



Town of Newmarket

Agenda

Committee of the Whole

Date: Monday, November 4, 2019
Time: 12:30 PM
Location: Council Chambers
Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

1. Additions & Corrections to the Agenda

Note: Additional items are marked by an asterisk*.

2. Declarations of Pecuniary Interest

3. Presentations & Recognitions

4. Deputations

*4.1 Prioritizing Cycling Infrastructure on Mulock Drive

Note: David Kempton will be in attendance to provide a deputation on this matter.
This deputation is related to item 5.5.

5. Consent Items

5.1 Site Specific Exemption to Interim Control By-law 2019-04 for 178 Parkview Crescent

1. That the report entitled Site Specific Exemption to Interim Control By-law 2019-04 for 178 Parkview Crescent dated November 4th, 2019 be received; and,
2. That Council approve the requested site-specific exemption to Interim Control By-law 2019-04 for 178 Parkview Crescent and adopt the attached exemption by-law.

5.2 Site Specific Exemption to Interim Control By-law 2019-04 for 844 Magnolia Avenue

1. That the report entitled Site Specific Exemption to Interim Control By-law

2019-04 for 844 Magnolia Avenue dated November 4th, 2019 be received; and,

2. That Council approve the requested site-specific exemption to Interim Control By-law 2019-04 for 844 Magnolia Avenue and adopt the attached exemption by-law.

5.3 Application for Zoning By-Law Amendment 247 and 251 Kathryn Crescent

1. That the report entitled Application for Zoning By-Law Amendment 247 and 251 Kathryn Crescent dated May 21, 2019 be received; and,
2. That application for Zoning By-Law amendment, as submitted by Kariminejad Nobari, for lands on the north side of Kathryn Crescent, be denied; and,
3. That Reza Hayati, Sunrise Constrade Corp., 7368 Yonge Street, Unit 210, Thornhill, L4J 8H9 be notified of this action.

*5.4 Request for Demolition Permit - 1075 Gorham Street

Note: Report entitled Drew Residence: Reasons for Designation, Humber College, 2002 is attached for information purposes.

1. That the report entitled Request for Demolition Permit - 1075 Gorham Street dated November 4, 2019 be received; and,
2. That the subject property known as 1075 Gorham Street be Designated under Part IV of the Ontario Heritage Act; and,
3. That Staff be authorized to publish and serve Council's Notice of Intention to Designate as per the requirements of the Ontario Heritage Act; and,
4. That if there are no objections to the designation in accordance with the provisions of the Ontario Heritage Act, Staff be authorized to place a designation by-law before Council for adoption; and,
5. That if there are any objections in accordance with the provisions of the Ontario Heritage Act, the Clerk be directed to refer the proposed designation to the Ontario Conservation Review Board; and,
6. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

5.5 Prioritizing Cycling Infrastructure on Mulock Drive

1. That the report entitled Prioritizing Cycling Infrastructure on Mulock Drive dated November 4, 2019 be received; and,
2. That the 5-year Active Transportation Implementation Plan now includes the

Mulock MUP as a priority; and,

3. That Staff proceed with a Feasibility Study and Design for the Mulock Drive multi-use path (MUP); and,
4. That funding sources be sought from York Region, or from provincial and federal grant programs for the study, design and construction of the Mulock MUP; and,
5. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

5.6 Electric Vehicle Charging Station Project – Notification of Ontario Power Generation (OPG) Grant Partnership

1. That the report entitled Electric Vehicle Charging Station Project – Notification of OPG Grant Partnership Submission dated November 4, 2019 be received; and,
2. That Council supports Newmarket's inclusion in Ontario Power Generation's (OPG) grant application to Natural Resources Canada's Zero-Emissions Vehicle Infrastructure Program (ZEVIP) to apply for funding to purchase and install electric vehicle charging stations in public parking locations owned by the Town; and,
3. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

5.7 Parking Enforcement Initiative – Pay It Forward Program

1. That the report entitled Parking Enforcement Initiative – Pay It Forward Program dated November 4, 2019 be received; and,
2. That Council approve staff initiating a Pay It Forward program in lieu of a monetary fine for parking enforcement at various times throughout the year; and,
3. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

5.8 Heritage Newmarket Advisory Committee Meeting Minutes of September 3, 2019

1. That the Heritage Newmarket Advisory Committee Meeting Minutes of September 3, 2019 be received.

5.9 Appointment Committee Meeting Minutes of September 3, 2019

1. That the Appointment Committee Meeting Minutes of September 3, 2019 be received.

5.10 Appointment Committee Meeting (Closed Session) Minutes of September 3, 2019

1. That the Appointment Committee Meeting (Closed Session) Minutes of September 3, 2019 be received.

5.11 Main Street District Business Improvement Area Board of Management Meeting Minutes of September 18, 2019

1. That the Main Street District Business Improvement Area Board of Management Meeting Minutes of September 18, 2019 be received.

5.12 Newmarket Public Library Board Meeting Minutes of September 18, 2019

1. That the Newmarket Public Library Board Meeting Minutes of September 18, 2019 be received.

5.13 Outstanding Matters List

1. That the list of outstanding matters be received.

*5.14 Petition regarding Traffic Calming Measures/Speed Mitigation at William Roe Boulevard and Dixon Boulevard

The Strategic Leadership Team/Operational Leadership Team recommend:

1. That the petition regarding Traffic Calming Measures/Speed Mitigation at William Roe Boulevard and Dixon Boulevard be referred to Staff.

6. Action Items

7. Reports by Regional Representatives

8. Notices of Motions

9. Motions

9.1 Indigenous Land Recognition Plaque (Mayor Taylor)

1. That Council direct staff to work with Indigenous community members living in Newmarket to create a land recognition statement to be permanently installed on the front of the Town Offices on National Indigenous Peoples Day 2020.

10. New Business

11. Closed Session (if required)

12. Public Hearing Matter

None.

13. Adjournment

Deputation and Further Notice Request Form

Please complete this form to speak at a meeting of Town Council or Committee of the Whole or to receive further notification regarding an item on the agenda. If filling out by hand please print clearly.

Please email to clerks@newmarket.ca, fax to 905-953-5100 or mail or drop off at Legislative Services Department, Town of Newmarket Municipal Offices, 395 Mulock Drive, PO Box 328, STN Main, L3Y 4X7

Name: David Kempton	
Organization / Group/ Business represented: Cycle Newmarket	
Address: [REDACTED]	Postal Code: [REDACTED]
Daytime Phone No: [REDACTED]	Home Phone:
Email: [REDACTED]	Date of Meeting: Nov. 4
Is this an item on the Agenda? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Agenda Item No: Consent Item 5.5
<input type="checkbox"/> I request future notification of meetings	<input checked="" type="checkbox"/> I wish to address Council / Committee
Describe in detail the reason for the deputation and what action you will be asking Council/Committee to take (if applicable): We wish to provide comment regarding Item 5.5: Prioritizing Cycling Infrastructure on Mulock Drive.	
Do you wish to provide a written or electronic communication or background information <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Please submit all materials at least 5 days before the meeting.	

Deputation Guidelines:

- Deputations related to items on the agenda can be accommodated up to and including the meeting day;
- Deputations related to items not on the agenda may be scheduled within sixty (60) days of receipt of this form;
- Deputations will not be heard on a matter decided upon by Council until ninety (90) days have passed from the date of the matter's disposition by Council;
- Deputations are limited to 5 minutes.

Be advised that all Council and Committee of the Whole meetings are audio-video recorded and live streamed online. If you make a presentation to Council or Committee of the Whole, your presentation becomes part of the public record and you will be listed as a presenter in the minutes of the meeting. We post our minutes online, so the listing of your name in connection with the agenda item may be indexed by search engines like Google.

Personal information on this form will be used for the purposes of sending correspondence relating to matters before Council. Your name, address, comments, and any other personal information, is collected and maintained for the purpose of creating a record that is available to the general public in a hard copy format and on the internet in an electronic format pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M.56, as amended. Questions about this collection should be directed to the Director of Legislative Services/Town Clerk, Town of Newmarket, 395 Mulock Drive, P.O. Box 328, STN Main, Newmarket, ON L3Y 4X7; Telephone 905 895-5193 Ext. 2211 Fax 905-953-5100



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Site Specific Exemption to Interim Control By-law 2019-04 for 178 Parkview Crescent

Staff Report to Council

Report Number: 2019-103

Department(s): Planning and Building Services

Author(s): A. Slattery

Meeting Date: November 4, 2019

Recommendations

1. That the report entitled Site Specific Exemption to Interim Control By-law 2019-04 for 178 Parkview Crescent dated November 4th, 2019 be received; and,
2. That Council approve the requested site-specific exemption to Interim Control by-law 2019-04 for 178 Parkview Crescent and adopt the attached exemption by-law.

Purpose

The purpose of this report is to recommend to Council the approval of a site specific amendment to Interim Control By-law 2019-04 for subject property 178 Parkview Crescent.

Background

Council passed Interim Control By-law 2019-04 on January 21, 2019. On May 27, 2019 Council approved a Site Specific Exemption Process for Interim Control By-law 2019-04. The exemption process consists of the review of proposed residential dwellings or additions within the subject area of the Interim Control By-law on a case-by-case basis, to determine their compatibility with existing neighbourhood character. Council approval is required to grant a site-specific exception from the Interim Control By-law.

Discussion

On September 9th, 2019, Planning Services received a request for exemption from Interim Control By-law 2019-04, for subject property 178 Parkview Crescent. The applicant is proposing to add a single-storey addition to the rear of the existing dwelling, and an attached garage to the side of the existing dwelling. The proposed attached garage will replace an existing detached garage and shed.

A map of the subject property can be found attached to this report.

The proposed single-storey rear addition would increase the gross floor area of the entire dwelling from approximately 103.44 square metres to approximately 144.27 square metres. The addition will not increase the height of the dwelling. The proposed attached garage would be approximately 72.49 square metres in size.

Interim Control By-law 2019-04 prohibits the expansion of gross floor area of residential dwellings by 25% or more. The proposed addition would expand the gross floor area of the existing dwelling by approximately 39%.

The proposal can be found attached to this report.

Staff have reviewed the proposal and provide the following comments based on the exemption process as approved by Council.

Physical Character

- The subject property is zoned Residential Exception (R1-D-119) Zone which permits a maximum lot coverage of 35% for a single-storey dwelling. The proposed addition and attached garage will increase the lot coverage to approximately 29%.
- The proposed addition will not alter roof lines, or the height of the dwelling, and is consistent with existing slopes, ridges and rooflines of the neighbouring properties.
- The proposed single-storey addition will result in a dwelling consistent in size with neighbouring properties.
- The proposed addition will meet all zoning requirements of the R1-D-119 Zone, including yard setbacks, height and lot coverage requirements.
- The proposed attached garage will be replacing an existing shed and detached garage, and will be setback further from the side lot line than the existing structures.
- The proposed addition and attached garage will be appropriate relative to the size of the lot.
- The proposed dwelling and garage will not result in over-development of the lot.

Streetscape Character

- The design of the proposed addition (style, height, mass) will result in a dwelling in-keeping with the existing character of the neighbourhood, which is comprised of moderately-sized single-storey dwellings along Parkview Crescent.
- The proposed addition will be constructed to the rear of the existing dwelling, and the proposed attached garage will not be closer to the front lot line than the front main wall of the existing dwelling, maintaining existing sight lines and a uniform built form.
- The proposed dwelling will not significantly change the character of the streetscape, which is comprised of moderately-sized single-storey dwellings.

Town staff are of the opinion that the proposed dwelling will not compromise the character of the neighbourhood. As such, staff recommend that the request for exemption of 178 Parkview Crescent from Interim Control By-law 2019-04 be approved by Council, and that the attached by-law be adopted.

Conclusion

It is recommended that Council grant a site-specific exception for 178 Parkview Crescent, Newmarket, from Interim Control By-law 2019-04 by adopting the attached exemption by-law.

Business Plan and Strategic Plan Linkages

The proposed development supports Council's 2018-2022 Strategic Priorities which aim to ensure a thriving community that is supportive of community engagement.

Consultation

Planning staff have circulated the exemption request to abutting and adjacent property owners, as per the Council-approved exemption process for Interim Control By-law 2019-04. Staff have not received any objections to the proposal.

Human Resource Considerations

N/A

Budget Impact

There is no budget impact associated with this report.

Attachments

- Location Map
- Proposal

- Proposed By-law

Approval

Jason Unger, Acting Director of Planning & Building Services

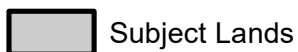
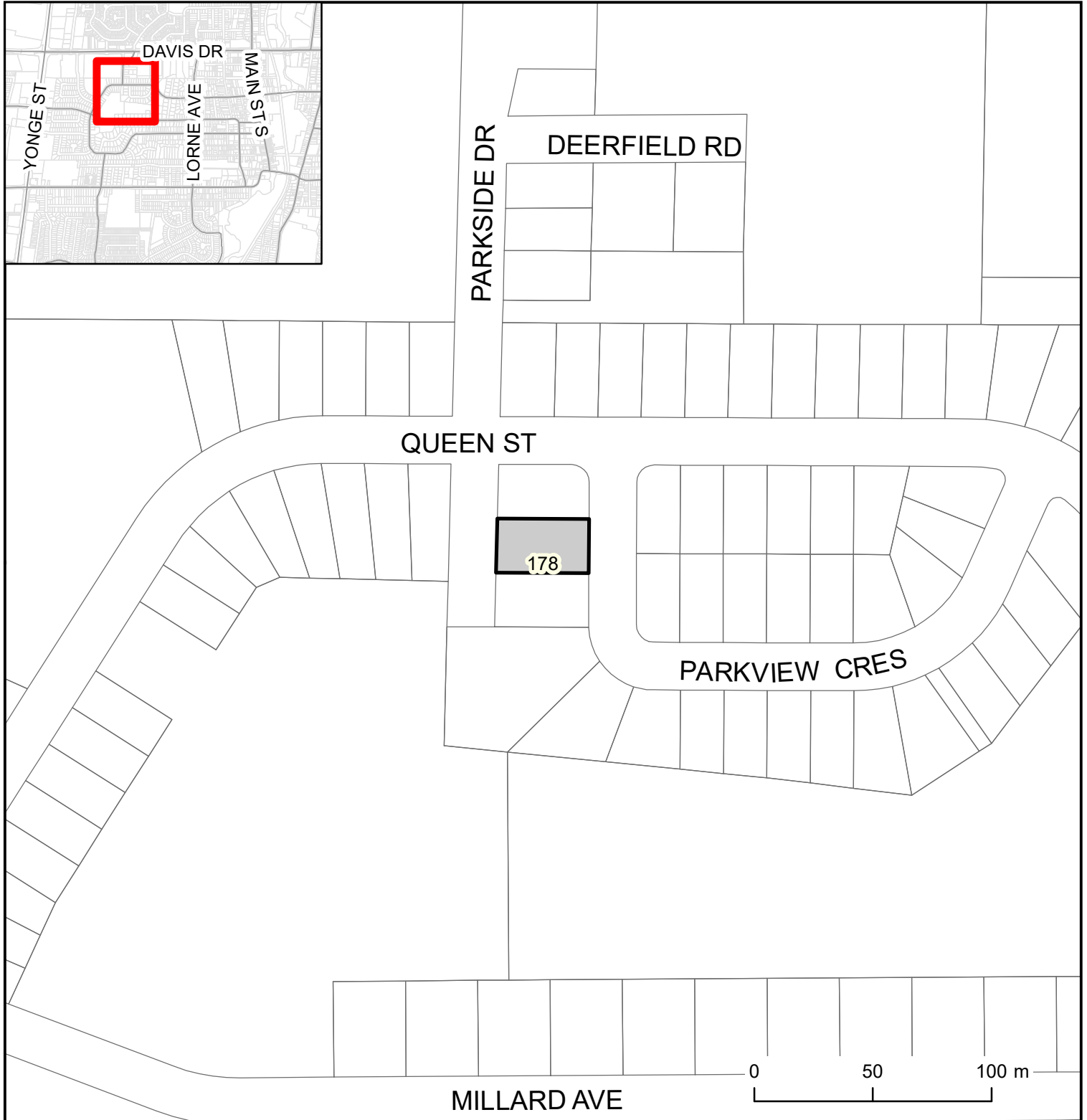
Peter Noehammer, Commissioner of Development & Infrastructure Services

Contact

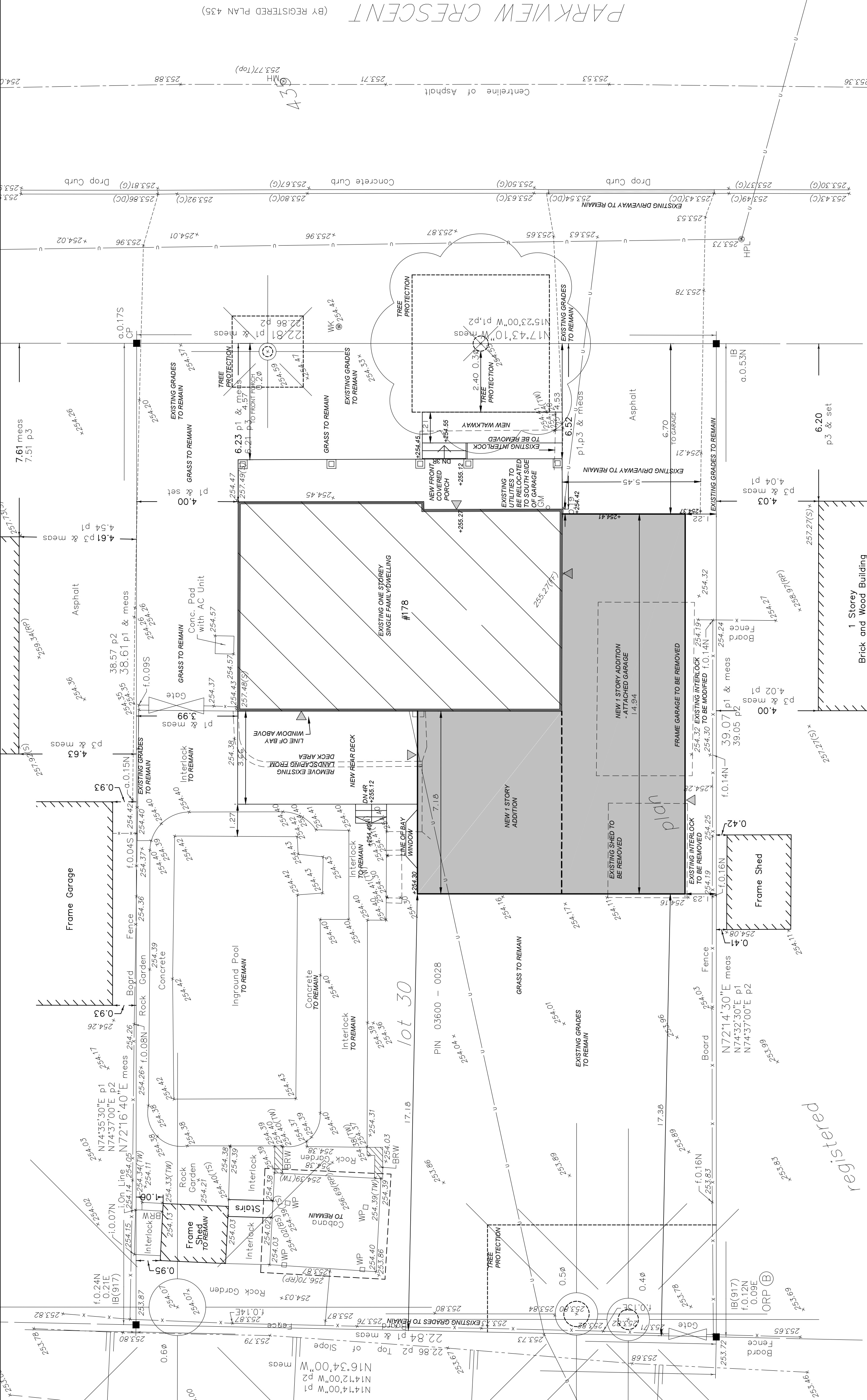
Alannah Slattery, Planner & Secretary Treasurer aslattery@newmarket.ca

LOCATION MAP

178 PARKVIEW CRESCENT



ALL CONSULTANTS AND CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF FIRST STEP DESIGN LTD. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF FIRST STEP DESIGN. THE DRAWING IS NOT ISSUED FOR BUILDING PERMIT UNLESS IT IS STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF FIRST STEP DESIGN. DO NOT SCALE DRAWING.



