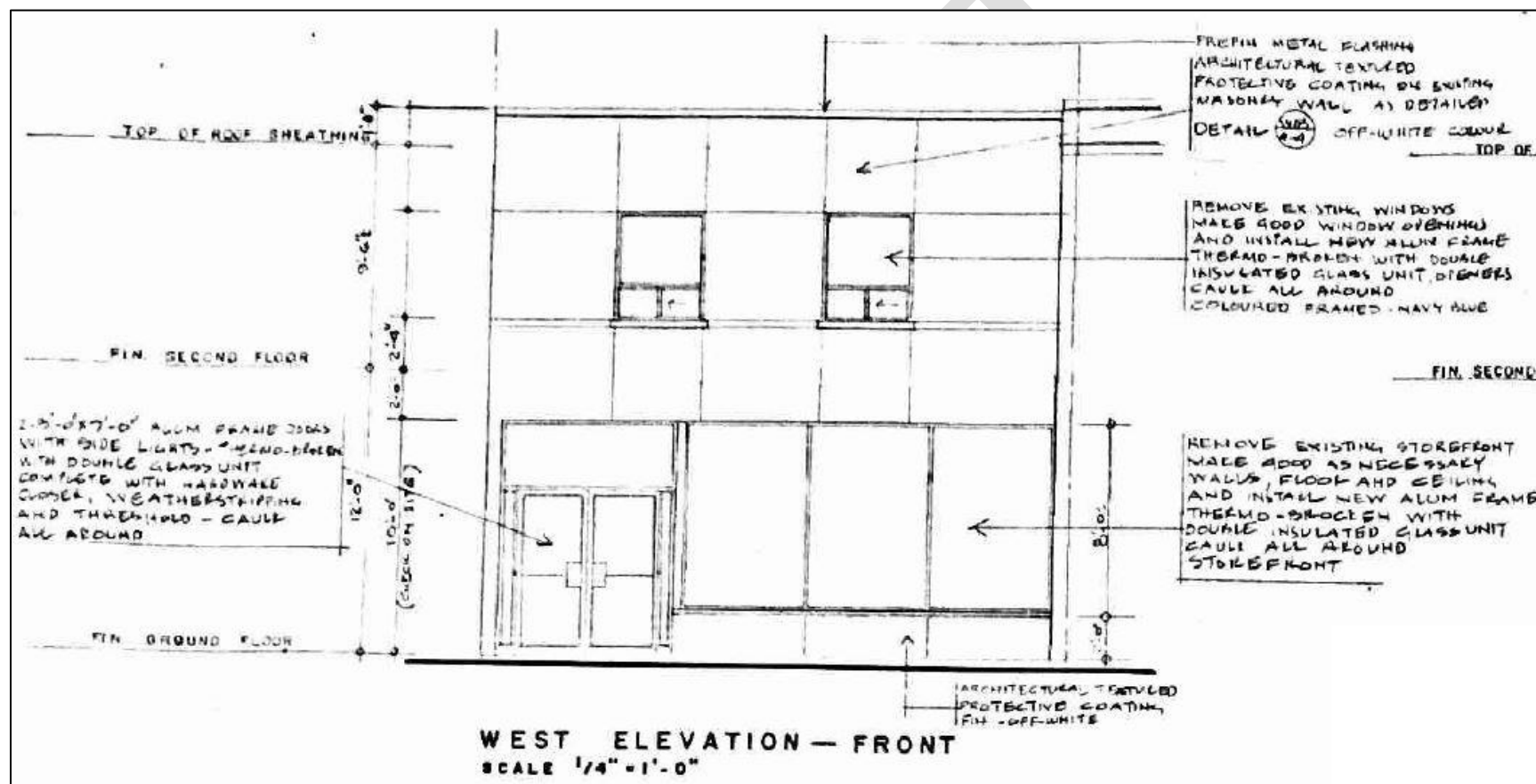
*c1880
North unit
of Millard
Block – 207
Main St. S.*



209
Main St S

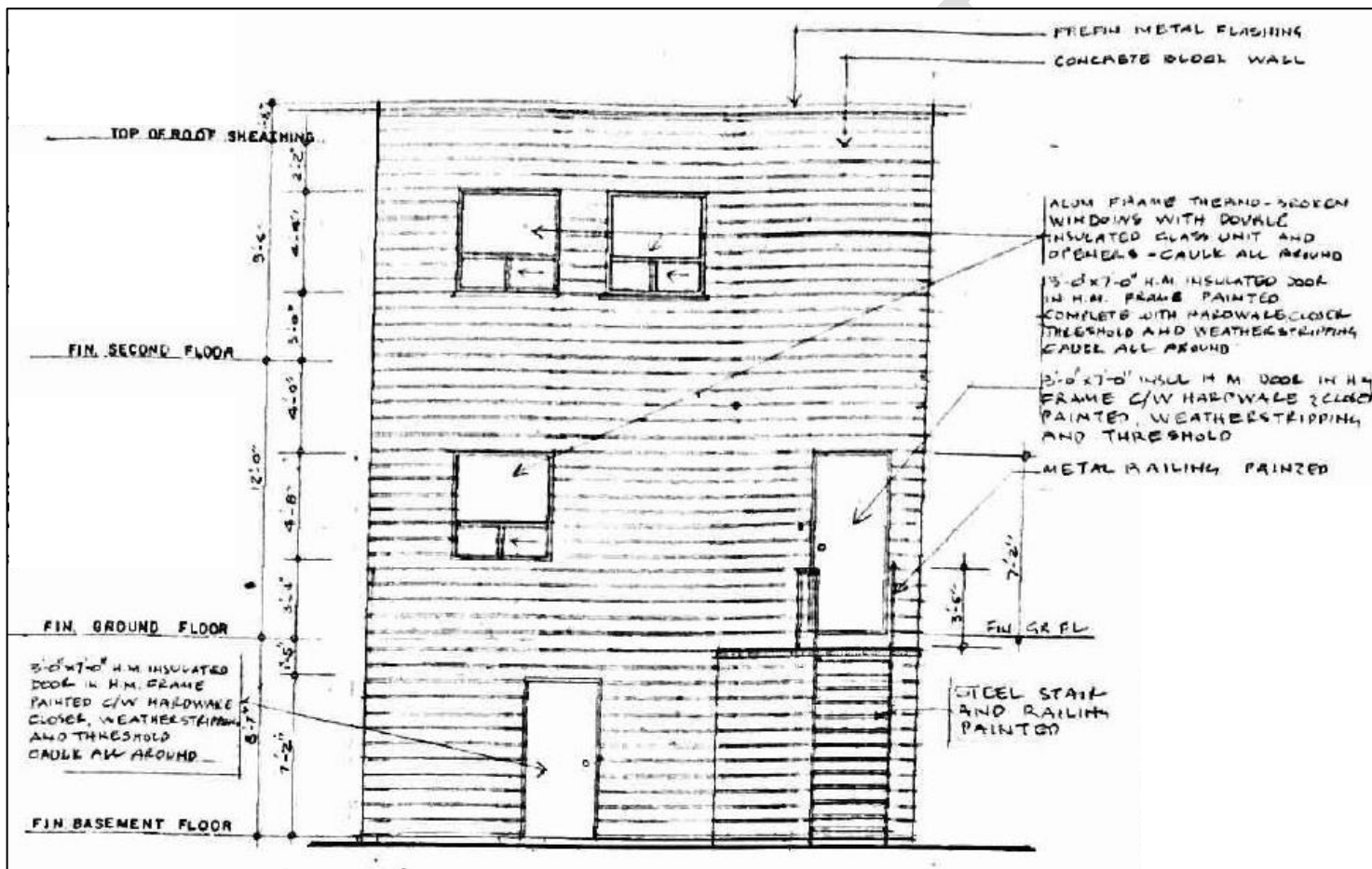


1994 Renovation Plans



209 Main Street South, West Elevation. Source: Eli Catsaros, Elevations – Details Drawing, Project 9403, March 30, 1994.

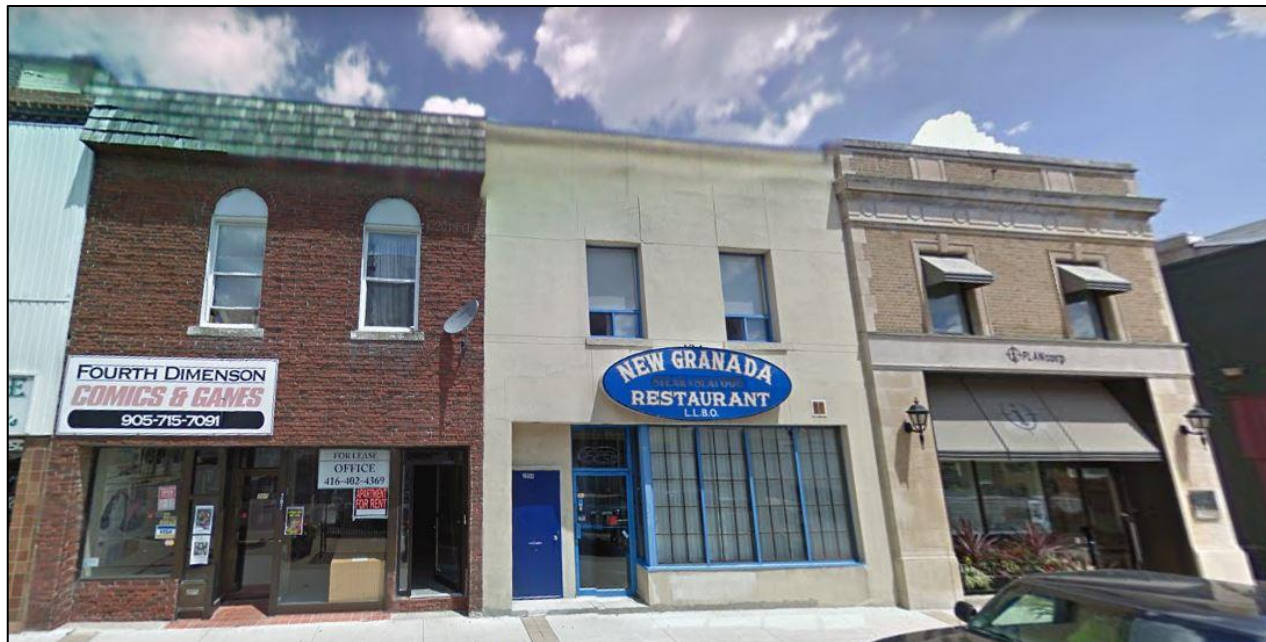
1994 Renovation Plans



209 Main Street South, West Elevation. Source: Eli Catsaros, Elevations – Details Drawing, Project 9403, March 30, 1994.

209
Main St S

2009



Millard Block. Source: Google Streetview.