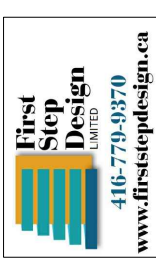
1 SITE PLAN
Scale: 1:100

This Site Plan is based on a SURVEYORS REAL PROPERTY REPORT Plan prepared by LLOYD & PURCELL ONTARIO LAND SURVEYORS dated XXXXXX 2019

2 SITE STATISTICS
Town of Newmarket Zoning By-law 2010-40 Consolidated Dec. 2013
R1-D - 119

LOT AREA:	PERMITTED	PROPOSED
885.85 m ²		
MAXIMUM LOT COVERAGE	1 storey 35% 310.04 m ²	EXISTING DWELLING 103.44 m ² PROPOSED ADDITION 40.83 m ² PROPOSED GARAGE 72.49 m ² PROPOSED FRONT PORCH 22.89 m ² FRAME SHED 5.78 m ² CABANA 15.27 m ² TOTAL LOT COVERAGE 260.70 m ² = 29.4%
SETBACKS	PERMITTED	PROPOSED
FRONT (EAST) YARD	6.9 m between average of neighbours	6.23 m EXISTING TO REMAIN 4.53 m TO FRONT PORCH
NORTH SIDE YARD	1.2 m	3.99 EXISTING TO REMAIN
SOUTH SIDE YARD	1.2 m	1.2 m
REAR (WEST) YARD	7.5 m	17.18 m
CALCULATION OF FRONT AVERAGE GRADE		
	1 254.37 2 254.42 3 254.45 4 254.47	
FRONT AVERAGE GRADE		

MAX. HEIGHT FROM FRONT GRADE	PERMITTED	PROPOSED
8.5 m		7.16 m TOP OF ROOF 281.59
CALCULATION OF FINISHED OVERALL AVERAGE GRADE		
	1 254.37 2 254.42 3 254.45 4 254.47 5 254.43 6 254.30 7 254.16 8 254.16	
FINISHED OVERALL AVERAGE GRADE		254.35
MAX. HEIGHT FROM OVERALL GRADE	PERMITTED	PROPOSED
8.5 m		7.24 m TOP OF ROOF 281.59



PROJECT ADDRESS:
178 PARKVIEW CRES.
NEWMARKET, ON

DRAWING TITLE:
SITE PLAN

PROJECT NUMBER:
1532

DRAWN BY:
CH

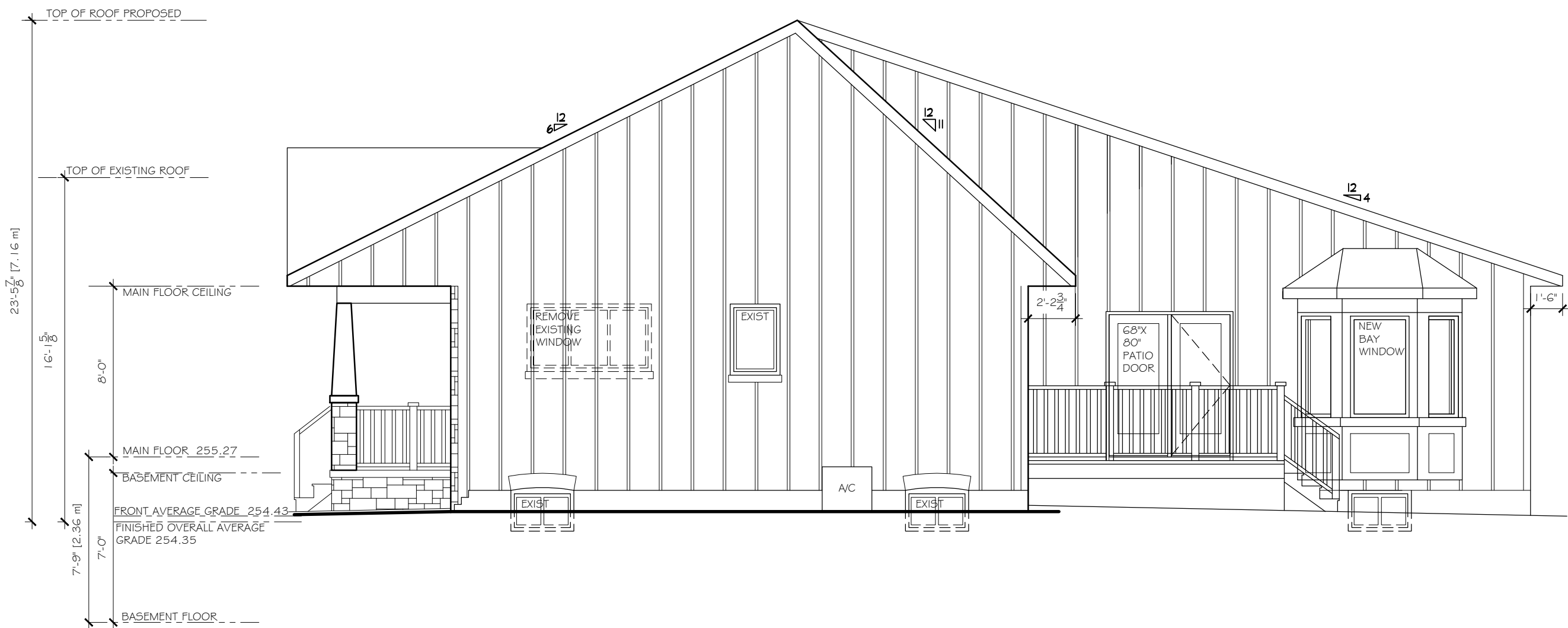
DATE:
JUNE 2019

SCALE:
1:100

DRAWING NUMBER:
A-1.0



1 EAST (FRONT) ELEVATION
Scale: 3/16" = 1'-0"



1 NORTH ELEVATION
Scale: 3/16" = 1'-0"

4	2019 - 08 - 27	ISSUED FOR REVIEW
3	2019 - 08 - 08	ISSUED FOR REVIEW
2	2019 - 07 - 18	ISSUED FOR REVIEW
1	2019 - 06 - 25	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION

REVISIONS	
NORTH	



PROJECT ADDRESS:
178 PARKVIEW CRES.
NEWMARKET, ON

DRAWING TITLE:
PROPOSED EAST AND NORTH
ELEVATIONS

PROJECT NUMBER: 1932

DRAWN BY: CM

DATE: JUNE 2019

SCALE: 3/16" = 1'-0"

DRAWING NUMBER:

A-3.1



Corporation of the Town of Newmarket

By-law 2019-

A By-law to grant a site specific exemption for the property with the Municipal address of 178 Parkview Crescent, Newmarket, from Interim Control By-law 2019-04.

WHEREAS on January 21, 2019, Council for the Town of Newmarket enacted Interim Control By-law No. 2019-04 to control the erection of, or additions resulting in, any large scale dwellings within defined areas of the Town of Newmarket.

AND WHEREAS on November 4, 2019 Newmarket Council considered a request for an exemption to Interim Control by-law 2019-04 for the property with the Municipal Address of 178 Parkview Crescent.

NOW, THEREFORE, BE IT RESOLVED THAT THE COUNCIL OF THE CORPORATION OF THE TOWN OF NEWMARKET ENACTS AS FOLLOWS:

1. Interim Control By-law 2019-04 is hereby amended by adding the following section:

9b. Notwithstanding Section 1 of this By-law, on the lands described as 178 Parkview Crescent, Newmarket, there shall be permitted the construction of an attached garage, and the addition of a single-storey addition resulting in a total Gross Floor Area not exceeding 145 square metres.

Enacted this 4th day of November, 2019.

John Taylor, Mayor

Lisa Lyons, Town Clerk



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Site Specific Exemption to Interim Control By-law 2019-04 for 844 Magnolia Avenue Staff Report to Council

Report Number: 2019-104

Department(s): Planning and Building Services

Author(s): A. Slattery

Meeting Date: November 4, 2019

Recommendations

1. That the report entitled Site Specific Exemption to Interim Control By-law 2019-04 for 844 Magnolia Avenue dated November 4th, 2019 be received; and,
2. That Council approve the requested site-specific exemption to Interim Control by-law 2019-04 for 844 Magnolia Avenue and adopt the attached exemption by-law.

Purpose

The purpose of this report is to recommend to Council the approval of a site specific amendment to Interim Control By-law 2019-04 for subject property 844 Magnolia Avenue.

Background

Council passed Interim Control By-law 2019-04 on January 21, 2019. On May 27, 2019 Council approved a Site Specific Exemption Process for Interim Control By-law 2019-04. The exemption process consists of the review of proposed residential dwellings or additions within the subject area of the Interim Control By-law on a case-by-case basis, to determine their compatibility with existing neighbourhood character. Council approval is required to grant a site-specific exception from the Interim Control By-law.

Discussion

On September 17th, 2019, Planning Services received a request for exemption from Interim Control By-law 2019-04, for subject property 844 Magnolia Avenue. The applicant is proposing to add a second storey addition to the existing single-storey dwelling.

A map of the subject property can be found attached to this report.

The proposed second-storey addition would increase the gross floor area of the entire dwelling from approximately 174.1 square metres to approximately 320.9 square metres. The proposed addition would increase the building height from approximately 5 metres to approximately 8.6 metres.

Interim Control By-law 2019-04 prohibits the expansion of gross floor area of residential dwellings by 25% or more. The proposed addition would expand the gross floor area of the existing dwelling by approximately 84%.

The proposal can be found attached to this report.

Staff have reviewed the proposal and provide the following comments based on the exemption process as approved by Council.

Physical Character

- The subject property is zoned Residential (R1-D) Zone which permits a maximum height of 10.7 metres for a two-storey dwelling. The proposed addition will increase the dwelling height to approximately 8.6 metres.
- The design of the roof of the proposed addition is consistent with existing slopes, ridges and rooflines of the neighbouring properties.
- Although the proposed re-construction will increase the gross floor area from 174.1 square metres to 320.9 square metres, the dwelling will be appropriate relative to the size of the lot.
- The proposed second-storey addition will result in a dwelling consistent in size with neighbouring properties.
- The proposed dwelling will meet all zoning requirements of the R1-D Zone, including yard setbacks, height and coverage requirements.
- The proposed dwelling will not result in over-development of the lot.

Streetscape Character

- The design of the proposed dwelling (style, height, mass) will result in a dwelling in-keeping with the existing character of the neighbourhood, which is comprised of moderately-sized single- and two-storey dwellings along Magnolia Avenue.
- The proposed addition will not negatively impact existing street lines.

- The proposed dwelling will not significantly change the character of the streetscape, which is comprised of moderately-sized single- and two-storey dwellings.
- The dwelling is largely obstructed by mature vegetation, reducing visual impacts from street view.

Town staff are of the opinion that the proposed second-storey addition will not compromise the character of the neighbourhood. As such, staff recommend that the request for exemption of 844 Magnolia Avenue from Interim Control By-law 2019-04 be approved by Council, and that the attached by-law be adopted.

Conclusion

It is recommended that Council grant a site-specific exception for 844 Magnolia Avenue, Newmarket, from Interim Control By-law 2019-04 by adopting the attached exemption by-law.

Business Plan and Strategic Plan Linkages

The proposed development supports Council's 2018-2022 Strategic Priorities which aim to ensure a thriving community that is supportive of community engagement.

Consultation

Planning staff have circulated the exemption request to abutting and adjacent property owners, as per the Council-approved exemption process for Interim Control By-law 2019-04. Staff have not received any objections to the proposal.

Human Resource Considerations

N/A

Budget Impact

There is no budget impact associated with this report.

Attachments

- Location Map
- Proposal
- Proposed By-law

Approval

Jason Unger, Acting Director of Planning & Building Services

Site Specific Exemption to Interim Control By-law 2019-04 for 844 Magnolia Avenue

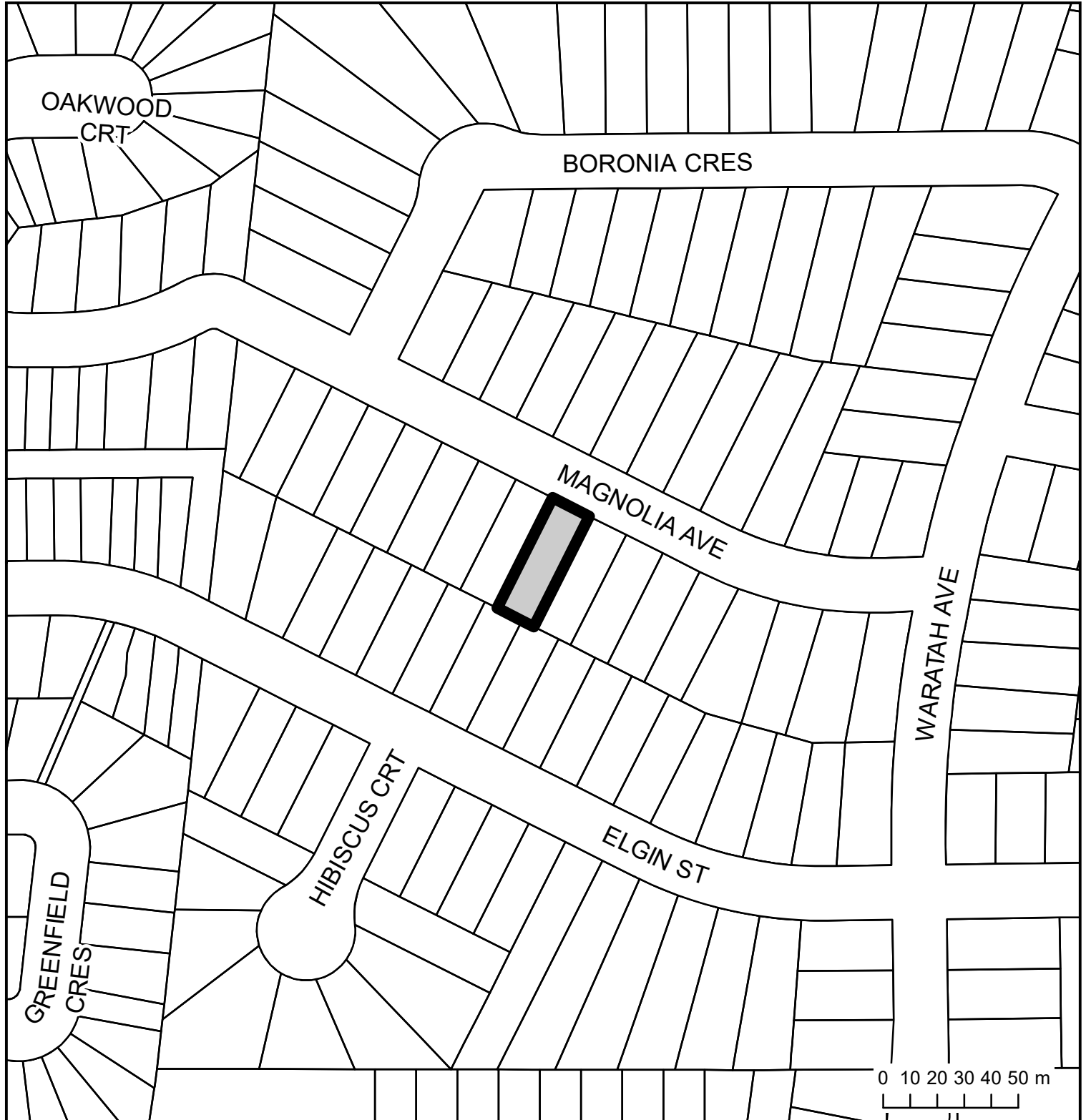
Peter Noehammer, Commissioner of Development & Infrastructure Services

Contact

Alannah Slattery, Planner & Secretary Treasurer aslattery@newmarket.ca

LOCATION MAP

844 Magnolia Ave

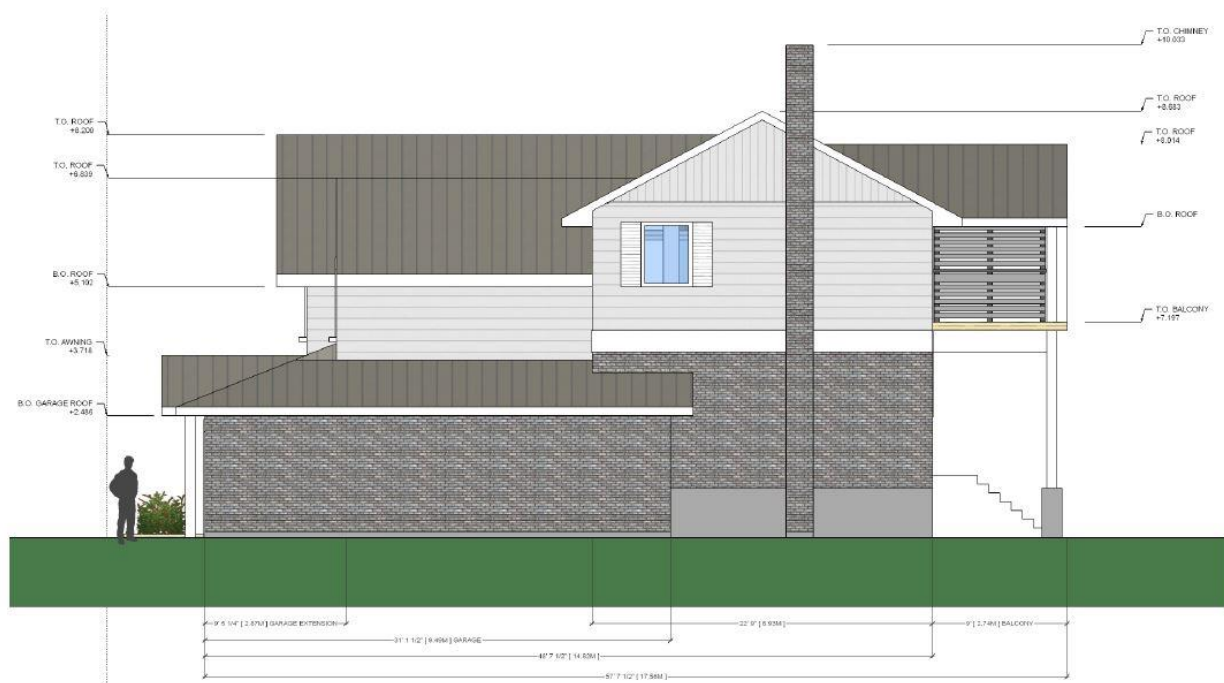


Subject Lands



TOWN OF NEWMARKET PLANNING DEPARTMENT







Corporation of the Town of Newmarket

By-law 2019-

A By-law to grant a site specific exemption for the property with the Municipal address of 844 Magnolia Avenue, Newmarket, from Interim Control By-law 2019-04.

WHEREAS on January 21, 2019. Council for the Town of Newmarket enacted Interim Control By-law No. 2019-04 to control the erection of, or additions resulting in, any large scale dwellings within defined areas of the Town of Newmarket.

AND WHEREAS on November 4, 2019 Newmarket Council considered a request for an exemption to Interim Control by-law 2019-04 for the property with the Municipal Address of 844 Magnolia Avenue.

NOW, THEREFORE, BE IT RESOLVED THAT THE COUNCIL OF THE CORPORATION OF THE TOWN OF NEWMARKET ENACTS AS FOLLOWS:

1. Interim Control By-law 2019-04 is hereby amended by adding the following section:

9b. Notwithstanding Section 1 of this By-law, on the lands described as 844 Magnolia Avenue, Newmarket, there shall be permitted the construction of a second-storey addition to the existing dwelling, resulting in a total Gross Floor Area not exceeding 325 square metres.

Enacted this 4th day of November, 2019.

John Taylor, Mayor

Lisa Lyons, Town Clerk



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Application for Zoning By-Law Amendment 247 and 251 Kathryn Crescent Staff Report to Council

Report Number: 2019-105

Department(s): Planning Services

Author(s): Dave Ruggle

Meeting Date: November 4, 2019

Recommendations

1. That the report entitled Application for Zoning By-Law Amendment 247 and 251 Kathryn Crescent dated May 21, 2019 be received; and,
2. That application for Zoning By-Law amendment, as submitted by Kariminejad Nobari, for lands on the north side of Kathryn Crescent, be denied; and,
3. That Reza Hayati, Sunrise Constrade Corp., 7368 Yonge Street, Unit 210, Thornhill, L4J 8H9 be notified of this action.

Executive Summary

Staff have reviewed the development proposal for the subject lands against the relevant Provincial, Regional and local policy documents. As the application for Zoning Bylaw amendment to facilitate the two lots at 247 and 251 Kathryn Crescent to be divided, permitting the development of 3 two storey dwellings on 3 lots with 12.19 metres frontage, lot areas between 395 and 400 square metres and reduced side yard setbacks is, in the opinion of staff, not consistent with the intent of the compatibility policies of the Official Plan, staff recommends that Council deny this application for the reasons outlined in this report.

Purpose

The purpose of this report is to provide Council with the details of the application, the comments received, the planning framework, and to make a final recommendation for Council's consideration.

Background

An application for Zoning By-Law Amendment has been submitted by Siavash Kariminejad Nobari, Zahar Kariminejad Nobari and Faras Kariminejad Nobari (Kariminejad Nobari) to rezone the subject land from the Residential Detached Dwelling 15m (R1-D-119) zone to the Residential Detached Dwelling 12m (R1-E) zone to facilitate the division of these two lots into three separate building lots for single detached dwellings generally as shown on the attached conceptual development plan. If this rezoning application is approved, the applicant will be required to apply for consent to sever the property. A public meeting has taken place on August 26, 2019 where a number of residents provided comments on the proposal.

Discussion

Site Description

- The Subject lands currently contain two single storey, single detached dwellings, both with a ground floor area of approximately 120 metres.
- 247 Kathryn Crescent has a lot area of approximately 610m²
251 Kathryn Crescent has a lot area of approximately 585m²
- There are 5 mature trees on the subject lands. One significant tree in the front yard is proposed to be removed (discussed further in this report)
- The surrounding land uses are:
 - North: Low density residential on Kathryn Crescent and Avenue Road
 - South: Low density residential on Kathryn Crescent, some commercial and service uses on Eagle Street
 - West/East: Existing low density residential

Policy Review

A Place to Grow (2019)

A Place to Grow is the growth plan for the greater golden horseshoe designed to support economic prosperity, protect the environment and help communities achieve a high quality of life. In this Plan, growth is directed to settlement areas and focused in delineated built up and strategic growth areas. The Town of Newmarket Official Plan identifies growth areas and intensification targets for the Urban Centres and provides guidance and criteria for the type of intensification that will be seen in the stable and emerging residential areas. The implementation of A Place to Grow is through upper tier, single tier and local municipal Official Plans.

Provincial Policy Statement

The Provincial Policy Statement provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario's policy-led planning system, the Provincial Policy Statement sets the policy foundation for regulating the development and use of land. It also supports the provincial goal to enhance the quality of life for the citizens of Ontario.

The Provincial Policy Statement provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment. The Provincial Policy Statement supports improved land use planning and management, which contributes to a more effective and efficient land use planning system.

The Town of Newmarket is considered a "Settlement Area" for the purposes of the PPS and indicates that Settlement Areas shall be the focus of growth and development. The PPS indicates that planning authorities shall identify appropriate locations for intensification and redevelopment. Through the Official Plan the Town has identified intensification areas and identified the types of intensification that may occur in residential areas subject to compatibility criteria.

This proposal fails to fully satisfy the requirement of the PPS and A Place to Grow as the proposal does not conform to the Official Plan policies relating to compatibility.

Official Plan Considerations

The Subject Property is designated Stable Residential on Schedule A - Land Use Plan to the Town's Official Plan. The main objectives of the Stable Residential designation are to sustain and enhance the character and identity of existing residential communities as well as encourage the preservation and maintenance of existing housing stock.

Section 3.9 of the Official Plan indicates that infill units through the creation of new lots consistent with the size and form of housing in the neighbourhood as a whole is a permitted form of intensification within the Stable Residential designation. The creation of new lots for the purpose of infilling shall be permitted subject to compatibility with the scale of the surrounding neighbourhood, the physical suitability of the site to accommodate the proposal, availability of hard services and road access requirements.

As the proposed rezoning is intended to facilitate consent applications to create a total of 3 building lots, compliance with Section 16.1.5 Consents is required. This section indicates that applications for consents shall only be granted where:

- a. the severance is for the purpose of infilling within existing development;
- b. a plan of subdivision is not necessary;
- c. the number of lots created is three or less;
- d. the lot can be adequately serviced by sanitary sewage disposal, water supply, and storm drainage facilities;
- e. no extension, improvement or assumption of municipal services is required;

- f. the lot will have frontage on an improved public road, and access will not result in traffic hazards;
- g. the lot will not restrict the ultimate development of adjacent lands;
- h. the size and shape of the lot conforms with the requirements of the Zoning By-law, is appropriate to the use proposed and compatible with adjacent lots; and,**
- i. the consent complies with all relevant provisions of this Plan.**

Section 16.1.1 of the Official Plan discusses the items that need to be considered by Council when considering an amendment to the zoning bylaw:

- a. the proposed change is in conformity with this Plan;**
- b. the proposed uses are compatible with adjacent uses, and where necessary, buffering is provided to ensure visual separation and compatibility between uses;**
- c. potential nuisance effects upon adjacent uses are mitigated;
- d. adequate municipal services are available;
- e. the size of the lot is appropriate for the proposed uses;**
- f. the site has adequate road access and the boundary roads can accommodate the traffic generated;
- g. the on-site parking, loading and circulation facilities are adequate; and,
- h. public notice has been given in accordance with the Planning Act.

In reviewing the above considerations, it is apparent that this proposal is primarily an exercise in compatibility as there are no servicing issues, onsite parking can be accommodated and the legislative process has been adhered to. Staff have identified policies of the Official Plan above to which the proposed amendment does not appear to conform – namely, that the proposed development is not compatible with the adjacent uses and that the size of the lot is not appropriate for the proposed uses.

The question of compatibility is one that requires consideration of the surrounding context of land use and built form. Different land uses can exist in proximity and be compatible, whether the use is defined by difference of activities or of built form. When new development is proposed to create land uses that differ in type and built form, the Town's Official Plan directs that they be designed in context with the existing built environment; new development should take into consideration the size, scale, and orientation of buildings in relation to surrounding conditions. The proposed development, while still comprised of single detached structures on individual lots, does not represent an appropriate consideration of the existing built form based on the proposed size of the structures and lots, and thus is not compatible.

Based on the available information, it does not appear that the proposed development meets the requirements of the policies identified above in bold.

Established Neighbourhoods Compatibility Study and Interim Control By-Law

As noted above, section 3.9 of the Official Plan indicates that infill units through the creation of new lots consistent with the size and form of housing in the neighbourhood as a whole is a permitted form of intensification within the Stable Residential designation. This is to ensure that the creation of new lots is compatible with the scale of the surrounding neighbourhood. This is further discussed under “Compatibility” below.

The Town’s Official Plan is, in part, a response to the Provincial Growth Plan and as such has identified areas for intensification, being the Provincial Urban Centre, the Regional Urban Centre and the Historic Downtown Centre. The majority of the existing residential areas in Newmarket are designated Stable Residential, which, according to the Plan, will see limited intensification.

As residential trends in Newmarket are shifting from suburban growth to urban intensification and redevelopment, concerns have been raised regarding the compatibility of new homes or additions to existing homes that comply with the current zoning by-law regulations, but are considered to be out of character with the built form of the established neighbourhoods in which they are located.

One of the fundamental objectives of planning and zoning is to ensure compatibility between properties and land uses. Compatibility is achieved in part by regulating land use and built form.

Council directed staff to initiate a study of existing established neighbourhoods to examine the regulatory framework of the Town's Zoning By-law and Official Plan and propose recommendations for amendments that will assist in maintaining the existing character of the neighbourhoods. This study is anticipated to be complete in the first quarter of 2020 with new policies related to character compatibility being recommended for Council approval.

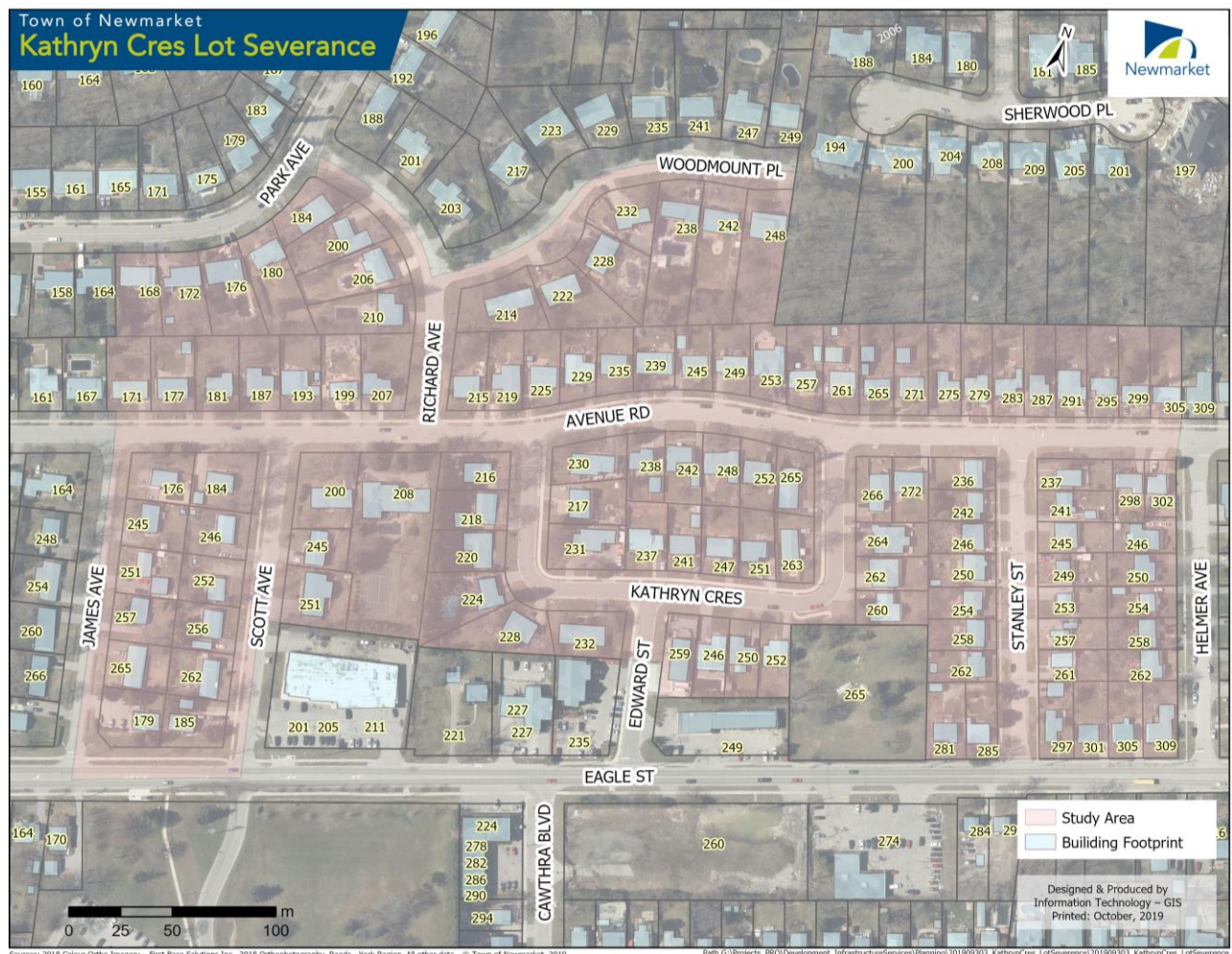
Interim Control By-law (ICB) 2019-04, which regulates new residential buildings and additions, was passed by Town Council on January 21, 2019 and is a temporary by-law put in place while Council studies the issues of compatibility in established neighbourhoods. Council directed staff to bring forward the by-law to prevent significant new residential dwellings and additions until such time as they implement new policies to address the issue. The intent is that the neighbourhoods will be defined and studied to determine the important aspects and characteristics of the neighbourhoods, and to draft policies and standards for new buildings and additions in an attempt to ensure compatibility with the existing homes.

As this application for Zoning By-Law Amendment was submitted and declared complete prior to the enactment of the Interim Control By-law, it is not subject to the ICB policies.

Compatibility and Zone Standards

The existing neighbourhood is predominantly low density residential with a majority of single detached dwellings. There are various small scale commercial establishments along Eagle Street as well as some institutional uses including the pioneer cemetery to the south. A new townhouse development is currently under construction on Eagle Street to the south of this proposal.

To assist in the review of this proposal, a neighbourhood analysis has been completed looking at lot dimensions, frontage and coverage, along with heights, setbacks and prominent features. The area of this neighbourhood analysis is shown below, and consists of approximately 110 properties.



The central issue of this application is whether the creation of three lots and the development of a detached dwelling on each, will be consistent with the established character, lot pattern and prevailing built form of the neighbourhood.

Lot Sizes – maintaining consistent lot sizes in a neighbourhood contributes to its character. Within the study area, the lot areas range from 417.77sq.m. to 3355.39sq.m. When removing the one lot at 208 Avenue Road as a significant outlier, the average lot

size is 647.5sq.m. The application proposes 3 lots with areas of approximately 400 square metres each.

Lot frontages – There is a considerable range of lot frontages in the study area with the smallest lot frontage being 14.87m. There are 6 dwellings with a frontage of approximately 15m, there are 39 lots with a frontage between 15m and 17m, there are 26 lots with a frontage between 17m and 19m and there are 42 lots with a frontage greater than 19m. The average lot frontage in the study area is 18.5m. The application is proposed a lot frontage of 12.19m per lot. Lot frontages contribute to the character of the neighbourhood by ensuring a consistent spacing and rhythm of the streetscape.

Lot coverage – Lot coverage relates to how much of the lot is being taken up by a structure. Within the study area, there are 77 lots with an existing coverage 25% or less, 32 lots with a coverage between 26 and 33% and 4 lots with a coverage between 33 and 38%. The applicant is proposing coverage between 33 to 34.6% for the three lots.

Building Heights – Within the neighbourhood study area, the majority of dwellings are 1 storey or 1.5 storeys (back or side split or living space in the roofline) with only 8 dwellings being two storeys in height. The applicant is proposing the three dwellings be 2 storeys (9.4m) in height.

Building Setbacks – This section of Kathryn Crescent generally has a front yard building setback of approximately 8 metres. The proposed front yard setback for the three dwellings is proposed between 6.3 and 7.1m. The existing rear yard setbacks for the lots that are in close proximity to the subject lands (11 surrounding lots) is approximately 15m. The applicant is requesting rear yard setbacks of 9.37 to 10.16m. Side yard setbacks vary throughout the study area ranging from 1.2m to over 5m in some cases. In most cases, there is a building separation between 3m and 7m. The applicant is proposing side yard setbacks of 1.2 on one side and 0.65m-1.11m on the other.

Prominent Features/Streetscape – The single storey nature of the dwellings along with building setbacks gives this street a very open and airy feel. Typically, garages are single car and attached to the dwelling however variation exist throughout the study area with two car garages and detached garages in the rear yard. The study area has a significant amount of mature landscaping in both the front and rear yards of lots.

The lot fabric and physical character of the neighbourhood is one of consistently larger lots with dwellings built well below the existing maximum lot standards. It is predominantly a neighbourhood of 1 and 1.5 storey dwellings with generous setbacks. It is the opinion of staff that the proposal to divide two lots into three lots of reduced frontages, increased lot coverage, and reduced setbacks is not harmonious with the streetscape and predominant built form character of the neighbourhood. The proposal, as applied for, would result in mass and height that is out of keeping with the surrounding neighbourhood and does not maintain the general intent and purpose of the Official Plan.

Public Meeting

The statutory public meeting for this application was held on Monday August 26, 2019 where a number of residents spoke to and provided written comments on the proposed rezoning application.

A petition against this proposal with approximately 190 signatures was also provided to Council at this meeting with signatures from residents near and further abroad from the lands under application.

The comments heard at the public meeting were largely regarding the compatibility of the proposal with the immediate and surrounding community.

Residents indicated that the proposal is not fitting for the neighbourhood aesthetics noting an issue with height, shadow impacts, parking and neighbourhood character. A loss of privacy was also cited along with a perception that if approved, this proposal would lower home value in the neighbourhood. Finally, stormwater management and grading impacts were of concern.

The compatibility issues noted have been discussed above in this report under “Compatibility and Zone Standards”.

Departmental and Agency Comments

The Town has received comments from utilities issuing no objections.

Engineering Services have provided comments on the application that relate to stormwater management, grading and drainage. While additional review is required if this application is approved, Engineering Services are satisfied that that a Holding Provision under the Planning Act can be implemented in the amending zoning bylaw to ensure these issues are addressed prior to the construction of any dwelling.

Conclusion

As the application for Zoning Bylaw amendment to facilitate the division of two lots at 247 and 251 Kathryn Crescent into three lots occupied by two storey dwellings with 12.19 metres frontage, lot areas between 395 and 400 square metres and reduced side yard setbacks is, in the opinion of staff, not consistent with the intent of the compatibility policies of the Official Plan. Staff recommend Council deny this application for the reasons outlined in this report.

Business Plan and Strategic Plan Linkages

This report has linkages to the broader Official Plan policies relating to building a strong community by implementing growth management to create a clear vision for existing residential neighbourhoods.

Consultation

A statutory public meeting as required under the Planning Act was held on August 26, 2019. Further details on this meeting are provided above.

Human Resource Considerations

None.

Budget Impact

Operating Budget (Current and Future)

The appropriate planning application fees have been received for Zoning By-law amendment. The Town would also receive revenue from development charges as required by the Town's development charges by-law, and increased property tax assessment revenue would be collected from the development of these lands in the event the applications are approved.

Capital Budget

There are no direct capital budget impacts as a result of this report.

Attachments

1. Location Map
2. Proposed Site Plan
3. Proposed streetscape elevation (3D view)

Approval

Dave Ruggle
Senior Planner, Community Planning

Adrian Cammaert
Acting Manager, Planning Services

Jason Unger
Acting Director, Planning and Building Services

Peter Noehammer
Commissioner, Development and Infrastructure Services

Contact

For more information on this report, please contact: Adrian Cammaert, Acting Manager, Planning, at 905-953-5321; acammaert@newmarket.ca

LOCATION MAP

247 and 251 Kathryn Crescent

Town of Newmarket



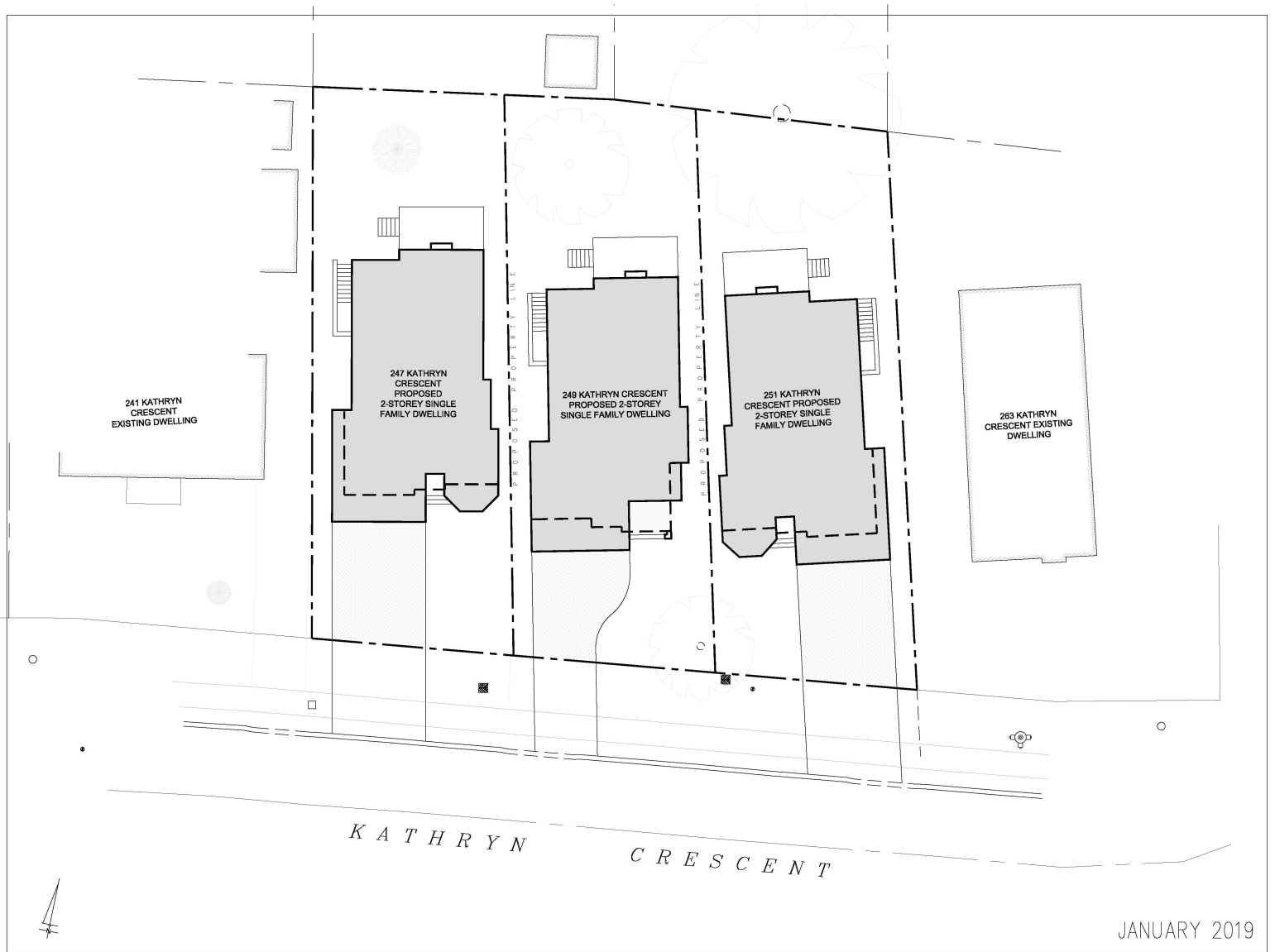
 Subject Lands

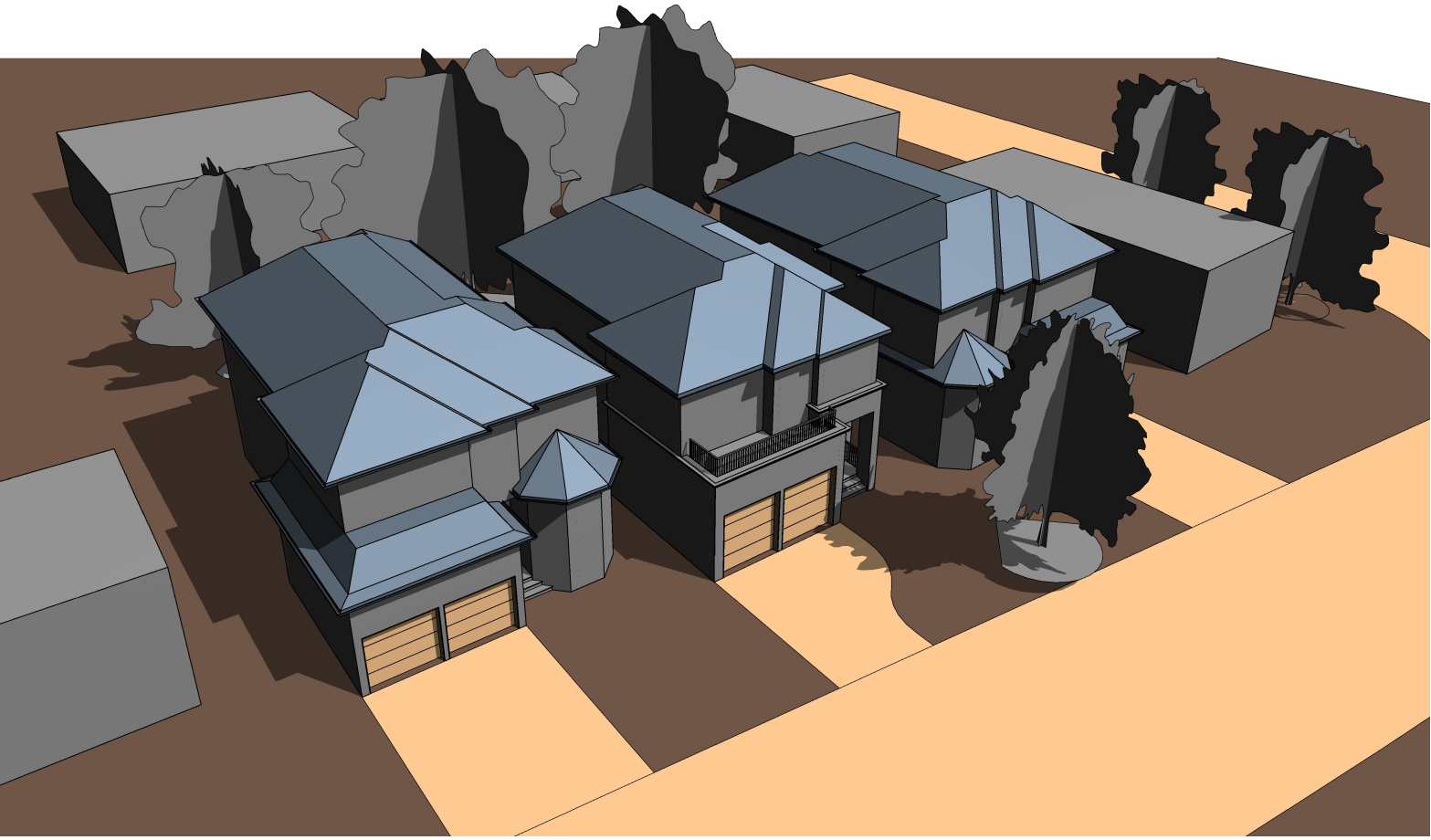
TOWN OF NEWMARKET PLANNING DEPARTMENT



Designed & Produced by Information Technology – GIS Printed: January, 2019. Land Parcel Boundaries - © Teranet Inc. and its suppliers. All rights reserved. NOT A PLAN OF SURVEY, 2015. Zoning - Town of Newmarket, 2015. DISCLAIMER: This mapping is based on the POLARIS parcel fabric product compiled using Land Registry System records and recent surveys and control points where available. This mapping is a representation of the earth's surface and provides estimates of area and distance. This map has been produced for illustrative purposes only. It is not a substitute for a legal survey.

T:\DI Services\Planning\Dave\file related documentation\247 251 Kathryn\location map for complete application.mxd







Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Request for Demolition Permit - 1075 Gorham Street Staff Report to Council

Report Number: 2019-112

Department(s): Planning Services

Author(s): Adrian Cammaert

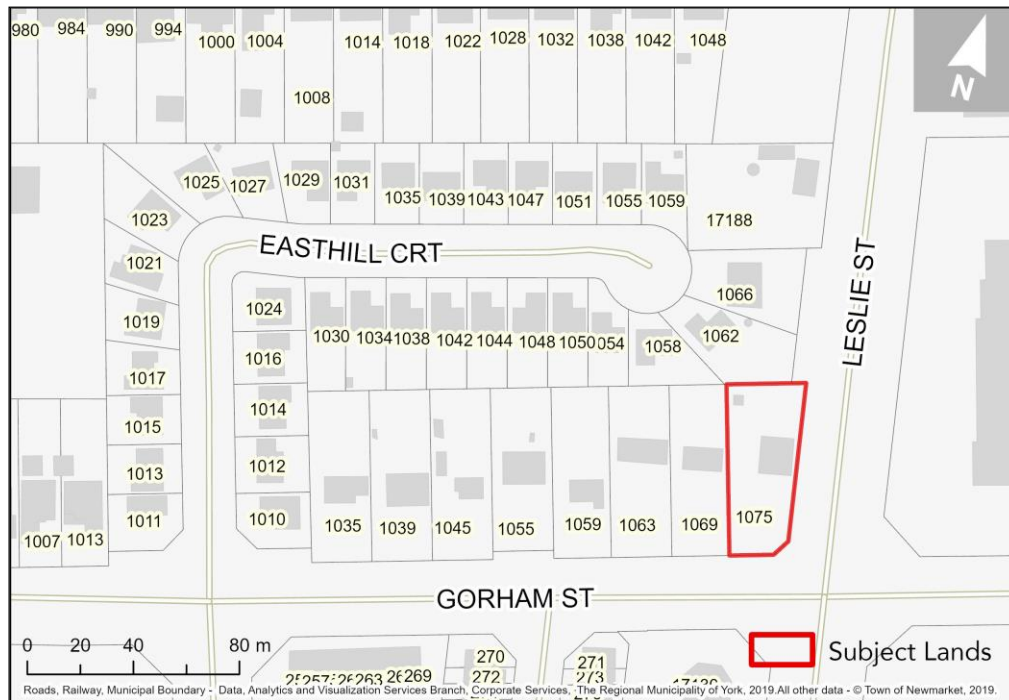
Meeting Date: November 4, 2019

Recommendations

1. That the report entitled Request for Demolition Permit - 1075 Gorham Street dated November 4, 2019 be received; and,
2. That the subject property known as 1075 Gorham Street be Designated under Part IV of the Ontario Heritage Act; and,
3. That Staff be authorized to publish and serve Council's Notice of Intention to Designate as per the requirements of the Ontario Heritage Act; and,
4. That if there are no objections to the designation in accordance with the provisions of the Ontario Heritage Act, Staff be authorized to place a designation by-law before Council for adoption; and,
5. That if there are any objections in accordance with the provisions of the Ontario Heritage Act, the Clerk be directed to refer the proposed designation to the Ontario Conservation Review Board; and,
6. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

Purpose

The purpose of this Report is to recommend to Council that the subject property known as 1075 Gorham Street (Drew House) be Designated under Part IV of the Ontario Heritage Act. The location of the subject property is shown below, with elevations:



Background

A request was submitted to the Town on September 20, 2019 to demolish the residence located on the subject property. Under the Ontario Heritage Act, Council has 60 days to render a formal decision. This 60 day timeline ends on November 19.