209
Main St S

2014



Millard Block. Source: Google Streetview.

2015 Renovation Plans



209 Main Street South, West Elevation. *Source: Mitch Sauder, Building Permit Drawing A3.1, October 2015.*

Appendix I: Property Ownership History

Page 1 Municipality Newmarket Lot 94 Concession 1 EYS Plan: 81 Lot: 28

No. of Instrument	Instrument	Date of Instrument	Date of Registration	Grantor	Grantee	Consideration	Remarks
	Patent	07.08.1804		Crown	Henry Crone		190 ac., All Lot
551	B & S	17.12.1804	19.02.1805	Henry Crone et ux	Timothy Rogers		190 ac., All Lot
2005	B & S	25.03.1812	26.03.1812	Timothy Rogers	Timothy Millard		200 ac Pt 94 & 95
15697	B & S	08.12.1838	22.12.1838	Timothy Millard	John Millard	\$200	Pt Lot 28
26859	B & S	08.05.1846	13.05.1846	John Millard	Joseph Millard	\$300	Pt Lot 28
1619	B & S	05.11.1879	15.09.1881	Joseph Millard	Susan Millard	\$2,000	Pt Lot; (North Part?)
81	Plan	01.11.1895	27.09.1898	Town of Newmarket	Peter Gibson O. L. S.		Pt Lots 94 & 95
4117	B & S	05.04.1904	06.04.1904	Susan Millard & Husband	John A. W. Allan	\$3,500	Pt Lot; (North Pt?)
4315	B & S	09.01.1905	11.02.1905	Joseph Millard	John H. Millard	\$3,000	Southerly 25 ft
5007	B & S	11.03.1908	12.03.1908	Joseph Millard	Jane Rumsey to the use of the Grantor during his life & then to Jane Rumsey & Elizabeth Millard forever	L & A & \$1	Centre Part
5275	B & S	12.05.1909	14.05.1909	Joseph Millard	Jane Rumsey & Elizabeth Millard	Premises & \$1.	Centre Part
10187	Grant	06.09.1929	07.09.1929	John H Millard	Samuel Bondi	\$10,000	Pt 25' front on Main St
11416	Grant	31.08.1937	04.09.1937	Samuel Bondi et ux	The Bank of Toronto	Val Con & \$1	Pt S. Pt 25' 1" front on E Main & 112' on S limit & use of land to S
11700	Grant	22.09.1939	24.10.1939	Elizabeth Millard	Florence & Beatrice Rumsey	NLA & \$1	Pt lot undivided
12041	Grant	23.12.1941	09.02.1942	Florence & Beatrice Rumsey	Robert C. Smith & Maxwell R. Smith	\$8,500	Centre pt being pt not conveyed by 4117 & 4315
15805	Quit Claim	24.06.1953	10.07.1953	Extrs of Robert C. Smith	Maxwell R. Smith	Val Con & \$1	All lots as in 4117 & 4315 & pt 22' 11" on E Main St
20901B	Grant	24.02.1966	185.03.1966	Laura Smith, Extrix of Maxwell R. Smith	Tommy G. Tsapoitis, George Mandrozios t/a Granda	Val Con & \$1	Centre Pt Lot 22' 11" on east limit Main St
YR2955412	Transfer	30.04.2019		Tsapoitis, W. J. et al	Jimsgate Inc.	\$1,100,000	Pt Lot 28 Pl 81

Appendix J: *Ontario Heritage Act* Regulation 9/06

CONFIDENTIAL
Until filed with the
Registrar of Regulations

REGISTRAR OF REGULATIONS	
Filed as O. Reg.	9/06
On	JAN 25 2006
Proposed source law publication dates:	
O.L.W.S.	Jan. 27/06
Ontario Gazette	Feb. 11/06

Bilingual

reg2005.0571.e
3-CS/CO

ONTARIO REGULATION
made under the
ONTARIO HERITAGE ACT
CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.

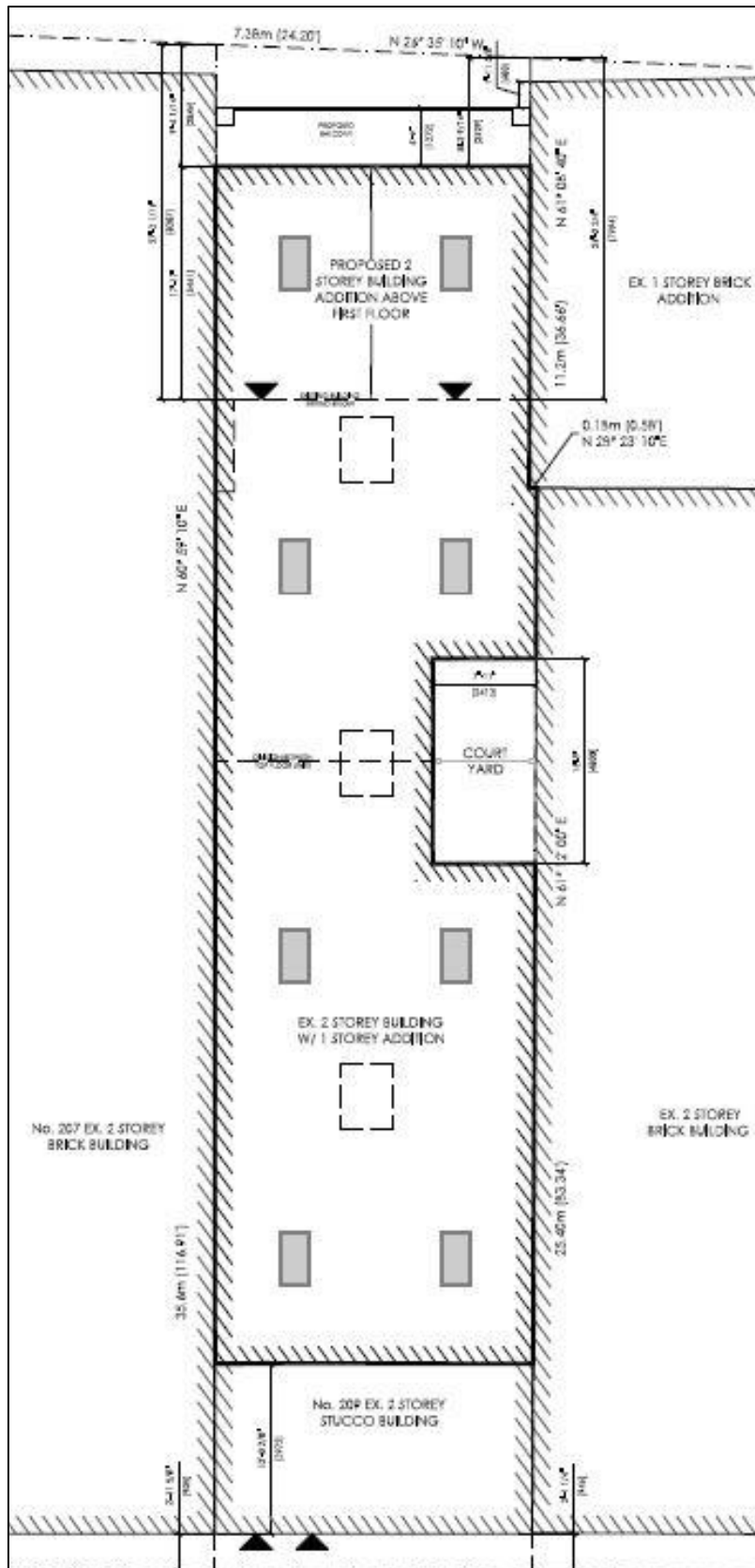
(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before ***insert the date of the day before the regulation is filed with the Registrar of Regulations***. Jan. 24/06

Appendix K: Development Proposal

Site Plan

Proposed Main Street Elevation



HUNGRY BREW HOPS
PUBLIC HOUSE & BATTERY

PROPOSED BUILDING INFORMATION:

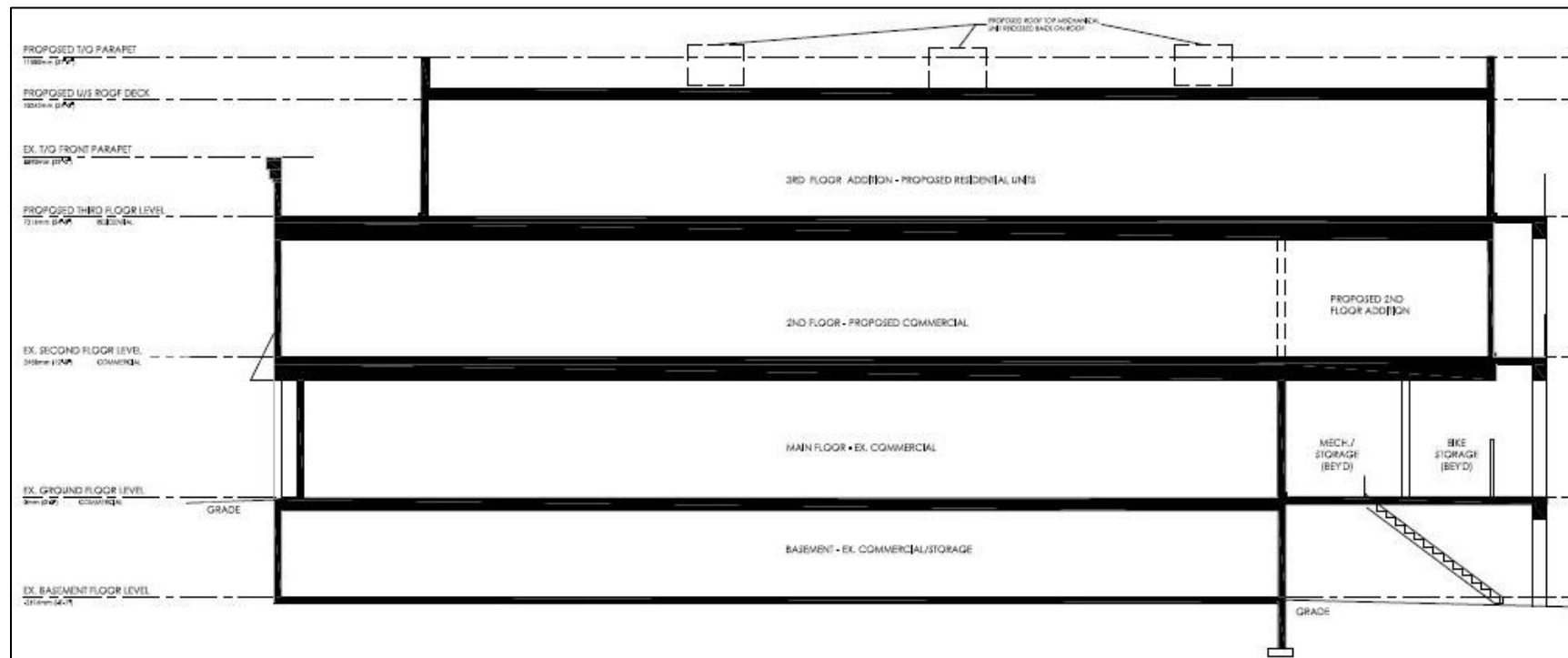
- PROPOSED T/O PARAPET: 1100mm (ST-1)
- PROPOSED U/S ROOF DECK: 800mm (ST-1)
- EX. T/O FRONT PARAPET: 400mm (ST-1)
- PROPOSED THIRD FLOOR LEVEL: 700mm (ST-1) / 1000mm (ST-1)
- EX. SECOND FLOOR LEVEL: 600mm (ST-1) / 1000mm (ST-1)
- EX. GROUND FLOOR LEVEL: 600mm (ST-1) / 1000mm (ST-1)
- EX. BASEMENT FLOOR LEVEL: 600mm (ST-1)

DETAILS:

- PROPOSED BRICK TOP MEDIAN WALL WITH REDUCED SLOPE ON ROOF
- PROPOSED METAL CLADDING EXT TO METAL CORNER
- PROPOSED INSULATED METAL CLADDING - 10% GREY (HYPOSPAN)
- PROPOSED WIDENING GLASS PANEL DOOR
- PROPOSED METAL GUARD AND RAIL
- PROPOSED BRICK VENEER TO COVER FLOOR BEAM
- PROPOSED WIDENING GLASS PANEL DOOR
- PROPOSED INSULATED METAL CLADDING - 10% GREY (HYPOSPAN)
- PROPOSED METAL GUARD AND RAIL
- PROPOSED BRICK VENEER TO COVER FLOOR BEAM
- EXISTING CONC. BLOCK TO REMAIN (PAINTED)
- EXISTING DOOR TO REMAIN
- PROPOSED METAL GUARD AND RAIL
- PROPOSED BRICK VENEER TO COVER FLOOR BEAM
- EXISTING CONC. BLOCK TO REMAIN (PAINTED)
- PROPOSED STEEL MESH CONCRETE FILLED CAST-IN PLACE
- EXISTING MET BRICK VENEER FACED COLUMN, TYPICAL
- EXISTING DOOR TO REMAIN

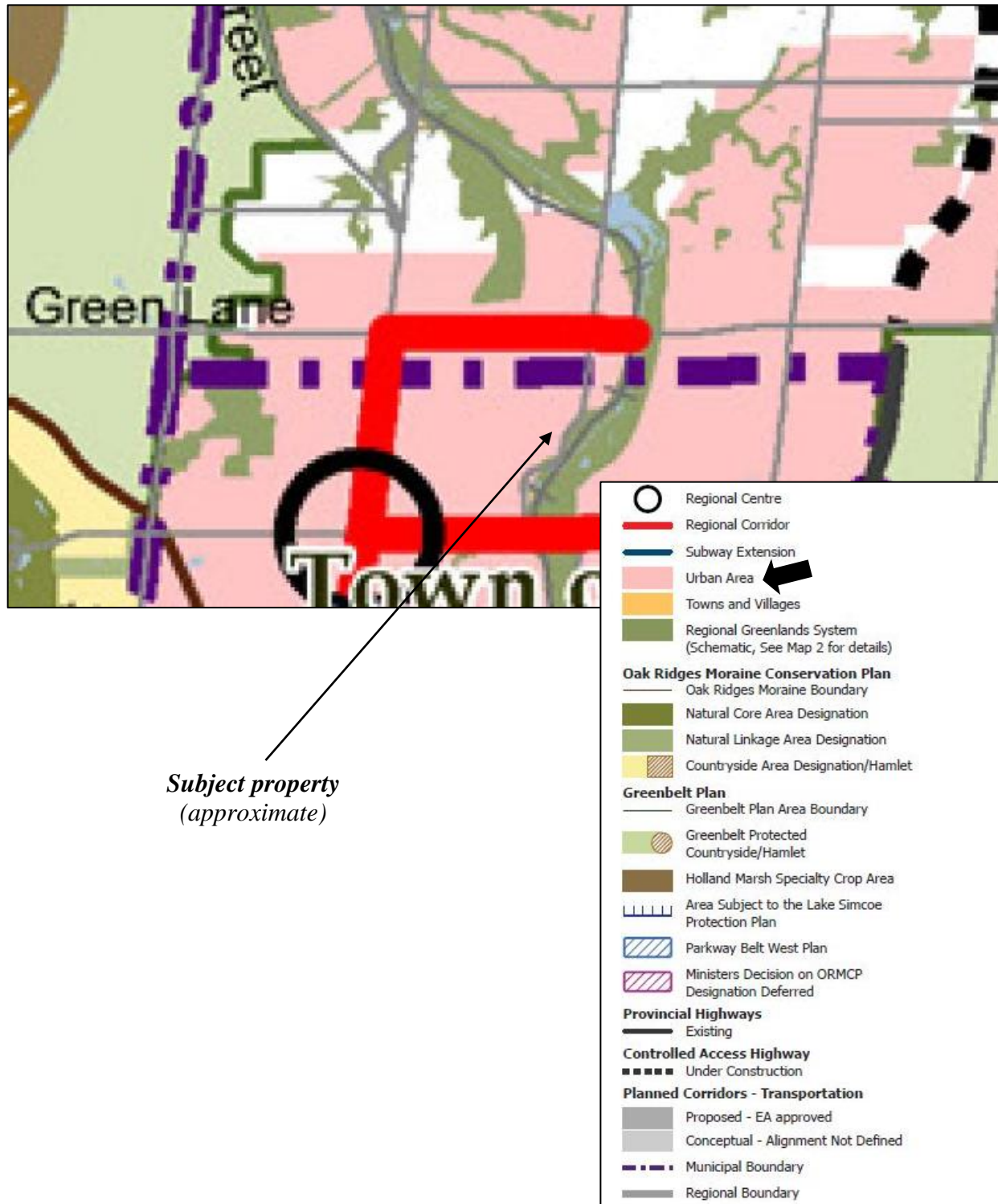
GRADE AT 2'00"

Proposed Cross-Section, Facing North



**Appendix L: Town of Newmarket and Region of York
Planning Document Maps**

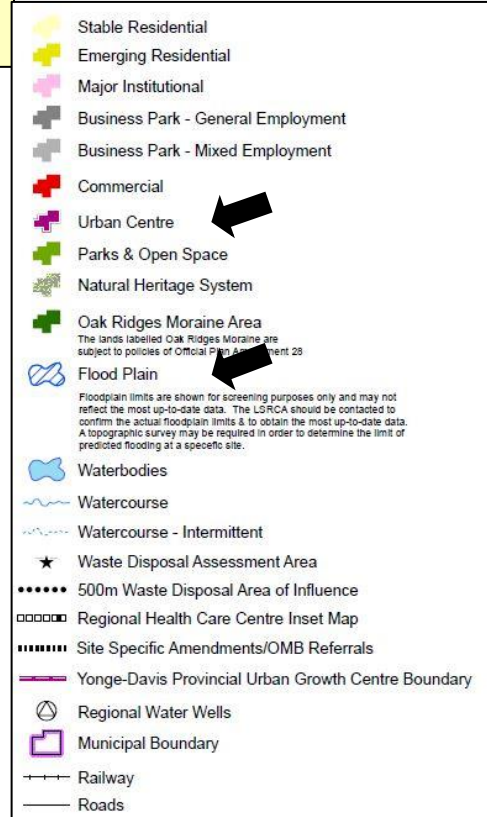
Regional Municipality of York
Official Plan
Part of Map 1, April 2016
Regional Structure