Due to a staffing situation, the recommendations of this Report are based on the findings of the Town's heritage consultants, which were in turn based on a review of all available background information, a site visit and the opinion of the Heritage Newmarket Advisory Committee.

Discussion

2002 Heritage Designation Report

A Heritage Designation Report was completed in 2002 by students at Humber College (entitled Drew Residence: Reasons for Designation, Humber College, 2002). Access to the interior of the residence is not currently possible as it is under private ownership. This Report contains photographs on the interior, including insets of millwork, and is therefore a key piece of information used to determine the heritage attributes of the residence. The Report discusses many architectural and historical considerations of the property and residence, and makes the following recommendation:

"Drew house is recommend for designation for its historical importance to the town of Newmarket because of its age and Canadian craftsmanship. This house is rich in the Neo-Classical and Regency style. It is a great example of finely detailed mouldings by Canadian craftsmen. This early Canadian residence should definitely be preserved."

Listed Property

The subject property is not currently designated under the Ontario Heritage Act, however it is listed in the Town's Heritage Registry. This registry is the official list or record of cultural heritage properties identified as being important to the community, and includes properties that are, and are not, designated.

The registry states the following for the subject property in terms of heritage value/importance:

- Lands were originally designated a Crown Reserve.
- The Crown sold the lands to King's College, part of the University and Colleges at Toronto – leased to local farmers.
- Half of the lands were sold to William Beverly Robinson (Toronto Lawyer), William Roe (Town Post master and prominent business man), and John Thompson (Physician and Surgeon) in 1853.
- Lands purchased by William Andrew Clarke in 1853 and he subdivided it into lots.
- This lot was sold to Henry Mintern in 1854.

Request for Demolition Permit - 1075 Gorham Street

- Minter was a local carpenter and he built the present residence.

Heritage Newmarket Advisory Committee

The Heritage Newmarket Advisory Committee considered the matter at a Special meeting on October 16, 2019. The motion from the draft minutes is as follows:

“That the Heritage Newmarket Advisory Committee recommend heritage designation of the property located at 1075 Gorham Street as the property retains many of its original characteristics and as it represents one of the last remaining structures of Bogarttown, taking into account the 2002 Heritage Designation Report.”

Town’s Heritage Consultants’ Opinion

As noted, Staff are relying largely on the opinion of the Town’s heritage consultants, ERA Architects Inc., regarding the heritage significance of the subject property. This Opinion Letter is included as Attachment 1.

This Opinion Letter states that the residence was constructed in the early 1850s, and is a “rare surviving example of a pre-Confederation Ontario Regency cottage”. In addition, the Opinion Letter states that the building “retains the form, massing, and numerous features that are characteristic of Regency cottages in Ontario” and finally notes that “Architectural details of the structure include decorative false columns on the corners of the exterior, the hipped roof, the symmetrical façade, and large six over six hung windows with decorative head and sill details.”

ERA Architects conclude that the subject property meets the Ontario Regulation 9/06 criteria for Designation under Part IV of the Ontario Heritage Act.

Next Steps

Should Council agree with the recommendation to designate the property under Part IV of the Ontario Heritage Act, the Town’s heritage consultants and/or Town staff will prepare a “Notice of Intention to Designate”. This creates a 30 day opportunity for objection, wherein Council’s decision to designate the property may be appealed to the Heritage Conservation Review Board. If this occurs, the Town’s heritage consultants will be required to prepare a more fulsome designation report and potentially represent the Town at the Heritage Conservation Review Board.

Should Council disagree with the recommendation to designate the property, staff would be in a position to issue the requested demolition permit.

Should no objections be received within 30 days after the date of the publication of notice in the newspaper, or an objection is filed but the Heritage Conservation Review recommends designation, staff would be in a position to prepare the designating by-law.

Conclusion

There is a sound and supportable basis to designate the property under Part IV of the Ontario Heritage Act.

Business Plan and Strategic Plan Linkages

Heritage Designation recognizes, promotes and protects heritage resources, which strengthens the sense of community and helps achieve Extraordinary Places and Spaces.

Consultation

The demolition request was circulated to, and considered by, the Heritage Newmarket Advisory Committee.

Human Resource Considerations

None.

Budget Impact

Consulting fees were required for the preparation of the Opinion Letter.

In the event that the designation is appealed, additional consulting fees will be required to further assess the property and possibly represent the Town at the Heritage Conservation Review Board.

Attachments

1 – Heritage Opinion Letter, prepared by ERA Architects Inc., dated October 28, 2019

Approval

Adrian Cammaert, MCIP, RPP, CNU-A
Acting Manager of Planning Services

Jason Unger, MCIP, RPP
Acting Director of Planning and Building Services

Peter Noehammer, P. Eng.
Commissioner of Development & Infrastructure Services

Contact

Adrian Cammaert, Acting Manager of Planning Services, acammaert@newmarket.ca

Request for Demolition Permit - 1075 Gorham Street



ERA Architects Inc.
#600-625 Church St
Toronto ON, M4Y 2G1

October 28, 2019

Sent by EMAIL

Mr. Adrian Cammaert
Acting Manager, Planning Services
Planning and Building Services
395 Mulock Drive
Newmarket, Ontario L3Y 4X7
acammaert@newmarket.ca

R E : 1075 Gorham Street, Newmarket, Ontario

Dear Adrian,

The Town of Newmarket engaged ERA Architects to provide recommendations on an application received by the Town for the demolition of the structure located at 1075 Gorham Street ('Subject Property'). The property is listed on the Town's Municipal Register but is not Designated under the *Ontario Heritage Act*.

To inform its recommendations, ERA was provided with the following background documentation: Correspondence from local historian M. Paul Millard (September 13, 2002) and the report *Drew Residence: Reasons for Designation* (Humber College, 2002). Historical sources were reviewed to supplement this background documentation, including historical maps and aerial photographs. The Town of Newmarket's Municipal Registry was consulted as further reference. ERA also consulted the Heritage Newmarket Advisory Committee in a telephone conversation on October 28, 2019.

An assessment of the exterior of the property was made on October 24, 2019, with access limited to the public realm. A condition assessment was not conducted.

The structure is a rare surviving example of a pre-Confederation Ontario Regency cottage constructed during the mid-19th century. Both Millard's findings and Humber College's report suggest the property was constructed in the early 1850s. These findings were based on historical records as well as an analysis of architectural elements, construction methods, and materials used by early settlers in the Newmarket and Bogarttown communities.

While components of the structure have been modified from their original design, the building retains the form, massing, and numerous features that are characteristic of Regency cottages in Ontario. The Regency cottage emerged in Ontario throughout the 1820s-70s and is characterized by its low profile (1 or 1-½ storeys), symmetrical elevations (3-to-5 bay façade with large windows), hipped roof, and classical motif finishes. Architectural details of the structure include decorative false columns on the corners of the exterior, the hipped roof, the symmetrical façade, and large six over six hung windows with decorative head and sill details. There are two wings located on the north side of the building that were not

addressed in the background documentation. These wings include a number of details which are in keeping with the central structure's character such as the decorative false columns on the corners as well as the size, style and construction methods for the windows and window finishes. The dates of construction for the two wings on north side of the building are undetermined at this time.

The Subject Property is located on a portion the 200-acre Crown Reserve on lot 33, Concession 2 in Whitchurch Township that was surveyed in 1802 by John Stegman. Subsequent ownership and subdivision of the acreage changed numerous times throughout the early-to-mid 19th century. Under the ownership of William Andrew Clarke, a merchant of Toronto, 100 acres of the property was subdivided into "Villa Lots" that fronted Gorham Road (known today as Gorham Street). In 1854, Henry Mintern, a carpenter and resident of East Gwillimbury purchased lots 34 and 35 located at the corner of Gorham Street and Leslie Street. The structure was built between Mintern's purchase of the lands in 1854 and 1861, as the building is noted on the 1861 Whitchurch Township Census.

Based on our assessment, the Subject Property at 1075 Gorham Street meets the Ontario Regulation 9/06 criteria for Designation under Part IV of the *Ontario Heritage Act*.

At the time of writing this assessment, ERA was unaware of the specific reasons that prompted the demolition application. ERA would be pleased to meet with you and potentially the property owner to assist in resolving any concerns related to the identification of cultural heritage value on the property. Additionally, ERA would be pleased to assist in preparing a Notice of Intention to Designate should the Town of Newmarket decide to pursue Designation.

Sincerely,



Michael McClelland, Principal
E.R.A. Architects Inc.

DREW RESIDENCE

Reasons for Designation

Address:

1075 Gorham Street
Newmarket, Ontario L3Y 5G9

For:

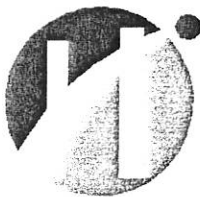
Yuri Sura

Prepared by:

Dave Finley 801 563 693
Jeff Hillen 801 303 140

Date:

December 1, 2002



HUMBER COLLEGE

School of Applied Technology

DREW RESIDENCE

1) ADDRESS

1075 Gorham Street
Newmarket, Ontario L3Y 5G9
Part Lot 2, Registered Plan 383
Regional Municipality of York

2) ORIGINAL OWNER

Dating of the house was difficult. It has been concluded that Henry Minthorn (Mintren), a carpenter built the house in 1855. A plaque stating this has been placed on site.

3) PRESENT OWNER

Richard Anthony Drew and
Stella Joy Drew

4) BUILDING USE

Single Family Residence

5) ARCHITECT

Unknown. Since the original owner appears to be a carpenter it seems he built the house himself.

6) ARCHITECTURAL QUALITIES & DESCRIPTION

6.1 EXTERIOR

a) Materials

Basement Construction:	Partial basement with stone and mortar walls
Exterior Wall Construction:	All wood framing with exterior wood cladding and detailed corner moldings

b) Features

Roof Shape:	Hipped roof
Roof Trim:	Wood trim, no decoration or detailing
Roofing Type:	New plywood and asphalt shingles (renovation)
Typical Window:	
Main Entrance:	Since remove. However, previously centrally located with evidence of a broad-flat headed transom remain. This is indicative of the Regency Style.



6.2 INTERIOR

a) Materials

Flooring:	Pine plank floors
Walls:	Original plaster
Ceiling:	Original plaster
Trim:	Decorative Trim

b) Features

The symmetrical square shaped building is typical of a Regency style. The floors are pine plank flooring. The entire interior is finished with hand-made decorative door and wall trims and mounted on traditional plaster finish walls. All of the original windows are still featuring six/six panes of drawn glass. The roof construction is of historical roof joists and rafter construction. The original materials and method of construction found on this house today illustrates the tradition and history this building comes from.

6.3) DESCRIPTION

a) Room Functions

The floor plan of the original house has been modified to suit a modern living style with the aid of new additions.

Bedroom 1	Main sleeping space
Bedroom 2	Sitting area, occasionally used for guest sleeping area
Living Room	Lounge area and socializing space. Large window excite the space with light.
Front Entry	Turned into an office. Currently used for bookkeeping. Removed Flat Broad-Headed Transom. Currently a 1950's bay window.

b) Planning

Square and symmetrical in shape this building is typical of a Regency style. This square shape eliminates extra costs in complicated construction, and is also easy and fast to build. The close space is very compact and cozy, depicting close-knit families functions.

6.4) ARCHITECTURAL

a) Characteristics

This is a one storey hipped roof residential building still in good condition. All existing windows and mouldings remain and require no maintenance or replacement. All the new asphalt shingles are indicative of new construction, however parts of the existing shake roofing remain under the new roofing system.



b) Features

This residence has many great architectural features in both Neo-Classical and Regency. It has decorative false column in the corners of the existing exterior (Neo-Classical). Wooden cladding and large six/six hung windows with exaggerated head and sill profile (Regency). A recently removed board flat-headed transom entryway and a low hip roof with no attic space.

7) SITE CONSIDERATIONS

7.1) CONTEXT & RELATIONSHIP

This residence sits directly adjacent to a main artery roadway. Developments in mainly new residential have recently surrounded this antique residence. Private access to the site is provided by a curved gravel drive off Gorham Street and ending with an access to Leslie Street. The house is protected on the west with chain-link fencing and on the east by thick landscaping. Green paint on the wood exterior blends perfectly with the surrounding landscaping.

7.2 LANDSCAPING

The house is surrounded in all directions with vast landscaping. The attractive landscape of trees and bushes protect the entire residence from the adjacent noisy Leslie Street. This extensive landscaping provides a variety of shade throughout the property. The site slopes slightly to the Southwest allowing drainage on this very deep lot. There are also gardens spread around the site featuring an array of flowers.

8) HISTORICAL CONSIDERATION

8.1) BACKGROUND

The land was actually a crown reserve until 1824. After 1824 an unknown person had landownership until around 1853. It is assumed that Henry Minthorn (Mintren), a carpenter built the house in starting in 1853 and finished by 1855.

8.2) QUALITY

The Neo-Classical and Regency style of this building is identified throughout this residence. The entranceway (recently removed) included a flat broad-headed transom. The finely detailed baseboard trim and window and door mouldings are straight from the Neo-Classical style. The quality of this woodwork is performed by Canadian craftsmen and should be kept intact.

9) STATE OF THE BUILDING

9.1) EXTERIOR FABRIC CONDITION

The existing foundation is stone and concrete. The Southside of the foundation appears to be repaired sometime after the original foundation was laid. No noticeable cracks, leakage, or settlement is noticeable. The exterior wood cladding has fared well over the years. Along the top of the foundation wall slight dry rot is noticeable, but not unusual



for a house of this age. The windows are in good shape and appear to be sealed to the outside elements. A new asphalt shingle roof has replaced the original depleted shake roofing. Eaves trough and downspouts are in excellence condition. However, a main structural floor beam, that spans south to north through the building, is bearing in the foundation. This will cause concern in the future as a result of accelerated dry rot, and the chance of termite infestation into the structure.

9.2) INTERIOR FABRIC CONDITION

The low foundation walls are of stone and concrete with a poured concrete slab. The frame of the building is of typical wood construction. Slight dry rot is noticeable in the floor joists adjacent to the foundation walls. Floors are pine plank flooring all of which are in good condition. All interior walls are plaster, painted or wall papered; Underlying condition could not be noted, but appear in good condition. The only noticeable disturbance in the interior wall and floor finish is in the living room where it appears a wall has been removed during a renovation. No noticeable settlement around windows or doors. No apparent leakage at ceiling level indicates a sealed roofing system currently and historically. The hipped roof joists are in very good condition and roof insulation is adequate.

9.3) STRUCTURAL STABILITY

The original residence is in good structural stability. No differential settlement in foundation wall is evident. Although slight dry rot is noted in floor joist adjacent to foundation walls, no obvious deflection in wood beams are apparent. Windows and doors seem square and plumb indicating a strong exterior wood frame. As noted before roof joists are good quality and do not need repair or replacement. The structural floor beam should be kept under observation for any increase in dry rot or noticeable deflection.

10) SOURCE & BIBLIOGRAPHY

Corporation of the Town of Newmarket (1999). A Brief History of the Town of Newmarket. Retrieved November 15, 2002, from Town of Newmarket web site - www.town.newmarket.on.ca

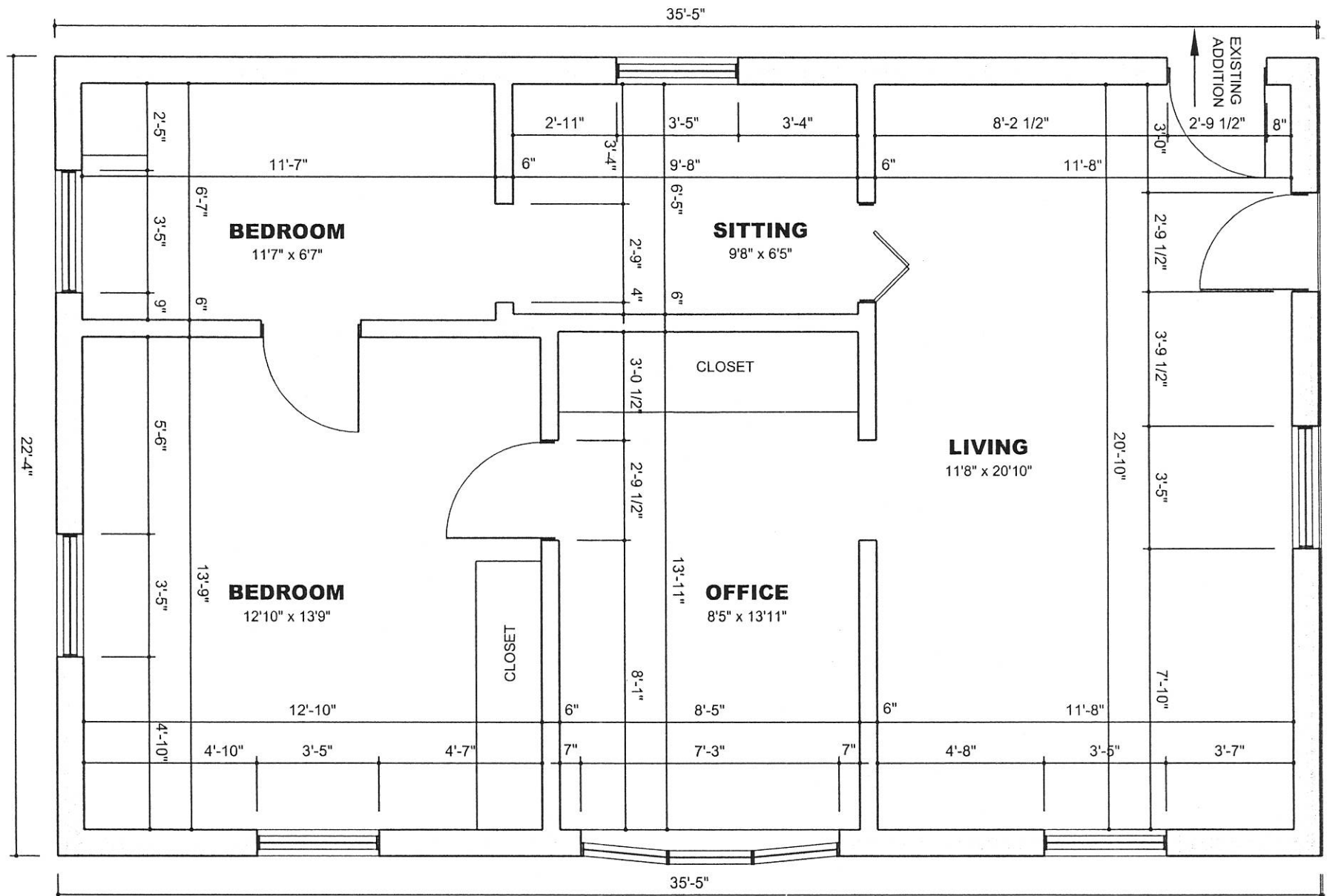
11) RECOMMENDATIONS

Drew house is recommend for designation for its historical importance to the town of NewMarket because of its age and Canadian craftsmanship. This house is rich in the Neo-Classical and Regency style. It is a great example of finely detailed mouldings by Canadian craftsmen. This early Canadian residence should definitely be preserved.



Subject Area





FLOOR PLAN AS RENOVATED

SCALE: 1/4" = 1'-0"

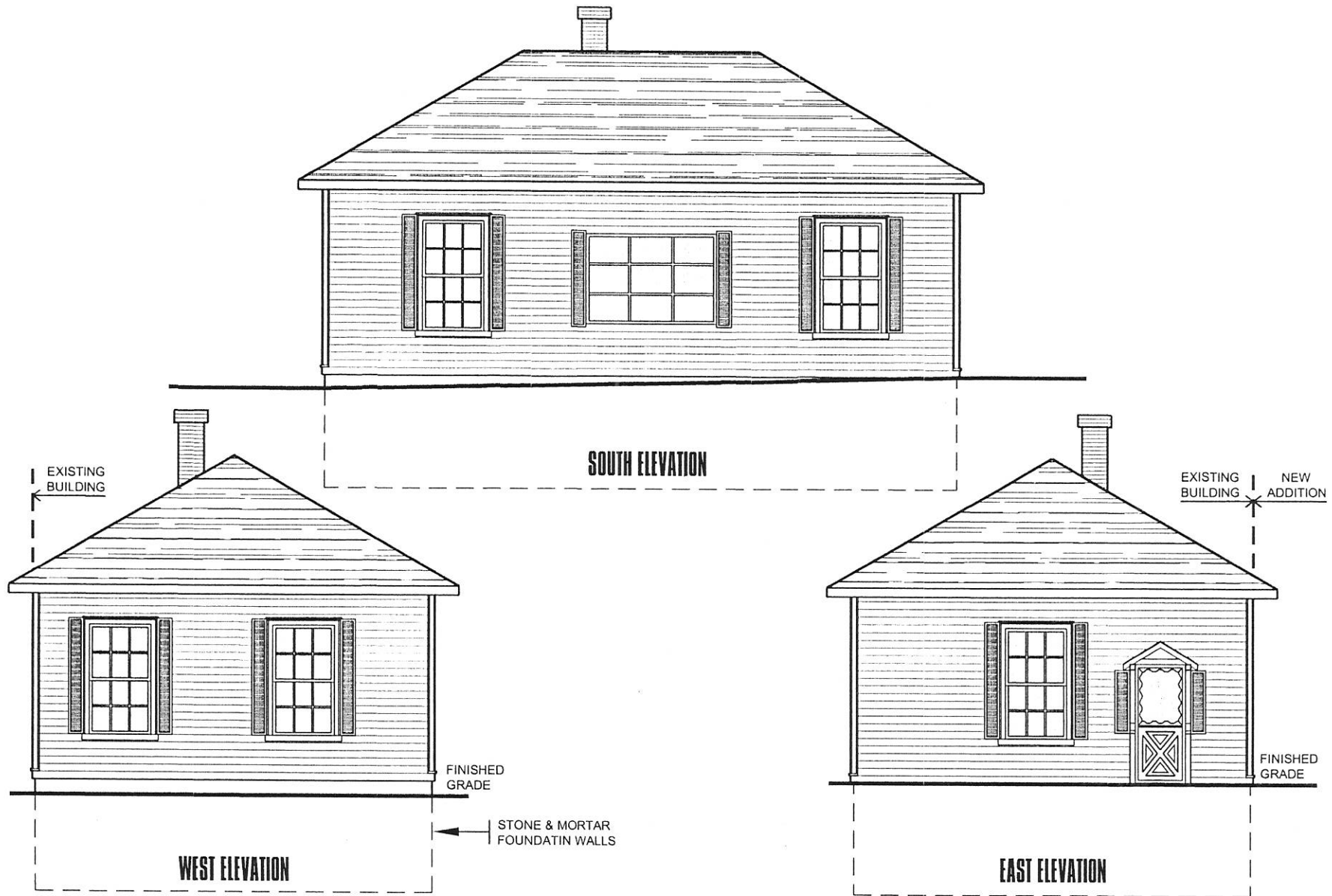
DREW HOUSE

ADDRESS: 1075 GORHAM STREET
NEWMARKET, ONTARIO

DRAWN BY: DAVE FINLEY
JEFF HILLEN

HUMBER COLLEGE
School of Applied Technology

DATE PLOTTED: NOV 28, 2002
SCALE: 1/4" = 1'-0"



ELEVATIONS AS RENOVATED

SCALE: 1/8" = 1'-0"

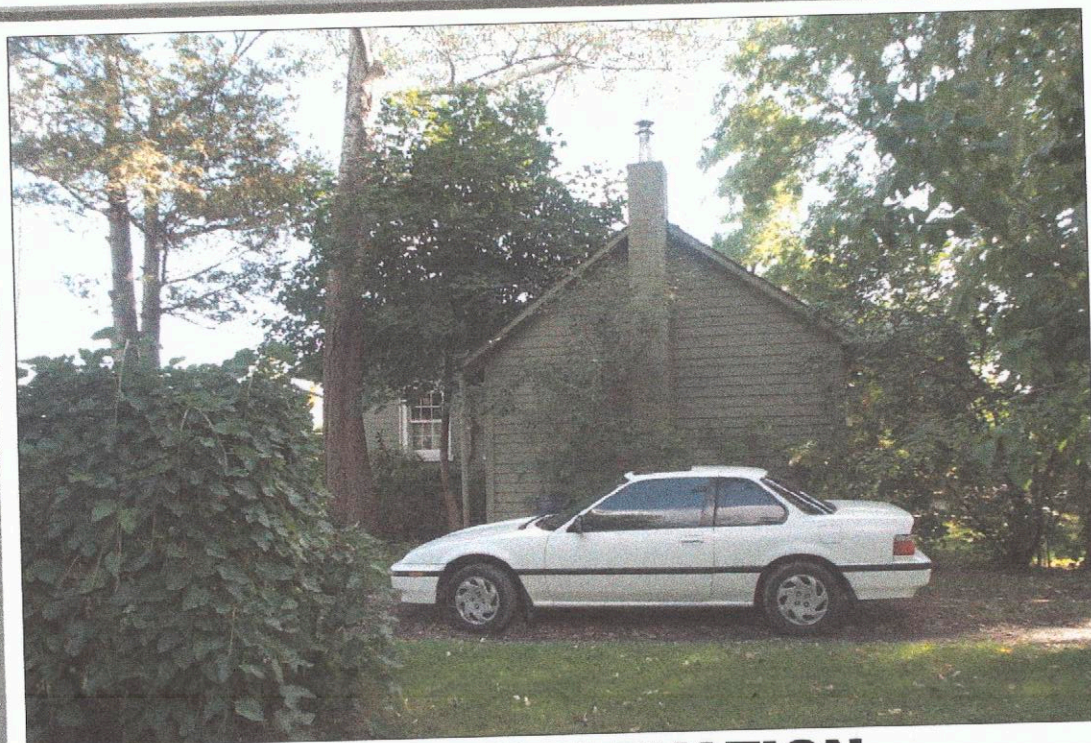
DREW HOUSE

ADDRESS: 1075 GORHAM STREET
NEWMARKET, ONTARIO

DRAWN BY: DAVE FINLEY
JEFF HILLEN

HUMBER COLLEGE
School of Applied Technology

DATE PLOTTED: NOV 28, 2002
SCALE: 1/8" = 1'-0"



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



MAIN ENTRANCE, WEST FACE OF BUILDING

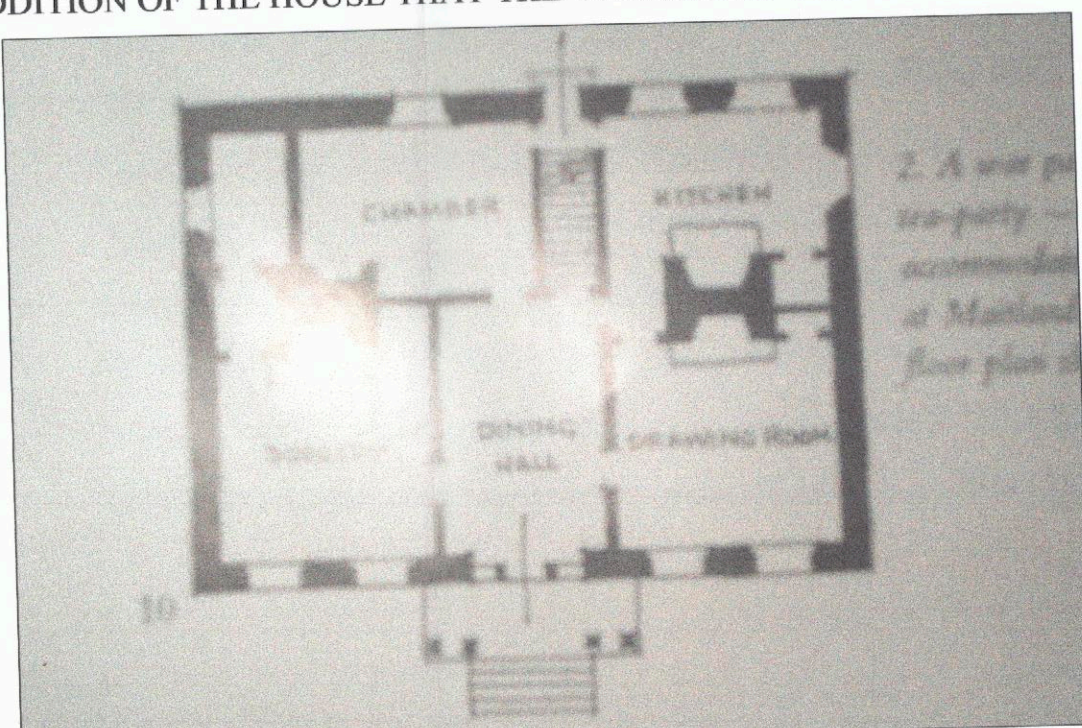
PIC. 1



CORNER COLUMN

PIC. 3

WHAT PLACES THE BUILDING IN NEO-CLASSICAL IS THE ANTIQUE DETAILED MOULDINGS FOUND AROUND THE DOORS AND WINDOWS IN THE INTERIOR. IT IS FOR THIS REASON THAT I CHOSE TO DO DETAILS OF THE MOULDINGS. THE OLD ENTRY ALSO APPEARS TO HAVE A BROAD FLAT-HEADED TRANSOM OVER THE DOOR. EVEN THE EXPRESSIONAL PRESENTATION OF THE STRUCTURE, SEEN AT THE EDGES OF THE BUILDING BY THE DETAILED COLUMNS(see pic. 3), EXPRESS THE IDEA OF NEO-CLASSICAL STYLE THAT THE BUILDING SHOULD CONSIST SOLELY OF THE ELEMENTS THAT SUPPORT THE BUILDING.



REGENCY FLOOR PLAN

PIC. 4

THIS NEO-CLASSICAL/REGENCY HOUSE IS LOCATED AT 1075 GORHAM ST. IN NEWMARKET ONTARIO AND IS OWNED BY TONY DREW. AS A RESULT OF THE UNKNOWN CONSTRUCTION DATE OF THE BUILDING, IT MAKES IDENTIFYING THE ARCHITECT OF THE HOUSE IMPOSSIBLE. WHAT IS SUSPECTED IS THE ORIGINAL OWNER OF THE BUILDING WAS A CARPENTER AND BUILT THE HOUSE USING THE REGENCY STYLE. THE BUILDING HAS GONE THROUGH MANY RENOVATIONS, AND AS A RESULT HAS ALTERED THE ORIGINAL FLOOR PLAN TO WHAT THEY ARE TODAY. FOR EXAMPLE DURING A RENOVATION THE FRONT ENTRY WAS REMOVED AND FILLED IN WITH A WINDOW (see pic.2), CAUSING THE WEST SIDE OF THE HOUSE TO BECOME THE NEW ENTRY(see pic.1).

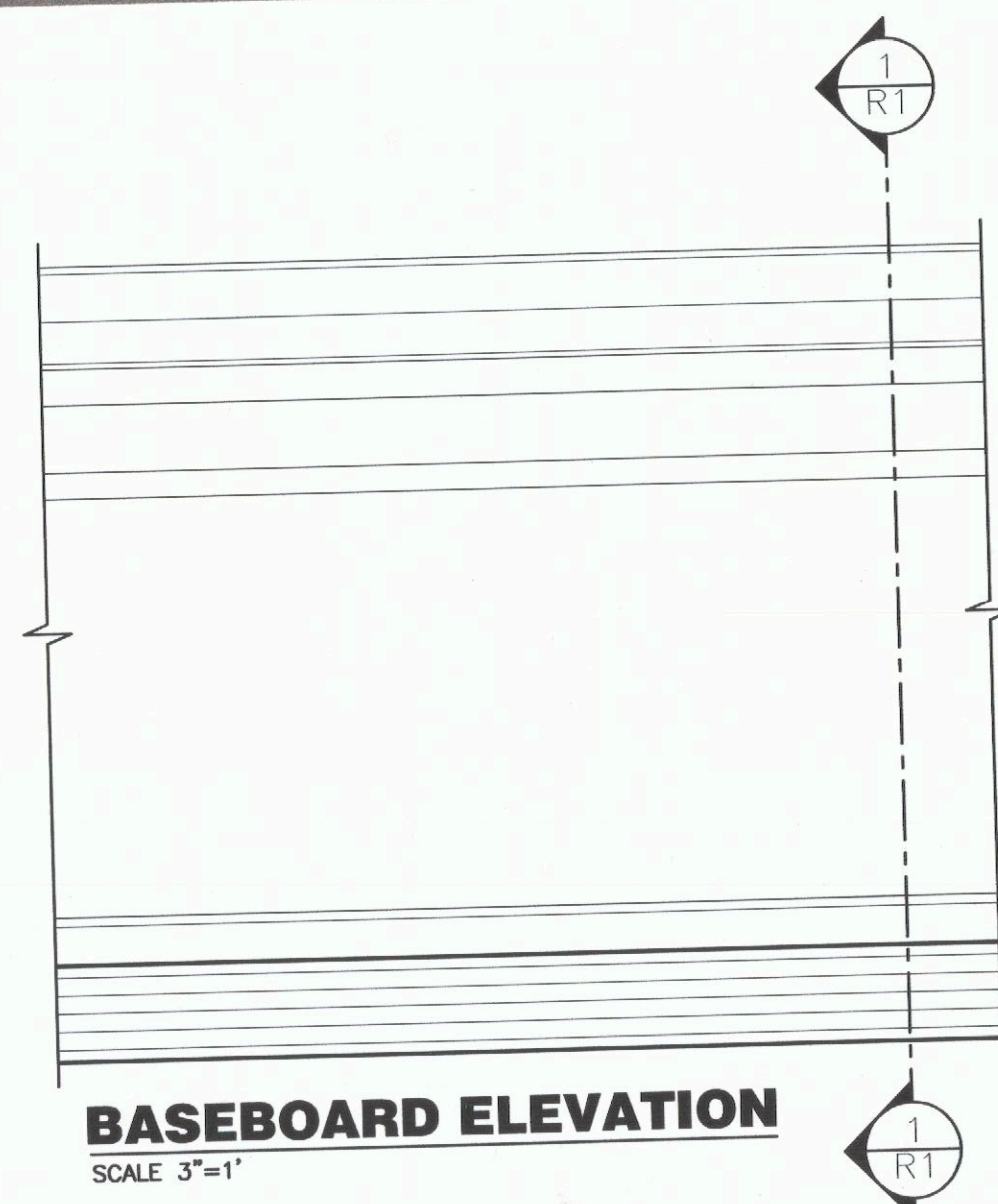
THE HOUSE CAN BE PLACED IN BOTH NEO-CLASSICAL AND REGENCY BECAUSE OF THE TYPICAL DETAILS USED IN BOTH STYLES FOUND ON THE BUILDING. THE CHARACTERISTIC STYLES OF REGENCY FOUND ON THIS HOUSE IS FOUND IN THE SYMMETRICAL SQUARE SHAPED FLOOR PLAN (see pic. 4) AND HIP ROOF. TYPICALLY REGENCY STYLE BUILDINGS HAVE A VERANDAH. IT IS POSSIBLE THAT DURING A RENOVATION AND/OR ADDITION OF THE HOUSE THAT THE VERANDAH WAS REMOVED.



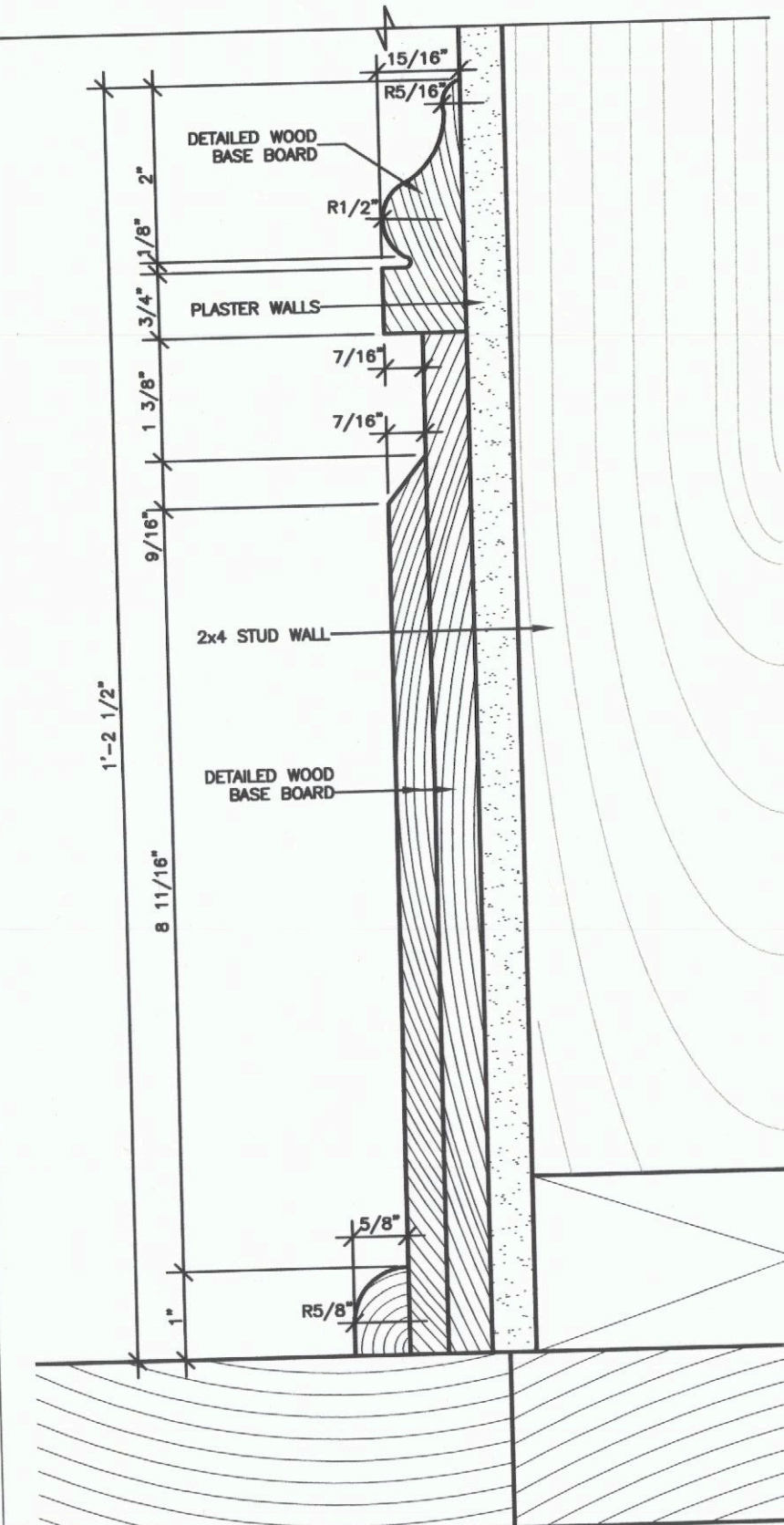
LIVING ROOM WINDOW



LIVING ROOM TO OLD ENTRY DOOR WAY



BASEBOARD ELEVATION
SCALE 3"=1"



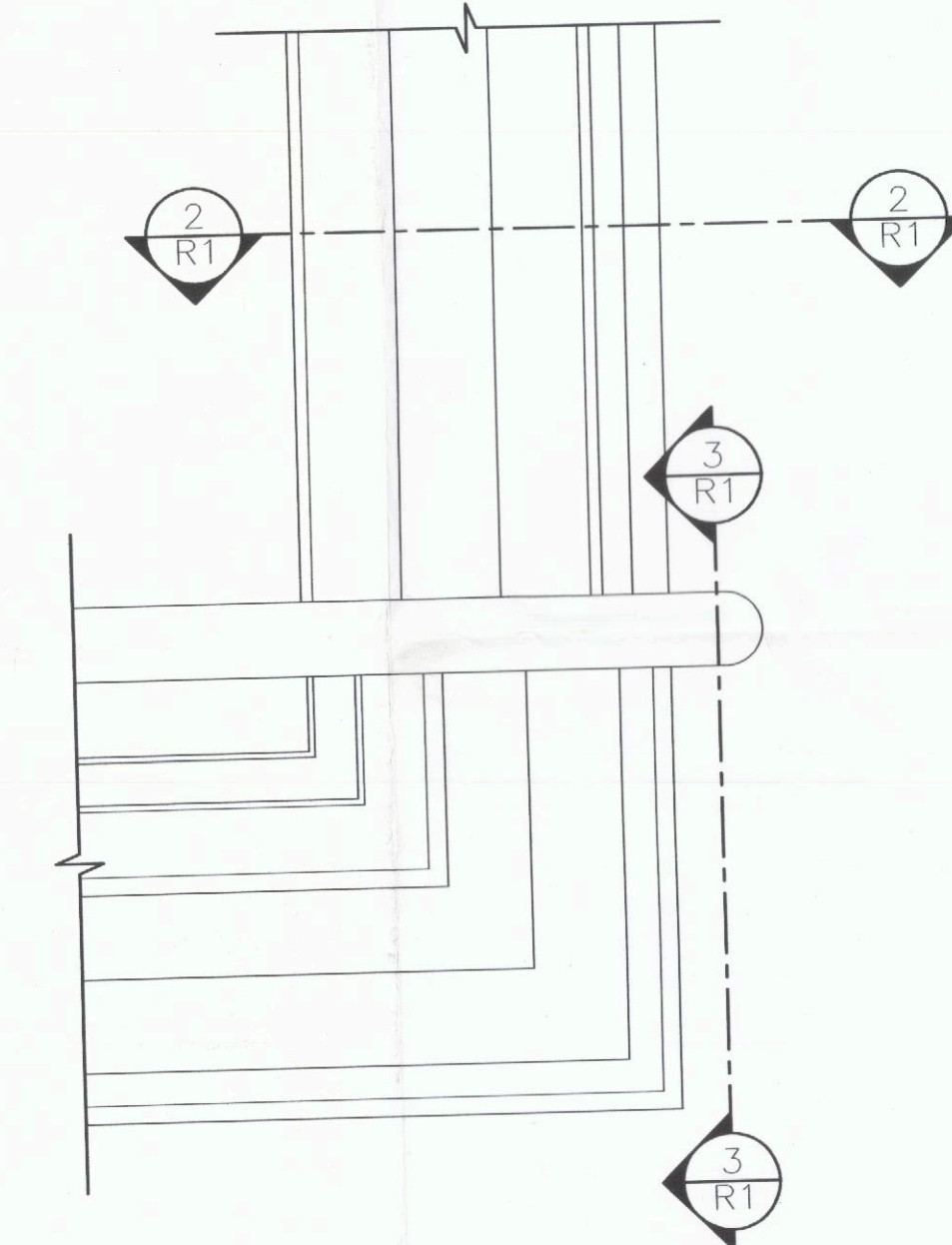
BASEBOARD SECTION
SCALE 6"=1"