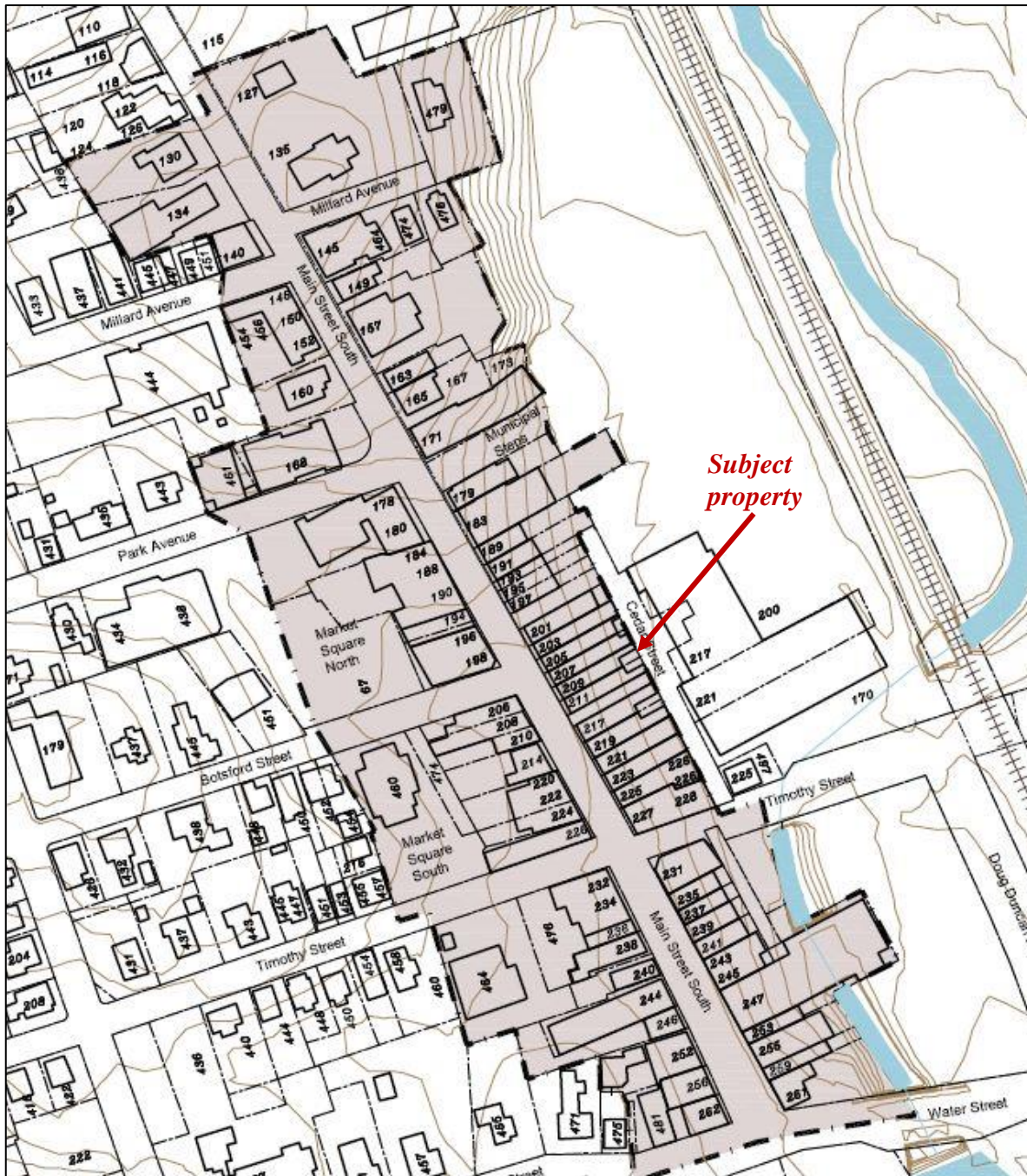


Town of Newmarket Official Plan
Part of Schedule A

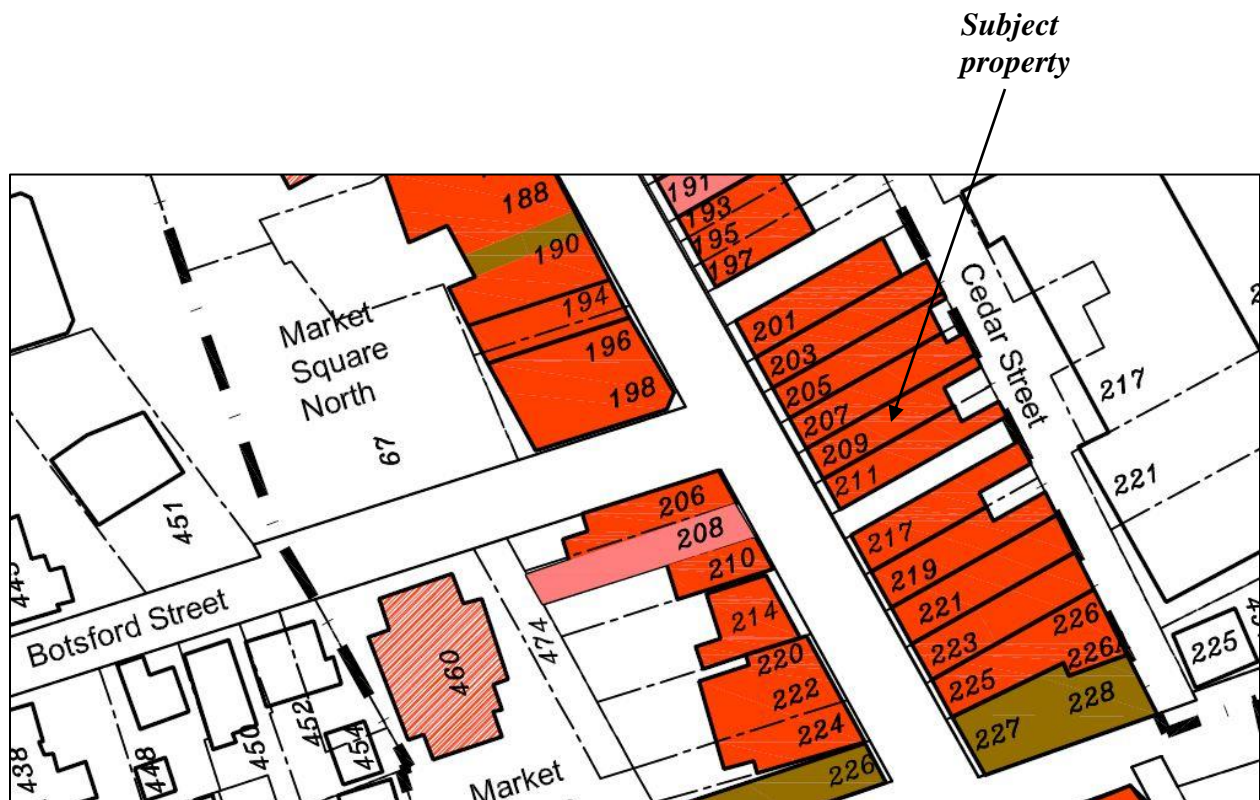
*Subject property
(approximate)*







Town of Newmarket
Lower Main Street Heritage Conservation District Plan
District Map in the Plan



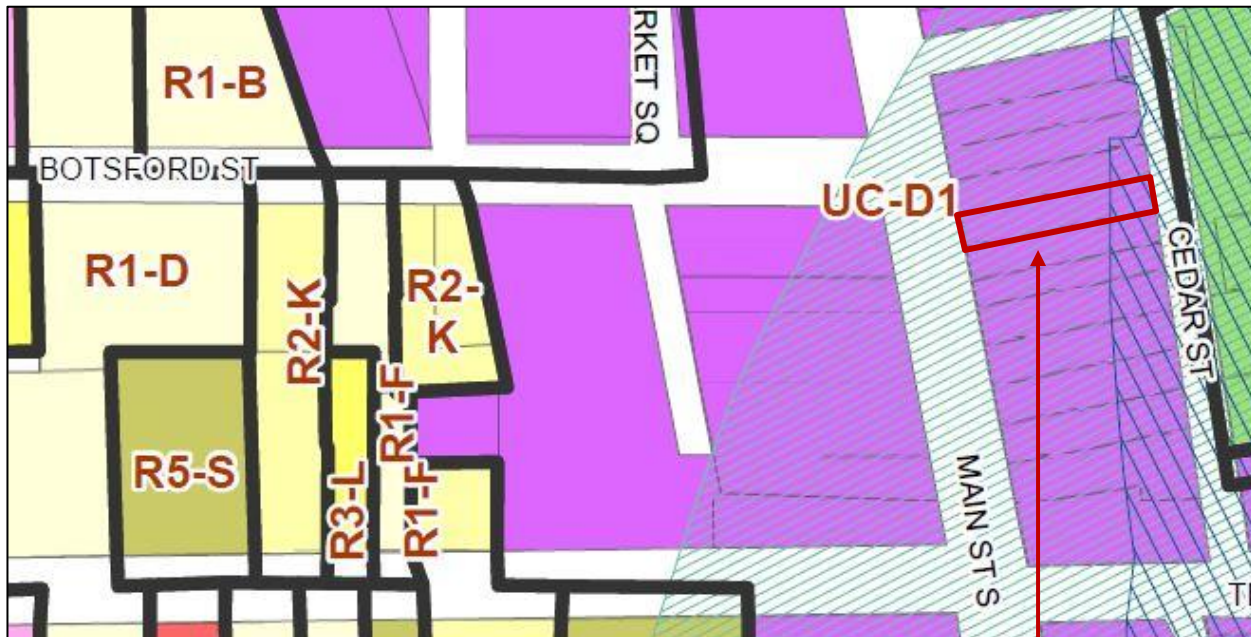
Town of Newmarket
Lower Main Street Heritage Conservation District Plan
Building / Property Classification in the Plan



LEGEND

	HISTORIC LANDMARK BUILDINGS
	HISTORIC COMMERCIAL BUILDINGS
	HISTORIC HOUSES
	HISTORIC REGISTRY OFFICE
	COMPLEMENTARY BUILDINGS
	BUILDINGS THAT ARE NEITHER HISTORIC NOR COMPLEMENTARY (OTHER)

Town of Newmarket
Zoning By-law 2010-40
Part of Map 12, Schedule “A” to the Zoning By-law



Urban Centre Zones UC-P – Provincial Urban Centre Zone UC-R – Regional Urban Centre Zone UC-H1 – Healthcare Urban Centre Core Hospital South Zone UC-H2 – Healthcare Urban Centre Core Hospital North Zone UC-HC1 – Healthcare Urban Centre Complementary 1 Zone UC-HC2 – Healthcare Urban Centre Complementary 2 Zone UC-HC3 – Healthcare Urban Centre Complementary 3 Zone UC-D1 – Historic Downtown Urban Centre Zone UC-D2 – Downtown Urban Centre Zone			
Employment Zones EM – Mixed Employment Zone EG – General Employment Zone EH – Heavy Employment Zone			
Institutional Zones I-A – Major Institutional Zone I-B – Minor Institutional Zone I-C – Cemetery Zone			
Open Space Zones OS-1 – Open Space Zone OS-2 – Private Space Zone OS-EP – Environmental Protection Open Space Zone			
		TR - Transitional Zone FP - Floodplain FP-NH - Floodplain and Other Natural Hazards Zone Please direct any questions relating to this information to the Lake Simcoe Region Conservation Authority.	
		Oak Ridges Moraine Lands within the Oak Ridges Moraine are excluded from this Bylaw.	
		Lands Excluded from this Bylaw	

Subject property

Appendix M: Curriculum Vitae : Wayne Morgan

Wayne Morgan – Curriculum Vitae

Work Experience	2006 –	Consultant
	Principal, Wayne Morgan Heritage Planner	
	<ul style="list-style-type: none"> • Heritage character statements and impact assessments • Heritage Conservation Districts • Heritage planning policies 	
	2000–2006	City of Toronto, City Planning
	Senior Co-ordinator, Heritage Preservation Services	
	<ul style="list-style-type: none"> • Managed review and approval of proposals involving heritage properties in the City – under the following Acts – Planning, Heritage and Building Code. • Secured and administered heritage easement agreements (more than 200) and letters of credit to the City (in excess of \$10 million annually). • Established 4 Heritage Conservation Districts involving in excess of 1500 properties – Yorkville and the Cabbagetowns -Metcalfe, North and South. • Managed the listing and designation of individual heritage properties. • Provided technical advice to City Council and its advisory committees and represented the City in negotiations and before Provincial tribunals. 	
	1998 - 2000	City of Toronto, Urban Development Services
	Senior Community Planner	
	<ul style="list-style-type: none"> • Managed approval process of planning proposals and preparation of community plans, involving liaison with City staff and the public; provided professional advice to City Council and Provincial tribunals. 	
	1989–1997	Metropolitan Toronto, Planning Department
	Manager, Research Division	
	1976–1989	Region of York, Planning Department
	Senior Planner, long range planning	
	1974–1976	Region of Hamilton Wentworth, Planning Department
	Planner, Official Plan team	
	1973–1974	Acres Engineering
	Planner/Economist	
Related Experience	1980 - 2000	Town of Newmarket
	Chair, Local Architectural Conservation Advisory Committee	
	<ul style="list-style-type: none"> • Appointed as a volunteer by Town Council to the municipal heritage advisory committee established under the Ontario Heritage Act 	
Education	1968–1972 - University of Toronto - B.A., Geography	
	1972–1973 - Queen's University - M.A., Geography – Urban and Regional	
Professional Associations	Registered Professional Planner – member - Canadian Institute of Planner and the Ontario Professional Planners Institute.	
	Member – Canadian Association of Heritage Professionals	



Planning and Building Services

TOWN OF NEWMARKET
395 Mulock Drive
P.O. Box 328
Newmarket, ON L3Y 4X7

www.newmarket.ca
planning@newmarket.ca
905.953.5321

September 11th, 2019

Chris Pretotto
Cspace Architecture Inc.
5B-8851 George Bolton Parkway
Bolton, ON
(by email)

RE: Record of Pre-consultation Meeting
Application for Site Plan Approval
209 Main Street South

Further to the pre-consultation meeting held on September 3, 2019 regarding the above noted proposed site plan application for additions to 209 Main Street South, this letter constitutes the comments from staff and required plans and studies for your application.

As noted at the preconsultation meeting, your initial plans do not conform to the zoning by-law. Relief from the zoning by-law through the appropriate tools (minor variance or zoning by-law amendment) will be required before your site plan approval submission.

We are providing this letter to inform you of the preliminary comments on your plan and explain the next steps in your application process.

Context

- Zoning:
 - Historic Downtown Zone (UC-D1)
- Official Plan:
 - Located in the Historic Downtown Centre
- Location:
 - Wellhead Protection Area D
 - Adjacent to area regulated by Lake Simcoe Region Conservation Authority

Initial Comments

- The UC-D1 zone permits a maximum FSI of 1.0. The Town's 2006 Official Plan contemplates where development application in excess of this should be permitted provided the appropriate justification is provided. This is to be provided with your minor variance application in the form of your heritage impact assessment, which will discuss the surrounding built form, policies of the Heritage Conservation District, and appropriateness of the proposed addition.
- Please ensure that you have accurately calculated the FSI of the proposed building, paying particular attention to the definitions of Gross Floor Area in Zoning By-law 2010-40. Please demonstrate in your plans how you have reached the result of your

calculation of the existing and proposed FSI, and please demonstrate whether the first storey below grade is by definition a basement or a cellar as defined by Zoning By-law 2010-40.

- You have proposed in your preconsultation letter to take advantage of the Town's Cash in Lieu of Parking policy. Please Contact Dave Ruggle for more details.
- Construction management
 - As the Main Street South area features narrow streets and heavy levels of pedestrian and vehicular traffic, please ensure your construction management plan provides for a detailed plan of staging, trades parking, material storage, and other matters.
- Comments related to heritage materials are provided in attachment to this letter.
- An appraisal of the property will be required in order to calculate parkland dedication.

General Plan Detail Comments

- Dimension the plan and parking spaces and aisles appropriately
- Dimension your setbacks for the building and the parking lots from property lines
- Indicate on your plans the location of the fire department's water connection and the location of the nearest hydrant
- Include a Site Information box, showing: municipal address(es), number of units, number of storeys, GFA, FSI, lot coverage, hard and soft landscaped coverage percentage
- Clearly identify location and number of each parking spot.
- Development charges will be required. Information on development charges [is available online](#).

Commenting Departments and Agencies

Engineering Department:

Brandon Ewart bewart@newmarket.ca

Preliminary reports required for the ZBA.

- Survey required and shall extend 5m beyond property lines.
- Applicant is to advise of existing easements and provide details, if applicable.

Central York Fire Services:

John McDonald, jmcdonald@newmarket.ca

Newmarket Hydro:

Paul Jolivel, pjolivel@nmhydro.ca

- Contact Newmarket Hydro to discuss servicing requirements.

Application Requirements

Below you will find the reports, plans, studies, and documents and the number of required copies of each required by the Town to consider your application complete.

Guidance on each type of document, report, and plan is provided in the Town's **Site Plan Approval Process Manual** (available online at www.newmarket.ca/siteplan). You are strongly encouraged to review this document and ensure your consulting team refers to the guidance, design, standards, and expectations as they prepare their respective parts of your submission.

Reports and the requirements of the Region and the LSRCA are to be submitted to each **separately**.

Application Requirements	Number of Copies
Completed Application Form with original signatures	1
Application fee	1
Submission and/or Response Letters detailing all documents and numbers of copies	5
Up-to-date list of all submitted plans with current revision number and date in Word format (SPM 3.16)	5
USB key containing all plans and reports	3
Legal and Financial Requirements	
Up-to-date parcel abstract of title indicating current owner, legal description, and PIN number	3
Certificate of status (if on behalf of corporation)	2
Postponement of Interest Document (SPM 6.8)	2
Estimated Cost of All External Works (Civil & Landscaping) (SPM 4.13)	4
Property appraisal for calculation of Parkland Dedication requirements	2
Construction, Sediment, and Erosion Control	
Construction & Traffic Management Report (SPM 3.13)	9
Development Standards Checklist	
Development Standards Checklist (SPM 3.9, 5.2)	3
Site Plan Accessibility Checklist (SPM 3.9, 5.1)	3
Elevation Plans	
Full size copies (SPM 3.7)	5
Environmental Reports	
Section 59 (Sourcewater protection) Notice	3
Floor Plans	
Full size copies	3

Planning	
Heritage Impact Assessment	3
Site Plans	
Full size copies with OBC Data Matrix (SPM 3.1)	9
Survey, up-to-date	
Survey extending 5m beyond property lines	9
SPRC Agenda Requirements	
Site Plans (in colour)	Digital
Landscape Plan (in colour)	Digital
Elevation Plans (in colour)	Digital
CD or USB key containing only SPRC Agenda Requirements	1
Separate requirements may be applicable for the Regional Municipality of York or the Lake Simcoe Region Conservation Authority . Please confirm requirements for each prior to your application submission to avoid delays.	
Drawings are to be full size (24" x 36") and individually folded to 8.5" x 11" with the title block exposed. No staples. Where a row indicates a section of this Manual (e.g. SPM 5.2), refer to that part of the Site Plan Process Manual for guidance www.newmarket.ca/siteplan . Where a row indicates OP or UCSP and a number (e.g. UCSP 7.3.7) refer to that section of the Official Plan or Urban Centres Secondary Plan for guidance.	

Fees

You will incur fees as part of the development review process. Fees may be charged by the Town, the Region, the LSRCA, and other bodies based on their policies and review. For a list of fees required by the Town, consult the Town's [Fees and Charges by-law online](#).

The information and requirements set out in this letter are not intended to preclude the Town from requiring additional reports, studies or drawings that may be identified through the review of the application or as a result of any updates to legislation, plans or policies and where such information is needed by the Town to inform the decision making process.

If your proposal changes in any significant way prior to submission, there may be a need for a further pre-consultation meeting with staff.

Please feel free to contact me if you have any questions regarding your submission.

Yours truly,



Ted Horton, MCIP, RPP
 Planner

5.7 Guidelines on Masonry Conservation

Clay brick wall cladding is a defining characteristic of the district.

Unfortunately, in several instances, paint, siding, parging or EIFS have been applied to brick to distinguish one building from another, defer repointing, or freshen up the building's image. These materials contrast with the texture and colour of the brick. Concealing masonry walls behind paint, siding, parging or EIFS not only detracts from the street's historic character but also damages the brick. The damage from trapped moisture or from the installation of framework can be irreversible.

Paint has the effect of trapping moisture in the masonry wall and, as the moisture tries to wick its way out, it can freeze in the winter cycle and permanently damage the brick. While the paint coating may to some extent protect the brick from rain, it cannot protect it from: 1) rising damp, which is moisture that penetrates at the foundation level below grade and rises by capillary action above grade; 2) water penetration through cracks; 3) water penetration through inadequate caulking around windows and doors; and 4) water penetration through parapets. The parapet, that part of the wall on many historic commercial buildings that ascends above the roof, is especially vulnerable due to its exposure to the elements; unlike the masonry wall below the roofline, it is subject to extremes in the freeze-thaw cycle since it is not warmed by the interior atmosphere of the enclosed building. Coping (over the top of the wall) and flashing on the roof side, either of metal or other waterproof membrane, is advised.