BASEBOARD
NOT SCALED



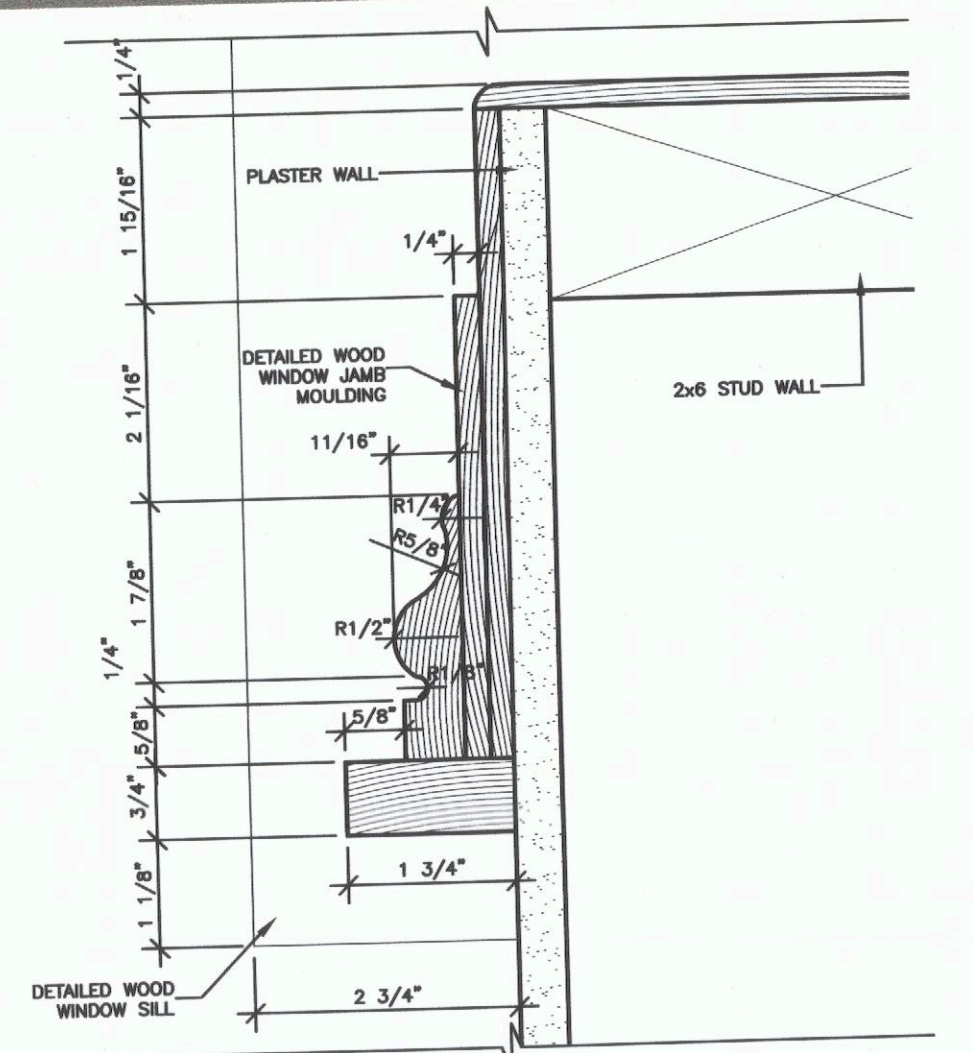
WINDOW JAMB
NOTE SCALED



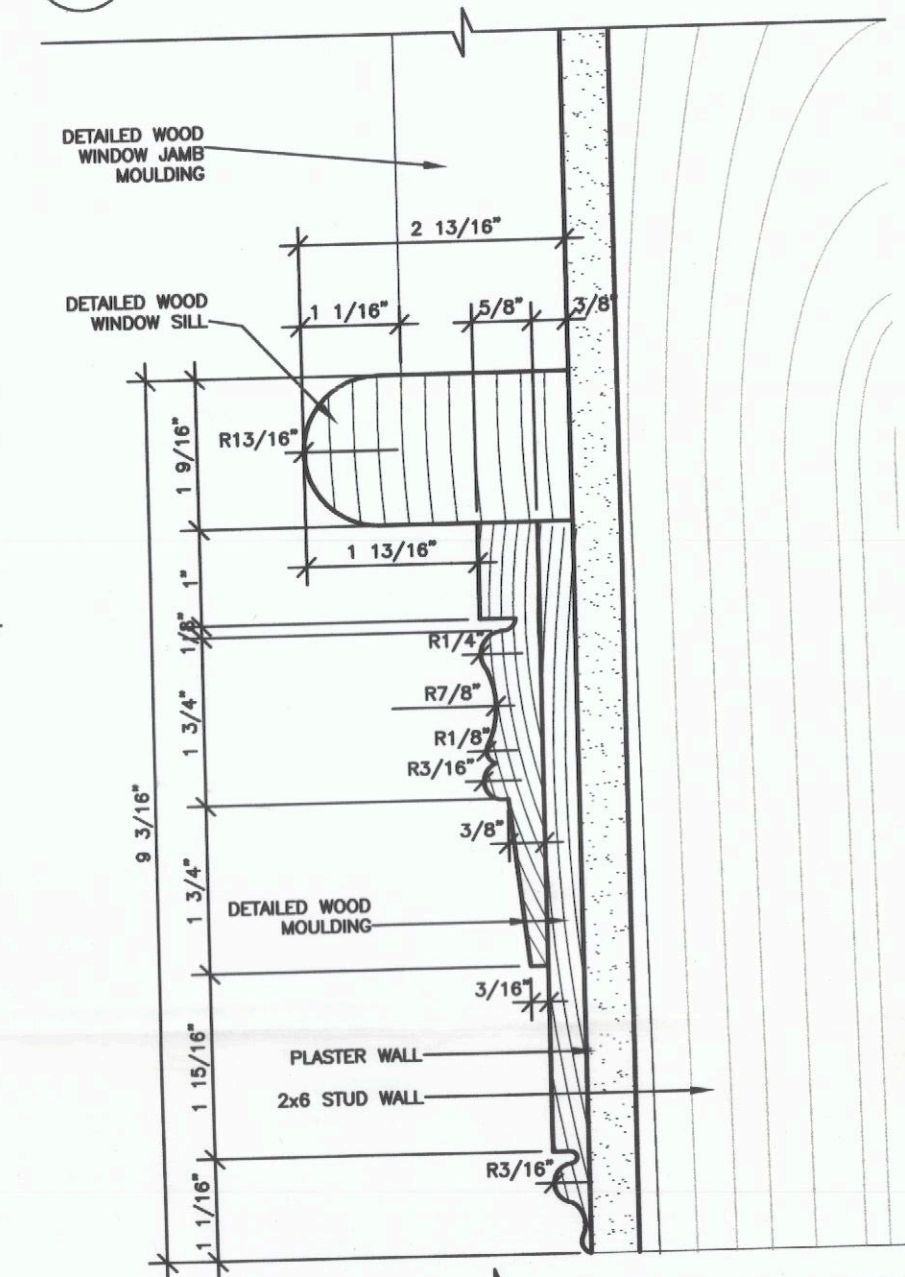
WINDOW JAMB/SILL ELEVATION
SCALE 3"=1"



WINDOW SILL AND TRIM
NOT SCALED



WINDOW JAMB SECTION
SCALE 6"=1"



WINDOW SILL SECTION
SCALE 6"=1"



CLIENT
TONY DREW

PROJECT TITLE
BUILDING DETAILS OF NINETEENTH CENTURY HOUSE
NEWMARKET ONTARIO

DRAWING TITLE
WINDOW SILL, JAMB AND BASEBOARD DETAILS

SCALE AS NOTED DATE PLOTTED OCT 7 2002
DATE 2 OCT 2002 CAD. DRAWING PROJECT 2
DRN BY DAVE FINLEY DRAWING No **R1**



THIS HOUSE IS LOCATED IN NEW MARKET AT 1075 GORHAM STREET. IT IS ASSUME THE ORIGINAL OWNER, A CARPENTER, BUILT THE HOUSE FOR HIS FAMILY.

ALTHOUGH THE HOUSE HAS BEEN BUTCHERED BY RENOVATIONS AND ALTERATION THE ARCHITECTURAL STYLE OF THIS BUILDING SEEMS TO BE A CROSS BETWEEN NEO-CLASSICAL AND REGENCY.

THE SYMMETRICAL SQUARE SHAPED BUILDING AND HIP ROOF PUTS THIS BUILDING IN THE REGENCY STYLE. IT IS MISSING THE VERANDA THAT IS A TRADEMARK OF THE REGENCY STYLE. HOWEVER DURING A RENOVATION THE FRONT ENTRY WAS REMOVED AND FILLED IN WITH A 1950's BAY WINDOW. THE NEW ENTRY IS ON THE SIDE OF THE HOUSE. IT IS POSSIBLE THE VERANDA WAS REMOVE AT THIS TIME AS WELL.



THE FRONT ENTRY IS THE FIRST PLACE WHERE YOU CAN FIND DETAILS TO PLACE A BUILDING IN A PARTICULAR STYLE. SINCE THE FRONT ENTRY HAS BEEN REMOVED IT MAKES THIS HOUSE HARD TO PLACE.

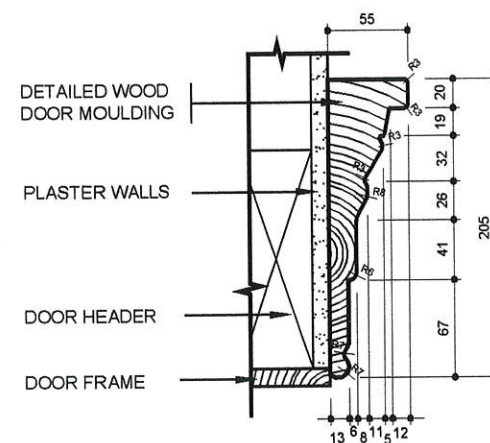
THE NEO-CLASSICAL STYLE COMES FROM THE OLD ENTRANCEWAY AND ANTIQUE DETAILED MOULDINGS AROUND DOORS AND WINDOWS ON THE INTERIOR (DETAIL A). THE OLD ENTRANCEWAY APPEARS TO HAVE A BROAD FLAT-HEADED TRANSOM OVER THE DOOR.

ANOTHER ASPECT OF NEO-CLASSICAL IS THE EXPRESSION OF STRUCTURE. CLASSIC ARCHITECTURE DETERMINED THAT A BUILDING SHOULD CONSIST SOLELY OF THE ELEMENTS THAT SUPPORT THE BUILDING. AS SEEN IN THIS BUILDING THE COLUMNS AT THE EDGES OF THE BUILDING ARE DETAILED TO EXPRESS THIS CLASSIC IDEA (DETAIL B).

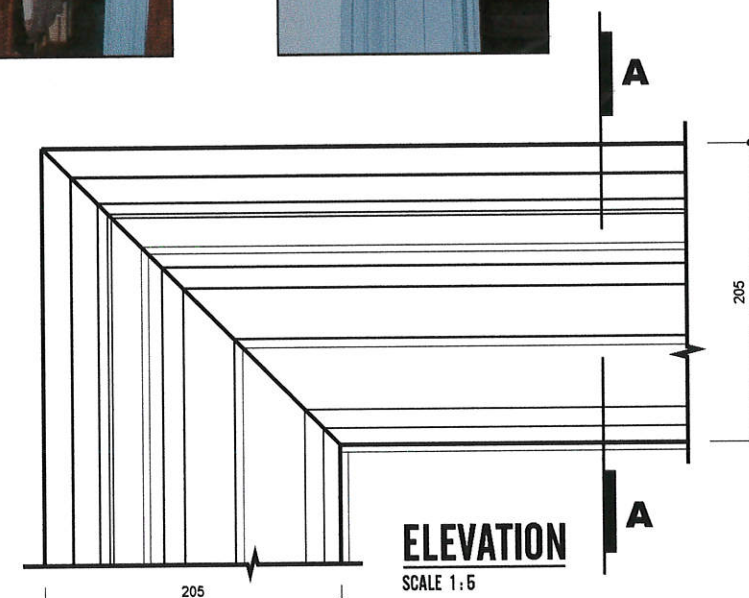


DETAIL A

DOOR MOULDING



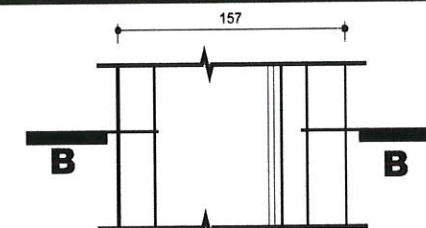
SECTION A-A
SCALE 1:5



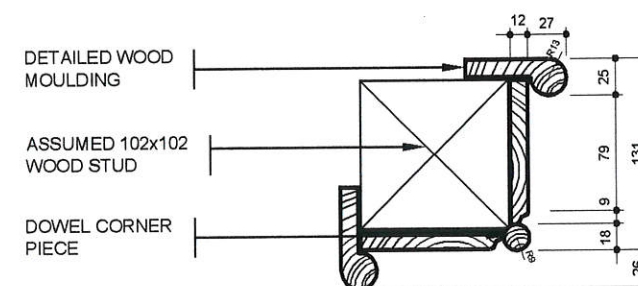
ELEVATION
SCALE 1:5

DETAIL B

EXTERIOR BUILDING CORNER DETAIL



ELEVATION
SCALE 1:5



SECTION B-B
SCALE 1:5



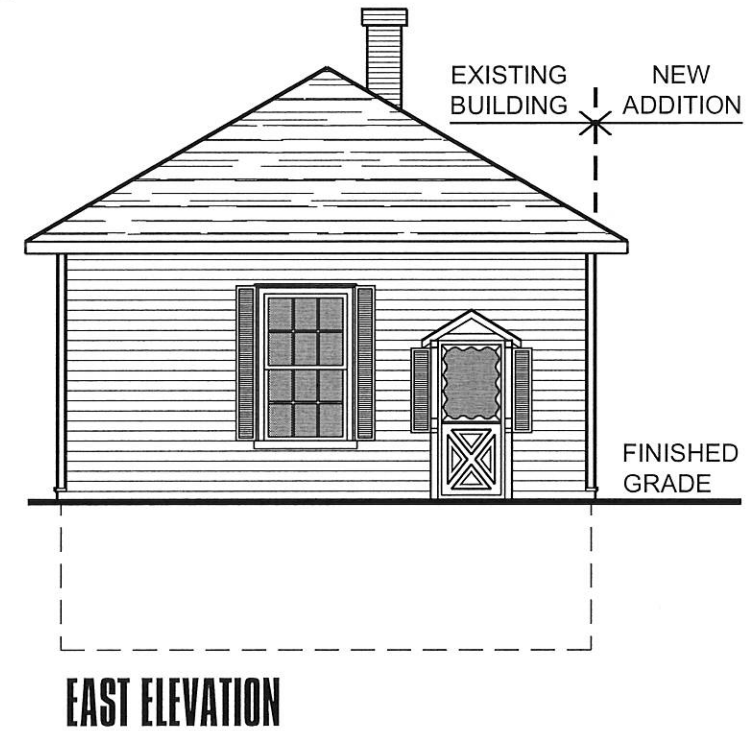
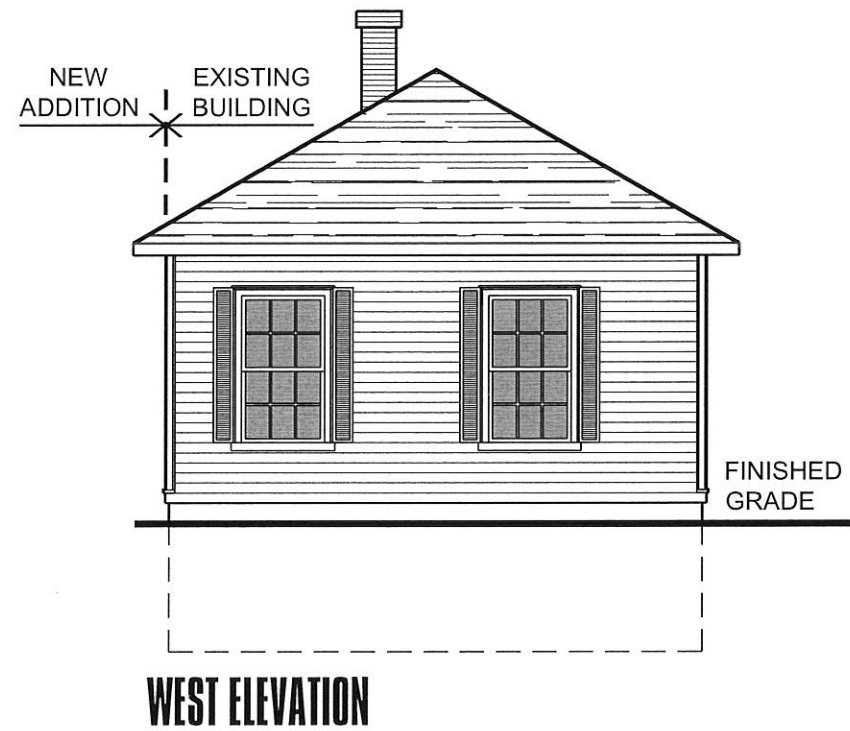
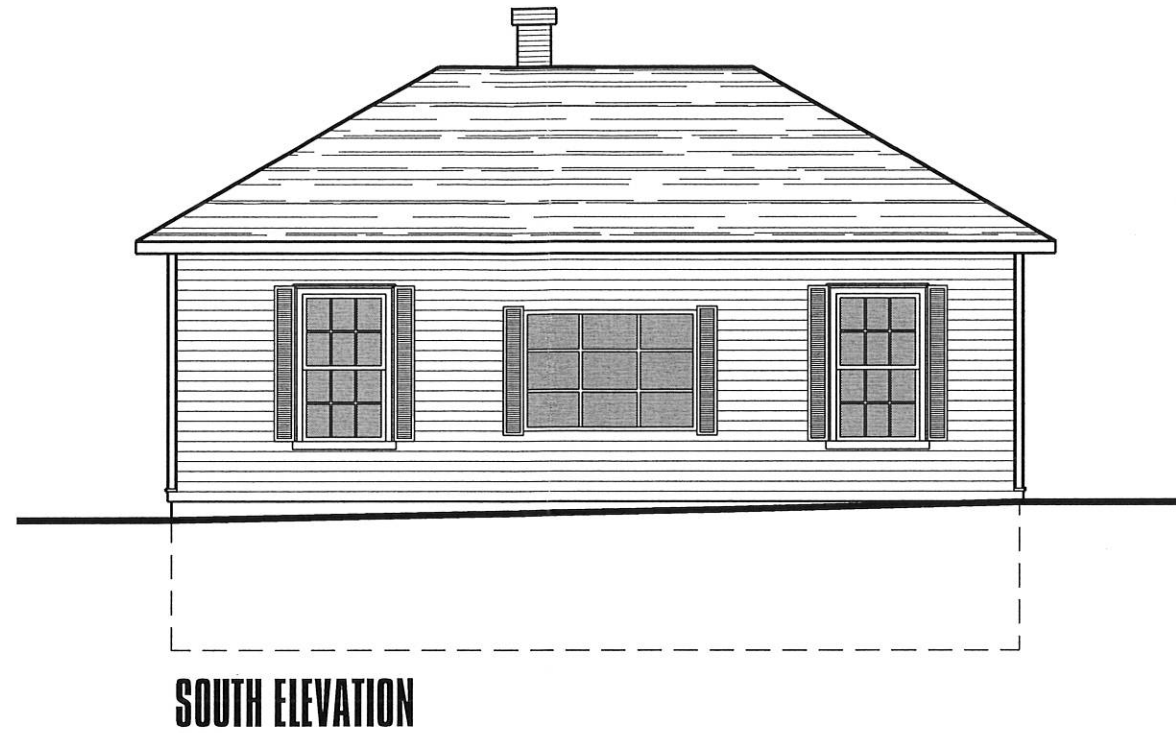
BUILDING - DREW HOUSE
OWNER - TONY DREW
LOCATION - NEW MARKET, ON

PROJECT 1:

DETAILS OF A 19TH CENTURY BUILDING

HUMBER COLLEGE
School of Applied Technology

DRAWN BY: JEFF HILLEN
DATE: OCTOBER 7, 2002
COURSE: RENOVATION AND RESTORATION



ELEVATIONS AS RENOVATED

SCALE: 1/8" = 1'-0"

DREW HOUSE

ADDRESS: 1075 GORHAM STREET
NEWMARKET, ONTARIO

DRAWN BY: DAVE FINLEY
JEFF HILLEN

 **HUMBER COLLEGE**
School of Applied Technology

DATE PLOTTED: NOV 28, 2002
SCALE: 1/8" = 1'-0"



DRAWN BY: DAVE FINLEY
JEFF HILLEN

DATE PLOTTED: NOV 28, 2002
SCALE: 5/16" = 1'-0"



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Prioritizing Cycling Infrastructure on Mulock Drive Staff Report to Council

Report Number: 2019-99

Department(s): Engineering Services

Author(s): M. Kryzanowski, Manager, Transportation Services

Meeting Date: November 4, 2019

Recommendations

1. That the report entitled Prioritizing Cycling Infrastructure on Mulock Drive dated November 4, 2019 be received; and,
2. That the 5-year Active Transportation Implementation Plan now includes the Mulock MUP as a priority; and,
3. That Staff proceed with a Feasibility Study and Design for the Mulock Drive multi-use path (MUP); and,
4. That funding sources be sought from York Region, or from provincial and federal grant programs for the study, design and construction of the Mulock MUP; and,
5. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

Purpose

The purpose of this report is to discuss the prioritization of the design and construction of the Mulock Drive multi-use path (MUP) as part of the workplan from the Town's Active Transportation Implementation Plan (ATIP).

Background

At the regular meeting on April 15, 2019, Town Council adopted the following:

That staff be directed to prepare a report on prioritizing cycling infrastructure on Mulock Drive to enhance the work of the Secondary Plan that is underway and to better connect the community to the Mulock Farm Park (item 9.4.20).

During that meeting, the ATIP was presented to Town Council for endorsement. The ATIP was developed by an Engineering Consultant hired by the Town, and it was the subject of public consultation with Newmarket residents and cycling groups. The Plan includes both on-street cycling infrastructure and off-road trail construction that were prioritized based on connectivity through the Town's network, and feedback received from residents and cyclists. No regional roads were included in the ATIP at that time.

Since the ATIP was finalized, there have been significant changes at the Town, such as the Town's purchase and proposed development of the Mulock Farm estate, an announcement for a Mulock GO station, and a Mulock GO Station Secondary Plan being prepared by the Town. The recent purchase of the Mulock Farm property creates some urgency for the Town to look at prioritizing Mulock Drive for the development of an active transportation route in the form of a MUP. As well, Mulock Drive is increasingly becoming a more widely used corridor for all modes of travel.

Engineering staff has submitted a request as part of the 2020 capital budget to undertake a feasibility study to determine the type and width of MUP to be used, where the MUP should be located on Mulock Drive (north side, south side or combination), what the alignment should be and what the estimated cost would be. The feasibility study would include field and survey work and design activities.

A feasibility study is needed before proceeding to the design because of the number of constraints along the Mulock Drive corridor and boulevards in this location, such as the Holland River crossing, the Regional Road arterial intersections, numerous driveways, underground and surface utilities, existing sidewalks, trees, space constraints and other obstacles and challenges such as bus shelters and other street furniture.

Discussion

The Mulock Drive Multi Use Path (MUP) would connect the existing bike lanes on Harry Walker Parkway to the bike lanes on Bathurst Street. The MUP would offer a major local and regional connection, serving Newmarket High School, the Magna Centre and the future Mulock GO station. It would cross the tracks and the Holland River, connect to the future Yonge Street cycling facility being built as part of the vivaNext Yonge bus rapid way project, and serve the Mulock Estate.

The MUP will likely consist of a two-way, 3.0 metre wide path on the boulevard, isolated from vehicular traffic. Staff will seek opportunities for funding through York Region and provincial / federal infrastructure grants to lower the Town's costs.

It is difficult to estimate the cost of construction for the MUP along Mulock Drive which is why the Feasibility Study is so important. Once the Feasibility Study is completed, staff

can return to Council before a preliminary design is obtained and a cost estimate calculated.

Conclusion

Both the Mulock MUP and the ATIP networks are important parts of the overall active transportation plan for the Town. It is recommended that the ATIP 5-year plan (currently completing the first year) proceed as recommended by the consultant and by the stakeholders who participated in the public consultations. As well, it is recommended that Staff pursue funding/approval for the feasibility study and detailed design. Multiple funding sources in the form of grants, York Region funding, or any other source, should be explored to fund some or all of the study, design and construction of the Mulock MUP.

Business Plan and Strategic Plan Linkages

Both the ATIP program and the Mulock MUP project conform to Council's Strategic Priority of Safe Transportation. Under the theme of Safe Transportation, item #2 states:

Continue to implement the traffic mitigation strategy and Active Transportation Plan and explore / advance an off-road Mulock multi-use path.

Consultation

No external consultation was undertaken in the preparation of this report, although extensive consultation was undertaken to determine the priorities of the ATIP.

Human Resource Considerations

None.

Budget Impact

The Feasibility Study and Design cost will be requested in the 2020 budget.

Attachments

None.

Approval

Rachel Prudhomme, Director, Engineering Services

Peter Noehammer, Commissioner, Development & Infrastructure Services

Contact

For more information or questions regarding this report, please contact Mark Kryzanowski, Manager, Transportation Services, at 905-895-5193 extension 2508 or MKryzanowski@newmarket.ca.



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Electric Vehicle Charging Station Project – Notification of OPG Grant Partnership Submission Staff Report to Council

Report Number: 2019-106

Department(s): Innovation & Strategic Initiatives

Author(s): Brett Morrow

Meeting Date: November 4, 2019

Recommendations

1. That the report entitled *Electric Vehicle Charging Station Project – Notification of OPG Grant Partnership Submission* dated November 4, 2019 be received; and,
2. That Council supports Newmarket's inclusion in Ontario Power Generation's (OPG) grant application to Natural Resources Canada's Zero-Emissions Vehicle Infrastructure Program (ZEVIP) to apply for funding to purchase and install electric vehicle charging stations in public parking locations owned by the Town; and,
3. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

Purpose

To notify Council of Newmarket's inclusion in OPG's grant application to the ZEVIP program for funding to purchase and install five electric vehicle charging stations in four of Newmarket's most popular public locations.

Background

Natural Resources Canada opened the Zero-Emissions Vehicle Infrastructure Program (ZEVIP) on August 18, 2019 with applications due on September 18, 2019. Newmarket staff were approached by OPG staff in early September with a proposal to partner on a ZEVIP grant submission. The ZEVIP grant will fund 50% of the total project cost for the

purchase and installation of electric vehicle charging stations. Different types of charging stations have different funding contribution limits (see below).