Never paint an unpainted masonry surface. For brick buildings that are already painted, have experts in the conservation of historic architecture try test patches in inconspicuous places to determine whether the brick can be cleaned of paint; and if it cannot be safely cleaned, repaint in colours that match the underlying brick. Avoid unnecessary cleaning of unpainted brick (the patina on old brick is not usually harmful to the brick, and it shows the building is historic), and always use the gentlest means of cleaning. Harsh abrasive treatments such as sandblasting should be avoided because of the destructive nature of that process. Chemical cleaners are available that do not in most cases damage the brick. There are several non-abrasive blasting techniques that may also be used to clean paint from masonry. Low-pressure water power wash is another method that experts can choose for brick cleaning.

Brick cleaned of paint may expose brick units that are cracked, spalled or crumbling or surface areas of mismatched patchwork. Experts in the conservation of historic masonry can replace deteriorated brick units with matching salvaged brick or apply brick staining to cover imperfections.

Tinting brick with breathable stains has become relatively common practice. It can be particularly valuable if removing paint from previously painted masonry surfaces reveals mismatched prior repairs. Off-colour brick can be made to match the original field colour. Similarly, if repairs are required to existing masonry and a suitably coloured new brick cannot be found, brick with other properties that match the original can be installed and colour matched later. Brick stains have been in use in Europe for a long time, and their claims that they are breathable are well-documented.

Avoid applying Exterior Insulation and Finish System (EIFS) to masonry surfaces. Exterior Insulation and Finish System is a late-twentieth century acrylic substitute for plaster. If improperly installed, it creates prime conditions for mould growth and moisture retention. It also has a drastic negative effect on building aesthetics by replacing courses of clay brick with a uniform flat acrylic surface and by covering architectural detail.

EIFS was installed in the 1980s and 1990s either by adhesives or with mechanical screw-type fasteners. Removal of these systems should be relatively easy, but the resulting damage from the fastening system will require some repair to the underlying wall. In the case of the adhesive method, removal of the adhesive residue may require localized replacement of the brick to which it was fastened. Removal of the mechanical fasteners will leave holes that need to be filled.

Brick walls needing repointing should be repointed with the same mortar mix and joint detail as they were historically and executed by a qualified mason. Correct repointing is important for both aesthetic reasons and for long-term material performance. Traditional mortars were always softer than the masonry units they bonded. This condition allowed a wet wall to dry more rapidly as the moisture within was wicked out of the wall through the porous mortar joints. In the winter cycle, if water were trapped in the wall and froze, it did so at the joints. In this way, the mortar was sacrificial to the bricks. The mortar, however, requires renewal on a regular basis. Mortar repairs should be undertaken with materials of similar characteristics to

the original. Parging deteriorated brickwork does not arrest the process of decay; it only hides it.

In the mid- and late twentieth century, numerous coatings were developed to bond tenaciously to masonry walls. These parging products, while giving the appearance of nineteenth century lime-based roughcast plaster, are usually non-breathable. They can severely damage the structure to which they are adhered. Removal of post-Second World War parging products can be difficult, and specialty restoration contractors should be consulted as to proper methods.

The control of rainwater is likely the simplest means of preventing damage to masonry structures. Gutters and down spouts should be kept in proper working order and should discharge in a manner that directs water away from building foundations.



A mason used to working on historic buildings removes deteriorated mortar by raking the mortar joints with hand tools. The mason knows the difference between nineteenth century mortar mixes and later mixes with high Portland cement content. The mason is adept at duplicating original mortar joints. The mason avoids applying water repellent coatings to masonry surfaces unless masonry repairs and flashings have failed to arrest water penetration problems.



PLANNING ACT APPLICATION - PRE-CONSULTATION

Date: August 16, 2019
Planner: Laura McGinnis
Contact #: 905-895-1281 ext. 299
Email: L.mcginnis@LSRCA.on.ca

Address: 209 Main Street South, Newmarket

APID: 166384

Type of Proposal (Please Highlight):

Official Plan Amendment	Plan of Subdivision/Condominium	Consent
Zoning By-law Amendment	Site Plan	Minor Variance

Description of Proposal:

- Proposed addition of partial third floor atop of existing building
- Proposed addition extending existing building further into rear yard
- Proposed restoration of existing Main Street Façade, if/where possible
- Ground floor to remain as restaurant – 1 suite
- Occupancy overall and of employees to remain as existing
- Second floor to be converted into offices – 2 suites
- Second floor existing occupancies are residential apartments – 2 suites
- Third floor to be residential apartments – 2 suites.
- The proposal requires relief from height and FSI provisions of the By-law.

Is the site within an area governed by Ontario Regulation 179/06? (Please Highlight)

YES (Permit Required)

NO

Regulated Components (Please list):

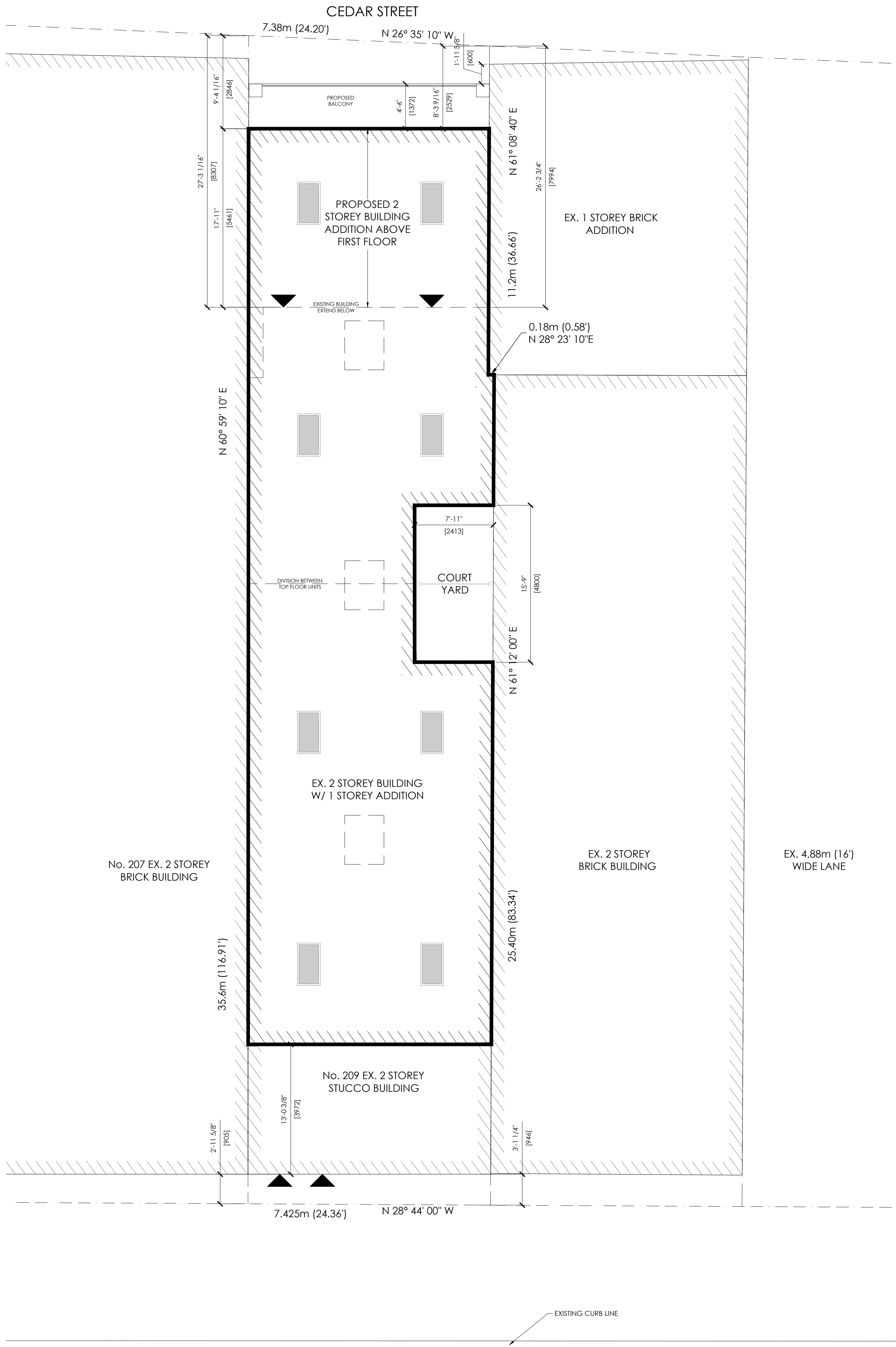
Notes:

1. Please contact the LSRCA to scope any required Environmental Impact Study or Natural Heritage Evaluation
2. The stormwater management submission is required to be prepared in accordance with "LSRCA Technical Guidelines for SWM Submissions"
https://www.lsrca.on.ca/Shared%20Documents/permits/swm_guidelines.pdf
3. The hydrogeological analysis is required to be prepared in accordance with "Hydrogeological Assessment Submissions: Conservation Authority Guidelines for Development Applications"
https://www.lsrca.on.ca/Shared%20Documents/permits/hydrogeological%20_guidelines.pdf?pdf=Hydrogeological-Guidelines
4. LSRCA Review Fees can be found here: <https://www.lsrca.on.ca/permits/permit-fees>

Required Report / Study	Functional Submission	Detailed Design	Required Report / Study	Functional Submission	Detailed Design
Proposed Amendment Documents (OPA/ZBA)			Top of Bank Demarcation Mapping		
Planning Justification Report (inclusive of Provincial Plan Conformity including LSPP)			Floodplain Analysis		
Environmental Impact Study			Geotechnical / Soils Report		
Ecological Offsetting Strategy			Master Drainage Plan		
Rare, Threatened and Endangered Species Analysis			Slope Stability / Erosion Assessment		
Tree Inventory & Preservation Plan / Arborist Report			Topographic Survey prepared by an OLS		
Watercourse / Shoreline Protection, Enhancement and Restoration Plans			Hydrogeological Analysis including a Water Balance		
Coastal Engineering Study			Phosphorus Budget		
Natural Heritage Evaluation			Functional Servicing Report		
Tree Compensation Plan			Stormwater Management Report		
Vegetation Protection, Enhancement and Restoration Plans			Erosion and Sediment Control Plan		
Edge Management Plan			Grading and Drainage Plan		
Landscape Plan			Site Plan / Draft Plan/R Plan		
			LSRCA Review Fee		

Comments:

As the proposal does not includes the construction of a building on a lot with a ground floor area cumulatively equal to 500 square metres or greater, the application is not considered to be 'Major Development' per the LSPP, LSPOP and SPP.