Type of Charging Station	Maximum Funding
Level 2 (208 / 240 V) charging station	\$5,000 per connector*
Fast-charging station (from 20 kW to < 50 kW)	\$15,000 per station
Fast-charging station (from 50 kW and above)	\$50,000 per station

Newmarket staff have coordinated with staff at Newmarket-Tay Power and have come to the conclusion that level 2 charging stations are most appropriate for installation at the public locations outlined in Part II below.

Discussion

I. Ontario Power Generation Partnership Opportunity

Ontario Power Generation (OPG) approached the Town of Newmarket and a number of other eligible site applicants with an offer to partner on a Zero-Emissions Vehicle Infrastructure Program (ZEVIP) grant application. OPG will write the ZEVIP grant and apply on behalf of eligible site hosts to receive the funding to purchase and install the charging stations in the site hosts community. The proposal is as follows:

1. If OPG's ZEVIP grant application is successful OPG will complete all station deployment (site planning, station procurement, and construction/installation) and on-going operational services (network operations/reporting, servicing/maintenance, and driver support) for the stations in exchange for a fixed annual cost of \$1100-\$2000 per charging station. The cost per station is dependent on the complexity of the construction/installation at the site.
2. In addition to the fixed annual cost per station the site hosts will also fund the electricity costs to operate the charging stations
3. Site hosts are free to set user prices for vehicle charging while OPG collects the revenue and transfers it back to the site hosts
4. Site hosts are responsible for all non-charging station site maintenance (ex. Snow removal)

The benefits of partnering with OPG rather than Newmarket applying independently are:

1. Newmarket avoids the high upfront costs of charging station installation
2. OPG manages the procurement process for the electric vehicle charging stations reducing the workload for site hosts while being in a position to negotiate better prices per-unit through economies of scale (if successful, OPG will be procuring 92 electric vehicle charging stations for all site host partners).
3. OPG manages the reporting relationship with Natural Resources Canada reducing site host staff workloads

II. Newmarket's EV-Charging Stations and Potential Installation Locations

Newmarket has provided OPG with a list of four public Town-owned locations for the installation of five electric vehicle charging stations. The electric vehicle charging stations will be “level-2” which can fully charge a car in approximately 5-6 hours. Each charging station will have two ports which will require two dedicated parking spots (total of ten charging ports with ten dedicated parking spaces). The municipal locations provided to OPG were:

1. Town of Newmarket Municipal Offices (395 Mulock Drive). There will be one charging station (two ports) installed in the north parking lot and a second charging station (two ports) installed in the south parking lot for a total of four charging ports.
2. Magna Center (800 Mulock Drive). There will be one charging station (two ports) installed in the most cost efficient parking spots (likely south-east parking lot at the entrance)
3. Riverwalk Commons (P3). There will be one charging station (two ports) installed at the most cost efficient parking spots in the P3 lot.
4. Riverwalk Commons (Doug Duncan). There will be one charging station (two ports) installed at the most cost efficient parking spots on Doug Duncan Drive, east of Riverwalk Commons.

Conclusion

As of September 19, 2019 OPG has confirmed that they have submitted the ZEVIP grant and received a confirmation receipt from Natural Resources Canada. Natural Resources Canada is now evaluating applications and plan to notify applicants of their funding status by late November 2019. Contracts with successful applicants are currently planned to be signed in January 2020 with all projects being completed 18 months after contract execution. Staff will report back to Council and continue internal consultations if OPG's ZEVIP grant is successful

Business Plan and Strategic Plan Linkages

Well-planned and connected. Strategically planning for the future to improve access and enhance travel to, from, and within Newmarket.

Consultation

Inter-departmental consultations through an EV-Charging Station working group have been on-going since early 2019. Newmarket staff have met a number of times with staff from Newmarket-Tay Power to coordinate future electric vehicle charging station installations. Newmarket-Tay Power are supportive of the proposed locations.

If OPG's grant application is successful additional internal consultations with appropriate Public Works Services and Legislative Services staff will take place to ensure effective project coordination.

Human Resource Considerations

None.

Budget Impact

If the OPG grant is successful there will be operating costs associated with the installation of the electric vehicle charging stations for which funds have already been allocated. Depending on the complexity and cost of installation there will be an annual fixed rate cost of \$1100-\$2000 per station plus the hydro costs associated with operating the stations.

The fixed costs Newmarket will pay to OPG will be in the range of \$5500-\$10,000 per year with the electricity costs to operate the stations estimated to be approximately \$3000-\$5000 depending on usage. The total annual costs to the Town will range from \$8,500-\$15,000 depending on installation complexity and usage of stations.

These costs will be offset by the revenues generated by the charging stations which site hosts are free to set. Internal analysis has been completed that suggests charging \$1.50 per hour coupled with low initial usage of stations would generate between \$4000-\$6000 annually with revenues rising as charging station usage or price charged per hour rises.

Attachments

None.

Approval

Susan Chase, Director, Innovation & Strategic Initiatives

Contact

For more information please contact Brett Morrow at bmorrow@newmarket.ca or at 905-953-5300 x.2037



Town of Newmarket
395 Mulock Drive P.O. Box 328,
Newmarket, Ontario, L3Y 4X7

Email: info@newmarket.ca | Website: newmarket.ca | Phone: 905-895-5193

Parking Enforcement Initiative – Pay It Forward Program Staff Report to Council

Report Number: 2019-107

Department(s): Legislative Services

Author(s): Flynn Scott, Manager of Regulatory Services

Meeting Date: November 4, 2019

Recommendations

1. That the report entitled Parking Enforcement Initiative – Pay It Forward Program dated November 4, 2019 be received; and,
2. That Council approve staff initiating a Pay It Forward program in lieu of a monetary fine for parking enforcement at various times throughout the year; and,
3. That Staff be authorized and directed to do all things necessary to give effect to this resolution.

Purpose

The purpose of this report is to provide Council with information related to parking enforcement and to request consideration on an education program to supplement parking tickets throughout the year.

Background

In preparation for the 2019 holiday season, members of Council inquired with Staff regarding opportunities for the Town to participate in a positive initiative pertaining to parking enforcement.

The Customer Services Department receives many parking-related complaints annually. The Town employs eight (8) full time parking enforcement officers to respond to formal complaints and to conduct proactive patrols of specific parking-related offences. Regulatory Services recognizes both the contentious nature of a parking enforcement

program and the demand for services to monitor and respond to parking issues throughout the community. While enforcement through ticketing can be compulsory, achieving voluntary compliance through public education is a key objective of the Regulatory Services Department.

When researching holiday initiatives related to parking enforcement, “Toys for Tickets” is notably a popular program choice throughout many communities, wherein parking tickets are eligible to be paid by donation of a toy or gift card of equal or greater value. The program offers an alternative method to paying a parking ticket and the program can be structured various ways to outline specific dates and types of violations eligible to participate.

The Town of Newmarket was recently invited to participate in a “Toys for Tickets” initiative, led by the Township of King. The program proposed the donation of a toy in exchange for a parking ticket received between November 1st and November 15th in relation to vehicles parked between the hours of 2:00 AM and 6:00 AM.

Discussion

“Toys for Tickets” Program Considerations

While the proposed initiative is positive, important considerations were documented when researching implications to the Town of Newmarket. For example, participating or interested communities such as Aurora, Bradford, East Gwillimbury, Georgina, King, and Orillia have smaller populations and therefore see minimal impact throughout the duration of the program pertaining to administration and financial implications. When comparing the number of tickets issued within Newmarket to other participating municipalities, the impact demonstrated is significantly disproportionate.

Further research was conducted to determine if like-sized communities have successfully implemented a “Toys for Tickets” initiative to determine the success of this program. The City of Brampton piloted the project in 2017 but discontinued in subsequent years due to challenges surrounding the administrative process and budget constraints in supporting the program moving forward.

Overall Implications

A major challenge in running a “Toys for Tickets” initiative in Newmarket surrounds the dates proposed by neighbouring communities: November 1st initiates the 2:00 AM to 6:00 AM parking restrictions for the Town. An increased focus on enforcement transpires at this time, in order to provide snow plows with safe and clear access to the Town’s roadways. Town Staff considered running the program during later dates, however, neighbouring communities identified challenges in postponing these dates due to the administrative processes required to ensure the toys are donated prior to December 24th. For example, tickets issued between November 1st and November 15th are permitted 30 days to make payment pursuant to legislation, resulting in members of the public being granted until potentially December 15th to opt-in for participation of the program. This leaves a minimal timeframe to ensure the toys reach the appropriate destination for donation and disbursement.

Alternative Program Options – “Courtesy Parking Ticket: Pay it Forward”

Town Staff conducted further research to explore an alternative program option. The City of Victoria, British Columbia, has operated a voluntary “pay it forward” initiative over the past 20 years and continues to document success. Their model substitutes parking tickets received between December 10th and December 24th with “Courtesy Parking Tickets” (warnings) in the form of a letter. The letter advises the offender that they have parked in contravention of a by-law, that they are receiving a warning rather than a ticket for the violation, and invites the individual to “pay it forward” by donating to a local food bank or charity in lieu of the violation. The program does not require the individual to make a donation, but the City of Victoria has reported success by increasing positive community relations and promoting local donations over the holiday season. A sample of Victoria’s courtesy letter is attached to this report for reference (see **Attachment 1**).

In determining the feasibility of administering this type of program, the overall impact is projected to be quite low: the program will require no additional administrative processes regarding the collection of donations – the option is voluntary and the onus is placed on the individual to choose if they wish to “pay it forward”. Similarly, there would be no administration required to identify and establish processes and procedures between departments regarding the financial recovery, balancing, and voiding of tickets in exchange for toys donated – a challenge that was highlighted by the City of Brampton.

Considerations of an alternative to traditional parking enforcement

While most communities run a “Toys for Tickets” program leading up to December 25th, Town Staff recommend moving forward with a “Pay it Forward” educational parking program to be offered throughout the year. With Newmarket becoming an increasingly diverse community, Town Staff propose implementing this program during various occasions (i.e. beyond the month of December), as well as pertinent times of the year

when education on parking restrictions will be an effective strategy (i.e. education within school zones at the start of the school year). The goal of this program will be to achieve compliance in a positive manner while promoting local donations. Rather than issuing warnings subjectively per officer, the program will be implemented strategically with a specific focus identified each time it is organized in order to support multiculturalism and local donations within the Town of Newmarket. Key considerations will be reviewed prior to each time the program is implemented, including the length of time the program will be run and when to focus on education for on-street parking initiatives.

The “Pay it Forward” program is projected to have a low budget impact due to parking enforcement officers already issuing a large number of warning tickets throughout the peak holiday seasons in an effort to remain educational and provide leniency. Town Staff propose to substitute standard warning notices that are already being issued during these times with a “Courtesy Parking Ticket” notice in an effort to promote “paying it forward” and donating to a local foodbank or charity of the individual’s choice. The financial impact will remain low due to merely restructuring current practices by the Town in an effort to increase educational awareness.

A sample of the Town’s proposed Courtesy Parking Ticket is attached to this report for reference (see **Attachment 2**). In an effort to keep donations local, the letter will refer to the Town’s website, which will have the names and addresses/website links to various Newmarket charities and foodbanks. A comprehensive call-out to all charitable organizations will be conducted to ensure those wishing to participate are included on this list.

Current Town of Newmarket Holiday Initiatives

In addition to the “Pay it Forward” parking initiative proposed for 2019, it is relevant to note the other incredible programs that the Town of Newmarket supports throughout various seasons:

- 1) Spring Food Drive
- 2) Fall/Thanksgiving Food Drive
- 3) Pumpkin Contest (proceeds to Newmarket Food Pantry)
- 3) Salvation Army Holiday + Toy/Food Drive

Conclusion

Town Staff do not recommend moving forward with the “Toys for Tickets” program in 2019 due to the financial impact, administration required to support its operation, and overall concerns for road clearance during snow plow removal.

However, the implementation of the “Pay it Forward” parking initiative program beginning in December 2019 and carrying forward in subsequent years is feasible due to low-impact to administration, budget, and staff resources required.

Staff will continue to monitor and research other opportunities as they arise, as well as conduct a review of the program to ensure demonstrated success

Business Plan and Strategic Plan Linkages

This report aligns with Council’s Strategic Pillar regarding Safe Transportation (Streets): Providing exceptional transportation experiences across all modes through continuous improvement of accessibility, safety and speed reduction.

Consultation

Consultation with communities currently participating in the “Toys for Tickets” program, as well as communities interested in participating, has been conducted. Consulted communities include: Aurora, Bradford, Brampton, East Gwillimbury, Georgina, King, Kingston, and Orillia.

The City of Victoria, British Columbia, was consulted to confirm their annual success with a “Courtesy Parking Ticket: Pay it Forward” model.

Human Resource Considerations

Not applicable.

Budget Impact

“Courtesy Parking Ticket: Pay it Forward” Program

Town Staff are proposing to move forward with a “Pay it Forward” program due to being low-impact on administration, budget, and staff resources. Overall, the financial implications on revenue remain low due to Staff proposing to run the program during periods when warning tickets are more commonly issued. For example, the potential revenue loss for running the program between December 14th and January 2nd is estimated to be approximately \$13,000. This program is also feasible to operate year-round; during various seasons and throughout key educational enforcement opportunities. This program will construct a strategic approach to educational parking enforcement and offer a positive alternative to donate to a local foodbank or charity.

Attachments

Attachment 1 – Sample of City of Victoria’s Courtesy Parking Ticket

Attachment 2 – Draft Sample of Town of Newmarket’s Courtesy Parking Ticket

Approval

Lisa Lyons

Director of Legislative Services/Town Clerk

Esther Armchuk

Commissioner of Corporate Services

Contact

For more information contact Flynn Scott, Manager of Regulatory Services at fscott@newmarket.ca.



Newmarket

COURTESY PARKING TICKET PAY IT FORWARD

Issued by the Town of Newmarket

We noticed that you were unable to make it back to your vehicle before the time limit posted.
(message to change according to the parking infraction)

Instead of issuing you a parking ticket, the Town of Newmarket invites you to pay it forward
and support a local Newmarket charity of your choice instead.

DID YOU KNOW?

- The Newmarket Food Pantry averages 400 visits per month and assists over 1,100 clients each month. More than 30 per cent of the Newmarket Food Pantry's clients are under the age of 18.
- Inn from the Cold welcomed approximately 5,115 attendees within a span of 154 nights of service and served 24,972 meals in 2018.
- Belinda's Place provides support, services and emergency housing for women in need.
- The Town of Newmarket has a CARE Fund (Creating Accessible Recreation for Everyone) that aims to give residents of all ages the opportunity to participate in recreational programming, by offering them financial assistance.

For a list of local charities in Newmarket that you can help support, visit newmarket.ca/payitforward
With your support, together, we can help those in need and make Newmarket even better.

THANK YOU

Town of Newmarket
Legislative Services, Parking Enforcement

ATTACHMENT #2

Courtesy PARKING TICKET

We noticed that you were unable to make it back to your vehicle in time before your on-street parking ran out.

Rather than issue a parking ticket, we invite you to pay it forward and donate to a foodbank or local charity of your choice.

Did You Know:

- You can pay for on-street parking on your phone with the City's ParkVictoria app? Download it for free from the App Store or Google Play.
- The ParkVictoria app sends you alerts when your parking time is running out and refunds unused time.
- Need more time? ParkVictoria enables you to extend your parking time up to the maximum time zone limit posted.

Happy Holidays
FROM THE CITY OF VICTORIA



victoria.ca/parking
parkingservices@victoria.ca
250.361.0260



Town of Newmarket

Minutes

Heritage Newmarket Advisory Committee

Date: Tuesday, September 3, 2019

Time: 7:00 PM

Location: Mulock Room
Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

Members Present: Billie Locke, Chair
Gord McCallum, Vice-Chair
Councillor Bisanz
David McLennan

Members Absent: Norman Friend
Mitch Sauder
Joan Seddon

Staff Present: A. Walkom, Legislative Coordinator

The meeting was called to order at 7:01 PM. Billie Locke in the Chair.

1. Additions & Corrections to the Agenda

None.

2. Declarations of Pecuniary Interest

None.

3. Presentations/Deputations

None.

4. Approval of Minutes

4.1 Heritage Newmarket Advisory Committee Meeting Minutes of June 4, 2019

Moved by: David McLennan

Seconded by: Councillor Bisanz

1. That the Heritage Newmarket Advisory Committee Meeting Minutes of June 4, 2019 be approved.

Carried

5. Correspondence

None.

6. Items

6.1 Heritage Plaque Research

Billie Locke provided an update regarding an offer from Richard MacLeod to provide training on property research related to Heritage Plaques. The Committee discussed the training and which Members would like to attend.

6.2 Workplan Discussion

The Legislative Coordinator provided an update to the Committee's workplan which has been reformatted for the new term.

6.3 Liberty Tree

The Committee discussed the Liberty Tree which is located between Botsford Street and Timothy Street and is recognized as the oldest tree in Newmarket. Recent construction has paved over part of the root system of the tree. The Committee discussed the proposed Protection of Trees on Private Property by-law which could affect trees on private property such as the Liberty Tree.

Moved by: Gord McCallum

Seconded by: David McLennan

1. That the Heritage Newmarket Advisory Committee request that staff provide an update on the status of the Protection of Trees on Private Property by-law.

Carried

7. Reports of Committee Members

7.1 Designated Property Maintenance and Concerns

There were no updates on these items.

7.1.1 Site Plaques

7.1.2 Residence Plaques

7.1.3 Heritage Location Plaques

8. Sub Committee Reports

8.1 Elman W. Campbell Museum Board

Billie Locke advised that the Museum garage sale in August raised \$700 for the Museum. She also advised that the summer events had seen good attendance.

8.2 Lower Main Street South Heritage Conservation District Advisory Group

There was no update on this item.

9. New Business

(1) The Committee discussed the need to find a new supplier for the Heritage plaques. Committee Members will research new potential sources and report back.

10. Adjournment

Moved by: Gord McCallum

Seconded by: Councillor Bisanz

1. That the meeting be adjourned at 7:38 PM

Carried

Chair

Date



Town of Newmarket

Minutes

Appointment Committee

Date: Tuesday, September 3, 2019

Time: 1:30 PM

Location: Cane Room
Municipal Offices
395 Mulock Drive
Newmarket, ON L3Y 4X7

Members Present: Mayor Taylor
Deputy Mayor & Regional Councillor Vegh, Vice Chair

Members Absent: Councillor Twinney, Chair

Staff Present: K. Saini, Deputy Town Clerk
D. Schellenberg, Manager of Accounting & Finance

The meeting was called to order at 1:30 PM.
Deputy Mayor & Regional Councillor Vegh in the Chair.

1. Additions and Corrections

None.

2. Declarations of Pecuniary Interest

None.

3. Presentations and Deputations

None.

4. Approval of Minutes

4.1 Appointment Committee Meeting Minutes of June 10, 2019

Moved by: Mayor Taylor

Seconded by: Deputy Mayor & Regional
Councillor Vegh

1. That the Appointment Committee Meeting Minutes of June 10, 2019 be approved.

Carried

4.2 Appointment Committee Meeting (Closed) Minutes of June 10, 2019

Moved by: Deputy Mayor & Regional
Councillor Vegh

Seconded by: Mayor Taylor

1. That the Appointment Committee Meeting (Closed) Minutes of June 10, 2019 be approved.

Carried

5. Items for Discussion

None.

6. Closed Session

6.1 Personal matters about an identifiable individual, including municipal or local board employees, as per Section 239 (2) (b) of the Municipal Act, 2001 - Applications to the Audit Committee

Moved by: Deputy Mayor & Regional
Councillor Vegh

Seconded by: Mayor Taylor

That the Appointment Committee resolve into a Closed Session for the purpose of discussing personal matters about identifiable individuals as per Section 239 (2) (b) of the Municipal Act.

Carried

The Appointment Committee resolved into Closed Session at 1:38 PM.

The Appointment Committee (Closed Session) Minutes are recorded under separate cover.

The Appointment Committee resumed into Open Session at 1:48 PM.

7. New Business

None.

8. Adjournment

Moved by: Mayor Taylor

Seconded by: Deputy Mayor & Regional
Councillor Vegh

1. That the Appointment Committee meeting adjourn at 1:49 PM.

Carried

Deputy Mayor & Regional Councillor Vegh, Vice Chair

Date



Town of Newmarket

Minutes

Main Street District Business Improvement Area Board of Management

Date: Wednesday, September 18, 2019

Time: 7:00 AM

Location: Serpa Studio
Old Town Hall
460 Botsford Street
Newmarket, ON L3Y 1T1

Members Present: Tom Hempen, Chair
Councillor Kwapis
Councillor Twinney
Rob Clark
Debbie Hill
Mark Iacovetta
Omar Saer
Ken Sparks

Members Absent: Allan Cockburn, Vice Chair
Jennifer McLachlan

Staff Present: F. Scott, Manager of Regulatory Services
F. DiPassio, Supervisor of Licensing & Parking Enforcement
E. Bryan, Business Development Specialist
J. Grossi, Legislative Coordinator

The meeting was called to order at 7:00 AM.
Tom Hempen in the Chair.

1. Additions and Corrections to the Agenda

The Chair advised that there were no additions or corrections to the agenda.

2. Declarations of Pecuniary Interest

- Ken Sparks declared a conflict related to Items 4.1 & 7.3 regarding a deputation from Snapd Inc. He advised his wife works for Snapd Inc.

3. Presentations & Recognitions

3.1 Parking Enforcement

The Manager of Regulatory Services provided an update outlining the current parking enforcement activities. He discussed the development of a long term parking solution and reviewed current practices.

The Members of the Main Street District Business Improvement Area Board of Management queried Staff regarding the availability of statistics detailing tickets issued in specific areas.

Moved by: Omar Saer

Seconded by: Councillor Twinney

1. That the presentation provided by the Manager of Regulatory Services regarding Parking Enforcement be received.

Carried

3.2 Film Permit Overview

The Supervisor of Licensing & Parking Enforcement provided information regarding the Film Policy and Film Permit application process.

The Members of the Main Street District Business Improvement Area Board of Management queried Staff on communication with the BIA regarding film policies, and best practices of neighbouring municipalities.

Moved by: Councillor Kwapis

Seconded by: Councillor Twinney

1. That the presentation provided by the Manager of Regulatory Services regarding a Film Permit Overview be received.

Carried

4. Deputations

4.1 snapd Inc.

Daniel Ramlogan, Snapd Inc, provided a deputation regarding the Newmarket BIA Holiday Program. He outlined the proposed program and asked the Members of the Main Street District Business Improvement Area Board of Management for their support and monetary donation towards a contest prize.

The Members of the Main Street District Business Improvement Area Board of Management queried the deputant regarding promotion requirements.

Moved by: Rob Clark

Seconded by: Omar Saer

1. That the deputation provided by Daniel Ramlogan regarding Snapd Inc. Newmarket BIA Holiday Program be received.

Carried

Ken Sparks took no part in the discussion or vote on the foregoing matter due to a declared conflict.

5. Approval of Minutes

5.1 Main Street District Business Improvement Area Board of Management Minutes of August 21, 2019

Moved by: Councillor Kwapis

Seconded by: Councillor Twinney

1. That the Main Street District Business Improvement Area Board of Management Minutes of August 21, 2019 be approved.

Carried

6. Items

6.1 Street Events Update

The Members advised that the Street Events subcommittee had not met since the last Main Street District Business Improvement Area Board of Management Meeting.

6.1.1 Soofa Update

The Business Development Specialist provided an update on the soofa data from the downtown area. She outlined the data availability and reporting timelines.

The Members of the Main Street District Business Improvement Area Board of Management queried Staff regarding public education opportunities.

6.2 Strategic Priority Update

6.2.1 Strategic Plan Consultant

That the Main Street District Business Improvement Area Board of Management discussed the strategic plan process and possibility of single-sourcing for a strategic plan consultant.

Moved by: Councillor Kwapis

Seconded by: Omar Saer

1. That the Main Street District Business Improvement Area Board of Management dissolve the strategic priority sub-committee.

Carried

Moved by: Omar Saer

Seconded by: Councillor Kwapis

1. That the Main Street District Business Improvement Area Board of Management oppose a single source process to hire a strategic plan consultant; and,
2. That a strategic priority sub-committee composed of Deb Hill, Rob Clark and Tom Hempen be formed to develop a scope document.

6.3 Garbage Update

Councillor Kwapis advised that the next taskforce meeting is October 29, 2019 and an update will be provided at the November Main Street District Business Improvement Area Board of Management Meeting.

The Members discussed garbage pick up on Main Street and the surrounding area.

6.4 Parking Update

Councillor Kwapis advised that a report was on the September 23, 2019 Committee of the Whole agenda regarding Implementation of the Administrative Monetary Penalty System (AMPS), and provided an update on long term parking solutions.

6.5 Staff Update

6.5.1 Financial Update

The Business Development Specialist provided an update regarding Main Street District Business Improvement Area 2019 remaining budget and outstanding items.

6.5.2 Financial Incentive Program Staff Working Group Update

The Business Development Specialist provided an update on the Financial Incentive Staff Working Group, and advised that updates will continue to be brought to Main Street District Business Improvement Area Board of Management Meetings to ensure communication with the business owners.

7. New Business

7.1 Strategic Plan Consultant Budget

The Members discussed the need to increase the budget for hiring a strategic plan consultant to ensure quality candidates apply.

Moved by: Rob Clark

Seconded by: Councillor Kwapis

1. That the Main Street District Business Improvement Area Board of Management increase the allocation of funds towards hiring a strategic priority facilitator up to \$10,000.

Carried

7.2 Laneway Lights Pilot

Councillor Kwapis advised that a pilot project related to lighting in the laneway beside Chip & Malt was available. He outlined that the Main Street District Business Improvement Area would be responsible for the cost of the light fixtures and Town of Newmarket Staff would provide installation at no cost.

Moved by: Omar Saer

Seconded by: Councillor Twinney

1. That the business owners on either side of the laneway be approached by the Main Street District Business Improvement Area Board of Directors to approve the installation of the lights; and
2. That the capital expenditure of the light fixtures be approved.

Carried

7.3 Snapd Inc Deputation

Moved by: Omar Saer

Seconded by: Rob Clark

1. That the Main Street District Business Improvement Area Board of Management provide funding in the amount of \$500 to Snapd Inc for the 2019 BIA Newmarket Holiday Program.

Carried

Ken Sparks took no part in the discussion or vote on the foregoing matter due to a declared conflict.

7.4 Santa Claus Parade - Best Float

1. That the Main Street District Business Improvement Area Board of Management provide funding in the amount of \$100 towards sponsorship for the Best Float in the 2019 Newmarket Santa Claus Parade; and,
2. That Rob Clark act as the judge for the Best Float in the 2019 Newmarket Santa Claus Parade.

7.5 Santa Shuffle

Tom Hempen provided an update from Nancy Harrison regarding the Santa Shuffle event.

7.6 Advertising

The Main Street District Business Improvement Area Board of Management discussed the current advertising budget for the remainder of 2019.

Moved by: Ken Sparks

Seconded by: Omar Saer

1. That the Main Street District Business Improvement Area Board of Management allocate up to \$3000 towards advertising.

Carried

Moved by: Councillor Twinney

Seconded by: Councillor Kwapis

1. That the Main Street District Business Improvement Area Board of Management form an advertising sub-committee composed of Omar Saer, Rob Clark, and Ken Sparks.

Carried

7.7 Holiday Party Sub-Committee

Moved by: Omar Saer

Seconded by: Mark Iacovetta

1. That the Main Street District Business Improvement Area Board of Management form a holiday party sub-committee composed of Councillor Twinney, Tom Hempen, and Deb Hill.

Carried

7.8 2019 Annual General Membership Meeting

The Main Street District Business Improvement Area Board of Management discussed possible dates for the 2019 Annual General Membership Meeting.

8. Closed Session

Tom Hempen advised that there was no requirement for a closed session.

9. Adjournment

Moved by: Omar Saer

Seconded by: Councillor Twinney

1. That the meeting be adjourned at 9:10 AM.

Carried

Tom Hempen, Chair

Date



Newmarket Public Library Board

Minutes

Date: Wednesday, September 18, 2019
Time: 5:30 PM
Location: Newmarket Public Library Boardroom
Newmarket Public Library
438 Park Avenue
Newmarket ON L3Y 1W1

Members Present: Darcy McNeill, Chair (joined by phone)
Jane Twinney, Vice Chair
Kelly Broome
Darryl Gray
Victor Woodhouse

Members Absent: Leslee Mason
Art Weiss

Staff Present: Linda Peppiatt, Deputy CEO
Todd Kyle, CEO
Lianne Bond, Administrative Coordinator

The Vice Chair called the meeting to order at 5:30 pm

1. Adoption of Agenda Items

- 1.1 Adoption of the Regular Agenda
- 1.2 Adoption of the Closed Session Agenda
- 1.3 Adoption of the Consent Agenda Items

Motion 19-09-49

Moved by Kelly Broome

Seconded by Darryl Gray

That agenda items 1.1 to 1.3 be adopted as presented

Carried

2. Declarations

None were declared.

3. Consent Agenda Items

- 3.1 Adoption of the Regular minutes for Wednesday, June 19, 2019
- 3.2 Adoption of the Special Meeting minutes for August 6, 2019
- 3.3 Adoption of the Closed Session minutes for August 6, 2019
- 3.4 Strategic Operations Report for June, July and August, 2019
- 3.5 Second Quarter Statistical Report
- 3.6 Monthly Bank Transfer
- 3.7 Second Quarter Financial Statement
- 3.8 Annual Renewal of Policies

Motion 19-09-50

Moved by Kelly Broome

Seconded by Victor Woodhouse

That Consent Agenda items 3.1 to 3.8 be approved and adopted as presented.

Carried

4. Business Arising

4.1 Marketing and IT Realignment Agreements

A high-level summary on the marketing and I.T. realignment agreements was presented to the Library Board. The Board tabled this item so that further discussion could be held in Closed Session as it related to personal matters about an identifiable individual.

4.2 Library Advocacy during Election Campaigns

The Library Board discussed the proposed revision to the Town of Newmarket Use of Corporate Resources and Election Campaign Activities Policy related to Library advocacy during election campaigns.

Motion 19-09-51

Moved by Victor Woodhouse

Seconded by Darryl Gray

That the Library Board receive the report on Library Advocacy during election campaigns;

And That it be added to the Action List further discussion.

Carried

4.3 2020 Operating and Capital Budget Requests

The Library Board reviewed the draft 2020 Operating and Budget Requests.

Motion 19-09-52

Moved by Victor Woodhouse

Seconded by Darryl Gray

That the Library Board approve the 2020 Operating and Capital Budget requests for submission to the Town of Newmarket Council.

Carried

4.4 Library Board Action List

The Library Board reviewed the Action List.

Motion 19-09-53

Moved by Kelly Broome

Seconded by Victor Woodhouse

That the Library Board receive the Action List as presented.

Carried

5. New Business

5.1 Reciprocal Borrowing Request from Bradford West Gwillimbury Public Library

The Board reviewed the report regarding Bradford West Gwillimbury Public Library's request to have a reciprocal borrowing arrangement with Newmarket Public Library.

Motion 19-09-54

Moved by Darryl Gray

Seconded by Kelly Broome

That the Library Board approve a reciprocal borrowing agreement with Bradford West Gwillimbury Public Library contingent on similar approval by the Bradford West Gwillimbury Public Library.

Carried

5.2 Drug and Alcohol Policy

The C.E.O. recommended that the Library Board adopt the Town of Newmarket Drug and Alcohol Policy to apply to library employees which aligns with new legislative frameworks surrounding cannabis, smoking and vaping.

Motion 19-09-55

Moved by Victor Woodhouse

Seconded by Darryl Gray

That the Library receive the report on Drug and Alcohol Policy;

And That the Library Board approve the Drug and Alcohol Policy as presented to be applicable to Library employees.

Carried

5.3 York Region Inclusion Charter

The report on the York Region Inclusion Charter asked that the Library Board endorse the York Region Inclusion Charter so that it can be shared in the Library facility as well as on the Library website.

Motion 19-09-56

Moved by Darryl Gray

Seconded by Kelly Broome

That the Library Board receive the report on York Region Inclusion Charter;

And that the Library Board endorse the Inclusion Charter for York Region;

And that the wording be customized so it is applicable to Newmarket Public Library as an employer and as a public service provider and be brought to the Library Board.

Carried

6. Closed Session (If Required)

Motion 19-09-57

Moved by Victor Woodhouse

Seconded by Kelly Broome

That the Library Board move in to closed session at 6:22 pm to discuss personal matters about an identifiable individual.

Carried

Motion 19-09-58

Moved by Victor Woodhouse

Seconded by Kelly Broome

That the Library Board move out of Closed Session at 6:37 pm.

Carried

Motion arising from Closed Session:

Motion 19-09-59

Moved by Darryl Gray

Seconded by Kelly Broome

THAT the Library Board receive the report on Marketing and IT realignment agreements;

And That the Library Board authorize the C.E.O. to execute and implement the one-year pilot Information Technology Joint Steering Committee, effective October 15, 2019;

And That the Library Board authorize the C.E.O. to execute and implement the one-year pilot Service Level Agreement Between Town of Newmarket Recreation & Culture/Marketing & Sponsorship and Newmarket Public Library, effective October 15, 2019;

And That the Library Board direct the C.E.O. to report on a regular basis to the Board on the progress and outcome measures related to these pilots and make recommendations to the Board regarding the future status of the agreements after the completion of the pilot year.

Carried

7. Dates of Future Meetings

7.1 The next Regular Board meeting is scheduled for Wednesday, October 16, 2019 at 5:30 pm in the Library Board room.

8. Adjournment

Motion 19-09-60

Moved by Victor Woodhouse

Seconded by Kelly Broome

That there being no further business the meeting adjourn at 6:38 pm.

Carried

Jane Twinney, Vice-Chair

Todd Kyle, Secretary/Treasurer

Town of Newmarket

Outstanding Matters List (2018 – 2022 term of Council)

As of October 23, 2019

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
Q4, 2019				
1.	Meeting Date: Committee of the Whole – April 9, 2018 Subject: Council Remuneration	Recommendations: 2. That Council refer the consultant and staff report to the new term of Council to be considered along with updated information at that time and to allow for phasing of any further adjustments to occur if necessary; and, Responsible Department: ➤ Office of the CAO/Human Resources	Q4, 2019	
3.	Meeting Date: Committee of the Whole - September, 25, 2017 Subject: Report 2017-16 Vacant Building Report – Window Wrap Program	Recommendation: 2. That staff be directed to report back on Option 2, a Window Wrap program. Responsible Departments: ➤ Legislative Services ➤ Economic Development	Q4, 2019	Information report to be distributed
4.	Meeting Date: Committee of the Whole – March 18, 2019 Subject: Construction Vibration Issues	Recommendations: 5. That staff investigate options for existing sites where construction activity will cause significant vibrations. Responsible Departments: ➤ Planning and Building Services & Engineering Services	Q4, 2019	
5.	Meeting Date: Committee of the Whole – August 28 – Motion Subject: Item 3 of Accessibility Advisory Committee Meeting Minutes of March 23 re: Accessibility in the downtown area	Recommendation: 1. That the Operational Leadership Team recommends that the following recommendation be referred to staff for review and report: a. That The Accessibility Advisory committee recommends to Council that Council consider ways to make as many entrances to Main Street buildings as accessible as possible. Responsible Departments: ➤ Legislative Services (lead), Planning and Building Services, Engineering Services & Legal Services	Q4, 2019	Joint Meeting to be scheduled with Business Improvement Area and Newmarket Accessibility Advisory Committee Chairs

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
6.	Meeting Date: Committee of the Whole – April 8, 2019 Subject: Hollingsworth Arena and Future Ice Allocation Considerations	Recommendations: 3. That the Town of Newmarket operate with six ice pads and report back annually on the status of ice allocations, and ability to accommodate users; and 6. That within six months staff bring back a report on any plans for public amenity use at this location; and, Responsible Department: ➤ Recreation & Culture Services	Q4, 2019	
9.	Meeting Date: Committee of the Whole – April 8, 2019 Subject: Cycling Infrastructure – Mulock Drive	Recommendations: 2. That staff be directed to prepare a report on prioritizing cycling infrastructure on Mulock Drive to enhance the work of the Secondary Plan that is underway and to better connect the community to the Mulock Farm Park. Responsible Department: ➤ Engineering Services	Q4, 2019	Report on Committee of the Whole - November 4, 2019 Agenda
10.	Meeting date: Committee of the Whole – March 19, 2018 Subject: 500 Water Street Parking Information Report 2018-11 (Cachet Parking Lot)	Recommendation: 3. That the Community Centre Lands Task Force work form the basis of a report back to Council, to be brought forward in Q1/Q2, 2019. Responsible Department: ➤ Engineering Services/ Community Centre Lands Task Force	Q4, 2019	
11.	Meeting Date: Committee of the Whole – February 25, 2019 Subject: Recognition of the Widdifield Family	Recommendations: 1. That staff be directed to investigate options that will recognize the area east of the river and west of Doug Duncan Drive, that lies between Timothy and Water St to be recognized in some format by a commemorative plaque or other option that acknowledges and demonstrates the background and history of an area known to be Widdifield Park; and, 2. That Mike Widdifield of Newmarket be notified of any proposals. Responsible Department: ➤ Recreation / Parks	Q4, 2019	Information Report to be provided

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
12.	Meeting Date: Committee of the Whole - February 26, 2018 Subject: Newmarket Public Library Study Implementation	Recommendations: 2. That Council refer the further consideration and direction with respect to library facility needs study to the 2018 – 2022 Council Strategic Priority setting process. Responsible Department: ➤ Community Services/Newmarket Public Library	Q4, 2019	
13.	Meeting Date: Committee of the Whole – April 29, 2019 Subject: 2018-2022 Council Strategic Priorities	Recommendations: 2. That Staff report back to Council with respect to a fulsome, ongoing communications plan (completed) and an overall performance measurement approach intended to track and present progress. Responsible Department: ➤ Strategic Priority Staff Working Group	Q4, 2019	
14.	Meeting Date: Committee of the Whole - September 23, 2019 Subject: Established Neighbourhoods Compatibility Study	Recommendation: Established Neighbourhoods Compatibility Study Responsible Department: ➤ Planning and Building Services	Q4, 2019	Special Committee of the Whole scheduled December 2, 2019
15.	Meeting Date: Committee of the Whole – June 17, 2019 Subject: Ward 1 Traffic Petitions	Recommendation: 1. That the petitions regarding traffic issues in Ward 1 be received and referred to staff. • Atkins Drive – Speed Mitigation • Helena Court – Parking • Kingsmere Avenue – Stop sign Responsible Departments: ➤ Engineering Services	Q4, 2019	
Q1, 2020				
16.	Meeting Date: Special Committee of the Whole – May 14, 2019 Subject: Ranked Ballots	Recommendation: 3. That Staff report back to Council with respect to referendum questions for the 2022 Municipal Election; and, Responsible Departments: ➤ Legislative Services	Q1, 2020	

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
17.	Meeting Date: Committee of the Whole - August 26, 2019 Subject: Traffic & Parking Petitions	Recommendations: <ol style="list-style-type: none"> 1. That the petition regarding Parking Restrictions on Helmer Avenue be referred to Staff; and, 2. That the petition regarding Traffic Calming Measures/Speed Mitigation on Flagstone Way be referred to Staff; and, 3. That the petition regarding Traffic Calming Measures/Speed Mitigation on Simcoe Street be referred to Staff. Responsible Departments: <ul style="list-style-type: none"> ➤ Engineering 	Q1, 2020	
18.	Meeting Date: Committee of the Whole - April 30, 2018 Subject: Heritage Designations - York Region Administrative Building and Newmarket Canal System	Recommendations: <ol style="list-style-type: none"> 1. The Strategic Leadership Team/Operational Leadership Team recommend that the following be referred to staff for review and report: <ol style="list-style-type: none"> a. That the Heritage Newmarket Advisory Committee propose to the Region of York that the Administration Centre building be designated, due to its noted architect; and, b. That the Heritage Newmarket Advisory Committee recommend the Town of Newmarket designate the Newmarket Canal system. Responsible Department: <ul style="list-style-type: none"> ➤ Planning and Building Services 	Q1, 2020	
19.	Meeting Date: Committee of the Whole - September 23, 2019 Subject: All Way Stop at Dover Crescent and Burford Street	Recommendations: <ol style="list-style-type: none"> 1. That the traffic issue related to an all-way stop at Dover Crescent and Burford Street be referred to Staff. Responsible Departments: <ul style="list-style-type: none"> ➤ Engineering Services 	Q1, 2020	
20.	Meeting Date: Council - September 9, 2019 Subject: All Way Stop at Dover Crescent and Burford Street	Recommendations: <ol style="list-style-type: none"> 1. That the deputation by Joseph Coupal regarding a Request for an All-way Stop at the Intersection of London Road and Harewood Boulevard be received and referred to staff Responsible Departments: <ul style="list-style-type: none"> ➤ Engineering Services 	Q1, 2020	

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
21.	Meeting Date: Committee of the Whole - June 17, 2019 Subject: Protection of Trees on Private Property	Recommendations: 4. That following the internal and public consultation, issues identified in this report, together with comments from the public, and Committee, be addressed by staff in a comprehensive report to the Committee of the Whole with a draft by-law; and, Responsible Department: ➤ Planning Services	Q1, 2020	PIC at the iWonder Event completed.
22.	Meeting Date: Committee of the Whole – June 17, 2019 Subject: Youth Engagement, Diversity and Inclusivity, and Consultation on the Environment	Recommendation: 3. That staff be directed to plan a Climate Change Open House for Fall 2019 (completed) and a Spring 2020 e-Waste Collection event as part of a one-year pilot environmental consultation program and report back in 2020 with a review of this program; Responsible Departments: ➤ Engineering Services, Public Works Services	Q1, 2020	
Q2, 2020				
23.	Meeting Date: Committee of the Whole - September 23, 2019 Subject: Derelict Properties	Recommendations: 1. That Staff circulate an information report related to derelict properties, including information regarding demolition requirements and any impediments that may apply. Responsible Departments: ➤ Legislative Services ➤ Planning & Building	Q2, 2020	
25.	Meeting Date: Committee of the Whole - April 30, 2018 Subject: Asset Replacement Fund Strategy	Recommendation: 1. That the Asset Replacement Fund Strategy be referred to staff for further information and be brought back to Council for consideration at a later date. Responsible Departments: ➤ Financial Services	Q2, 2020	

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
26.	Meeting Date: Council – December 5, 2016 Subject: Report 2016-25 – 178, 170, 184, 188, 190 and 194 Main Street S.	Recommendation: 1. That in 120 days, staff be directed to bring back an amendment to the Heritage Conservation District Plan and By-law for consideration of Council that would outline the criteria which would need to be met by applicants in order to be considered for approval for a fourth storey set back from the street by a minimum of 15 (fifteen) feet. Responsible Department: ➤ Planning and Building Services	Q2, 2020	
Q3, 2020				
27.	Meeting Date: (1) Committee of the Whole - November 6, 2017 (2) Committee of the Whole – April 9, 2018 (Temporary Parking Exemption Report) Subject: Residential Parking	Recommendations: (1) 1. That Development and Infrastructure Services Engineering Services and Planning and Building Services - Report 2017-45 dated November 6th, 2017 regarding Residential Parking Review be received and the following recommendations be adopted: c. That, subject to budget approval, staff be directed to undertake a review of the Parking By-law and report back to Committee of the Whole with recommendations on improvements to parking matters discussed in this report. (2) 5. That the Temporary Parking Exemption Program be implemented as a pilot project and reviewed as part of the overall residential parking review scheduled for Q1/Q2, 2019 Responsible Department: ➤ Planning and Building Services / Legislative Services	Q3, 2020	CW held on June 10, 2019
Q4, 2020				
28.	Meeting Date: Committee of the Whole - September 23, 2019 Subject: Town-Wide Mitigation Strategy - Traffic Calming Policy Public Consultation Report	Recommendations: 2. That Staff report back to Council in up to 12 months regarding various initiatives raised in this report. Responsible Departments: ➤ Engineering	Q4, 2020	

	Originating Meeting Date and Subject	Recommendation and Responsible Department	Target Quarter / Timeframe	Staff Comments
29.	Meeting Date: Committee of the Whole – June 17, 2019 Subject: Single Use Plastics	Recommendation: <ol style="list-style-type: none"> That Council direct staff to bring back a report which outlines the roles and responsibilities of the Province, the Region and the Town in relation to recycling and diversion and provides the following: <ol style="list-style-type: none"> information on what work is currently being done to address the reduction and eventual elimination of single use plastics; and, clear options for Council to consider to ensure the town is taking steps within its jurisdiction to reduce and eventually eliminate single use plastics. Responsible Departments: <ul style="list-style-type: none"> ➤ SLT to determine 	TBD	
2021				
30.	Meeting Date: Council – January 18, 2016 – Item 35 Subject: 2015-44 – Proposed Trail from Yonge Street to Rita's Avenue	Recommendation: <ol style="list-style-type: none"> That staff provide alternate trail options for this area at a lower cost. That Item 35 of the Council Minutes of December 14, 2015 being Joint Development and Infrastructure Services - Planning and Building Services and Engineering Services Report 2015-44 dated November 19, 2015 regarding a proposed trail from Yonge Street to Rita's Avenue be reconsidered; and, That staff provide alternate trail options for this area at a lower cost, including the option of extending the trail through George Luesby Park along Clearmeadow Boulevard to Yonge Street and further connecting the trail from Flanagan Court/Rita's Avenue to the George Luesby Park Trail; and, That staff also include in the report the option of installing lighting along the George Luesby Park Trail. Responsible Department: <ul style="list-style-type: none"> ➤ Planning and Building Services ➤ Engineering Services 	2021	Deferred subsequent to VivaNext construction

Quaker Hill Neighbours – We Need Your Help!

May 2019

The Intersection of William Roe & Dixon Blvd. has become increasingly dangerous and has been witness to too many accidents and near misses. We are working with Town Council to remedy the problem before someone gets hurt.

Three areas of concern: William Roe East & West; Intersection of William Roe & Dixon Blvd.; Dixon Blvd. North & South.

Armed with as many signatures as possible; this Petition will be presented to our Ward 5 Councilor, Bob Kwapis; who will then present to Council with a proposal for impact studies and an efficient resolution.

PLEASE SIGN THE PETITION:

Note: This petition has been redacted to remove personal information. Original document contains 164 signatures.