PART OF LOT 28,
OF REGISTERED
PLAN 81
IN THE
TOWN OF NEWMARKET
REGIONAL MUNICIPALITY OF YORK

SITE INFORMATION			
TOWN OF NEWMARKET ZONING BY-LAW: ZONE R-3: DETACHED THIRD DENSITY RESIDENTIAL			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	- m ² (MIN)	264.7 m ²	264.7 m ² (NO CHANGE)
LOT FRONTAGE:	- m (MIN)	7.424 m	7.424 m (NO CHANGE)
SET BACKS:			
MIN. FRONT YARD (WEST)	- m	0.905 m	0.905 m (NO CHANGE)
MIN. INTERIOR SIDE YARD (NORTH)	- m	0 m	0 m (NO CHANGE)
MIN. INTERIOR SIDE YARD (SOUTH)	- m	0 m	0 m (NO CHANGE)
MIN. REAR YARD (EAST)	- m	7.994 m	2.957 m (DECREASE)
BUILDING HEIGHT:	9.0 m (MAX) 3 STOREYS	8.9 m 2 STOREYS	11.5 m (MAX) 3 STOREYS (INCREASE)
BUILDING AREA:	- m ² (MAX)	197.23 m ²	38 m ² (INCREASE)
TOTAL AREA:		197.23 m ²	235.23 m ² (INCREASE)
LOT COVERAGE:	-% (MAX)	74.5%	14.4% (INCREASE)
TOTAL COVERAGE:		74.5%	88.9% (INCREASE)
GROSS FLOOR AREA:	--	394 m ² (n/i walk-out bsmt)	639 m ² (n/i walk-out bsmt) (INCREASE)
		591m ² (incl. walk-out bsmt) (INCREASE)	836 m ² (incl. walk-out bsmt) (INCREASE)
FSI RATIO:	1.0 (MAX)	1.49 (n/i walk-out bsmt) (INCREASE)	2.41 (n/i walk-out bsmt) (INCREASE)
		2.25 (incl. walk-out bsmt)	3.17 (incl. walk-out bsmt) (INCREASE)

GENERAL NOTES & SYMBOLS LEGEND	
	MAIN DOOR
	PROPERTY LINE
	PROPOSED BUILDING OUTLINE
	EXISTING BUILDING OUTLINE
	EXISTING BUILDING BELOW ADDITION OUTLINE
	EXISTING ASPHALT PAVING

FOR REVIEW ONLY.
NOT FOR CONSTRUCTION.

2.	19.10.18	MINOR VARIANCE APPLICATION
1.	19.07.03	HERITAGE REVIEW SUBMISSION
NO.	DATE	REVISION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.

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CSPACE
ARCHITECTURE

5B-8851 GEORGE BOLTON PKWY
BOLTON, ONT. L7E 2X8
647.588.1784
info@cspace.ca

PROJECT NORTH

PROJECT PROPOSED BUILDING ADDITION		
209 MAIN STREET SOUTH, NEWMARKET, ON		
DRAWING TITLE PROPOSED SITE PLAN		
SCALE AS SHOWN	PROJECT NO. 19,048	
DRAWN BY DP	APPROVED CCP	DATE 19.10.18
DRAWING NO.		

A101



1 WEST ELEVATION
A301 SCALE 1:40

FOR REVIEW ONLY.
NOT FOR CONSTRUCTION.

4.	19.10.18	MINOR VARIANCE APPLICATION
3.	19.10.10	HERITAGE REVIEW RE-SUBMISSION
2.	19.10.06	HERITAGE REVIEW RE-SUBMISSION
1.	19.07.02	HERITAGE REVIEW SUBMISSION
NO.	DATE	REVISION

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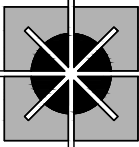
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PROJECT
PROPOSED BUILDING
ADDITION
209 MAIN STREET SOUTH,
NEWMARKET, ON

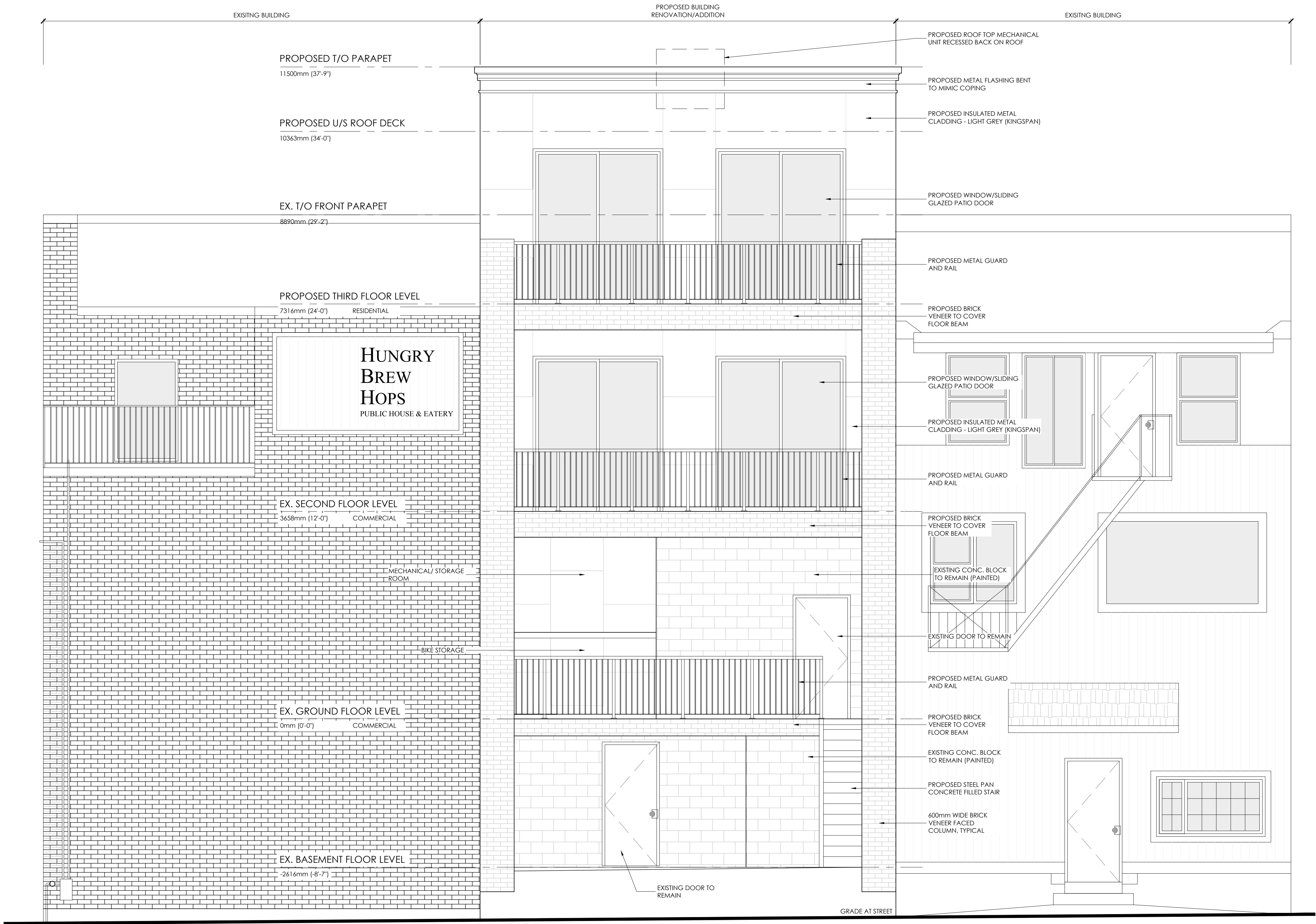
DRAWING TITLE
PROPOSED WEST ELEVATIONS

SCALE
AS SHOWN
PROJECT NO.
19,048

DRAWN BY
DP
APPROVED
CCP
DATE
19.10.18

DRAWING
NO.

A301



2 EAST ELEVATION
A302 SCALE 1:40

FOR REVIEW ONLY.
NOT FOR CONSTRUCTION.

NO.	DATE	REVISION
2.	19.10.18	MINOR VARIANCE APPLICATION
1.	19.07.03	HERITAGE REVIEW SUBMISSION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

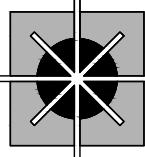
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PROJECT
PROPOSED BUILDING
ADDITION
209 MAIN STREET SOUTH,
NEWMARKET, ON

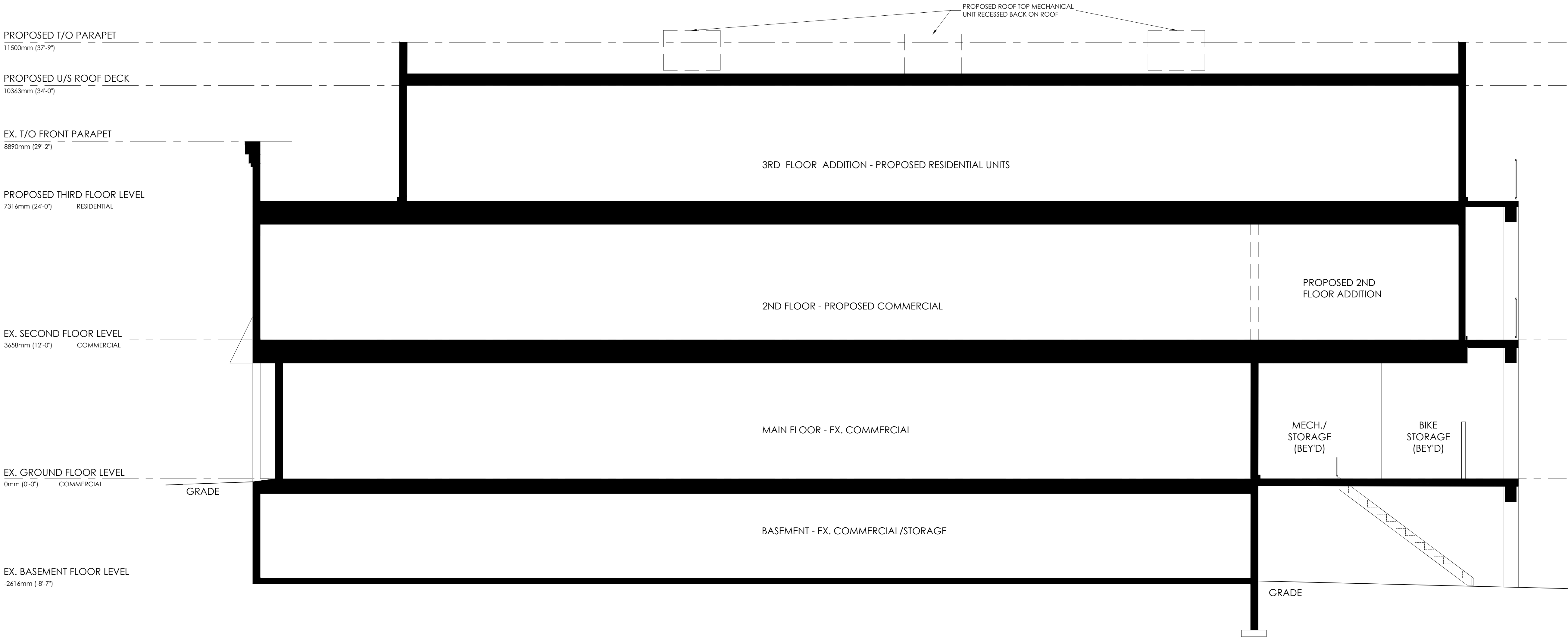
DRAWING TITLE
PROPOSED EAST ELEVATION

SCALE
AS SHOWN
PROJECT NO.
19.048

DRAWN BY DP	APPROVED CCP	DATE 19.10.18
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DRAWING
NO.

A302



1
A401 BUILDING SECTION - FACING NORTH
SCALE 1:60

FOR REVIEW ONLY.
NOT FOR CONSTRUCTION.

2.	19.10.18	MINOR VARIANCE APPLICATION
1.	19.07.03	HERITAGE REVIEW SUBMISSION
NO.	DATE	REVISION

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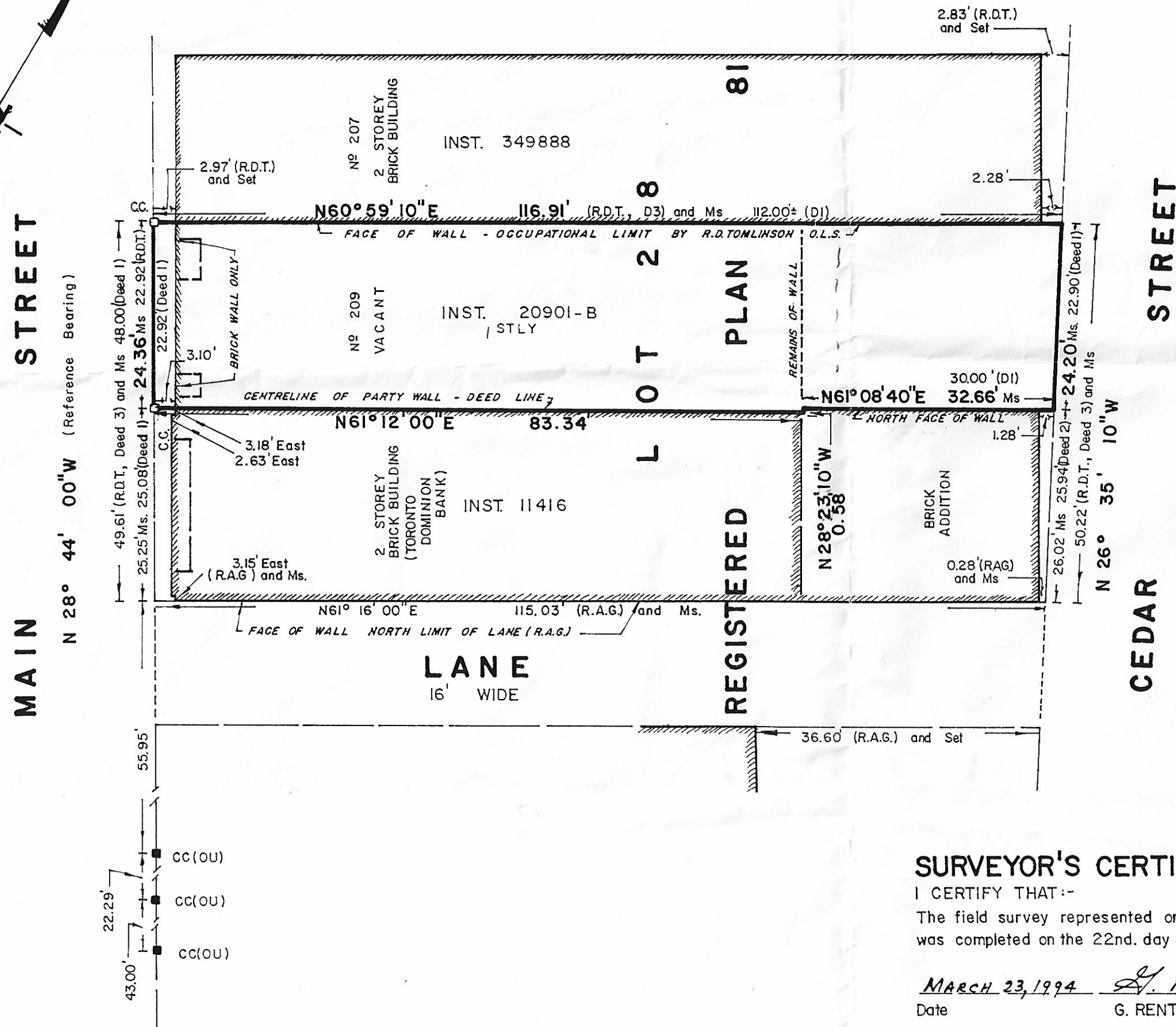


5B-8851 GEORGE BOLTON PKWY
BOLTON, ONT. L7E 2X8
647.588.1784
info@cspace.ca

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PROJECT PROPOSED BUILDING ADDITION 209 MAIN STREET SOUTH, NEWMARKET, ON		
DRAWING TITLE PROPOSED BUILDING SECTION - FACING NORTH		
SCALE AS SHOWN	PROJECT NO. 19,048	
DRAWN BY DP	APPROVED CCP	DATE 19.10.18
DRAWING NO.		

A401



Bearings are astronomic and are referred to the Easterly Limit of Main Street shown on a survey by R.D.Tomlinson Q.L.S., dated May 27, 1971, as having a bearing of N 28°44'00"W

This plan must be read in conjunction with Survey Report dated *MARCH 23, 1994.*

■	Denotes	Survey Monument Found
□	"	Survey Monument Set
CC	"	Cut Cross
R.D.T.	"	R. D. Tomlinson O.L.S.
RAG	"	R. A. Garden O.L.S.
Deed 1	"	Inst. 20901 - B
Deed 2	"	Inst. 11416
Deed 3	"	Inst. 349888
Ms	"	Measured
OU		Origin Unknown

I CERTIFY THAT:-

The field survey represented on this plan
was completed on the 22nd. day of. March 1994

MARCH 23, 1994 G. Rentis
Date G. RENTIS O.L.S.

G. RENTIS

ONTARIO LAND SURVEYOR
52 LAWRENCE AVENUE EAST
TORONTO ONTARIO
M4N 1S3 (416) 483-7889

Registration criteria

The following criteria must be met for a community to register an event in the Doors Open Ontario 2019 program:

- formation of an organizing committee; the committee should consist of a range of community partners, including (but not limited to) the heritage sector, cultural sector, tourism sector, municipal sector, corporate sector and community volunteers
- appointment of one lead contact by the local Doors Open organizing committee to co-ordinate, manage and act as liaison between the Ontario Heritage Trust and the participating community/community cluster
- selection of the single-day or two-day date(s) for your Doors Open event, to be held **between April 20, 2019 and October 26, 2019**
- a minimum of 10 sites to be open for public access on the date(s) chosen for your event
- participating sites must be of historical, architectural, natural or cultural significance
- admission to each participating site must be free to the public; sites that are normally open should consider opening an additional part of the property or arranging a special event or activity
- the support of Doors Open Ontario and the Ontario Heritage Trust must be acknowledged in all promotional and publicity materials produced for the local event
- submission of the [Registration form](#) and the \$1,695 (\$1,500 + HST) registration fee **by December 21, 2018**

What does your \$1,695 registration fee pay for?

Registration fees offset approximately 25 per cent of the costs incurred by the Trust to deliver Doors Open Ontario. These costs include:

- printing of the Doors Open Ontario brochure
- provincewide distribution of the brochure through local community newspapers
- production and distribution of other Doors Open Ontario promotional materials
- event descriptions and site listings on the Doors Open Ontario website
- promotion of the event through social media campaigns
- promotion of your event at major public Doors Open Ontario launch event
- Doors Open Ontario site signs
- promoting Doors Open Ontario events in advertisements
- Doors Open Ontario media releases
- access to Trust staff and expertise to support the creation of a successful event
- social media kit to support local outreach/promotions
- digital advertising campaign to engage an Ontario audience
- a [Doors Open Ontario video](#) to promote the program