



# Town of Newmarket Agenda

## Heritage Newmarket Advisory Committee

Date: Wednesday, October 16, 2019  
Time: 7:00 PM  
Location: Cane Room  
Municipal Offices  
395 Mulock Drive  
Newmarket, ON L3Y 4X7

Pages

1. Additions & Corrections to the Agenda
2. Declarations of Pecuniary Interest
3. Presentations/Deputations
4. Items
  - 4.1 1075 Gorham Street
5. Adjournment

1

## 1075 Gorham St. Newmarket On.

September 13, 2002.

Legal Description: Plan 383 Lot 2., 0.41acre, irregular  
Assessment Roll: 040 198 650

Present Owner: Tony Drew 905-895-6211

This property was historically a part of lot 33 in the 2<sup>nd</sup> concession of Whitchurch Township, consisting of 200 acres measuring 1 ¼ miles running west to east by ¼ mile north to south.

Very early after the survey of the township, Gorham Street was laid out running from the 2<sup>nd</sup> Concession (Bayview,) Newmarket, (Water St.,) to the 3<sup>rd</sup> Concession, (Leslie St.) which divided the property into a 100 acre lot on the north side of Gorham and a similar size lot on the south side of the Street.

It was originally designated a Crown Reserve, and there is evidence, (Township Papers, #00285,) the whole lot was first leased to Joseph Hill, July 13, 1802, and then May 21, 1820. to Elisha Beman. This early activity has to do with the front of the property, actually in Newmarket at the dam and mill site of Hill, ( Bayview ended in the mill pond,) Newmarket's first miller, which he lost to Elisha Beman, but that is another story.

On January 3<sup>rd</sup> 1824, The Crown sold the 200 acre property to King's College, (the first patentee,) part of the University and Colleges at Toronto. We don't think they occupied the land but leased it to local farmers for pasturage, etc., although there is no evidence of this.

On August 18<sup>th</sup>, 1853, David Buchan, Bursar of the University and Colleges at Toronto sold the 100 acre north half lot for 175 Pounds to William *Beverley* Robinson, James Henderson and William Roe, Executors under the Will of the late John Thomson of Newmarket.

Note: William Beverley Robinson QC. A stepson of Elisha Beman and prominent Toronto Lawyer and member of the Provincial legislature, and William Roe Newmarket's first Post master and prominent business man. John Thomson had been a physician and surgeon in Newmarket. His executors were investing some of his money to benefit his estate.

Then, On October 31, 1853 Thomson's executors sold the same property to William Andrew Clarke, a merchant in the City of Toronto, for 800 pounds.

In November of the same year Clarke using the property as security gets a mortgage from Edmund Samuel Lally et ux,(he passes title to them,) but in May of 1854 he pays off the

mortgage and regains title to the property. It is in this instrument of 1854 there is a first mention of, "Land and Premises."

Clarke subdivides the 100 acres into "Villa Lots," and disposes of much of them to various other people and for various considerations depending on the size and location of the lots, the majority of which were within Newmarket's village limits. Note: The survey of subdivision was by J.J. Passmore Provincial Land surveyor on the 8<sup>th</sup> day of May 1854 and Registered in the Registry Office for the County of York

At some point in early 1854 Clarke dies, and on October 13<sup>th</sup>, 1854, William McMaster, James Mitchell, and Robert James the Younger, assignees of his estate, sell villa lots 34 and 35 to Henry Minthorn (Mintren) a carpenter and resident of East Gwillimberry for 700 pounds.

We are not sure of the quantity of land in this transaction though some records suggest it was some 13 acres as lot 35 was of irregular shape while lot 34 was a proper rectangle, whereas in the Census records of 1861 it is listed as 15 acres.

The first listing of a house on this property is from the Whitchurch Twp. Census of 1861, (Stouffville Public Library.) It lists Henry (47), his wife Elizabeth (Lundy) (44) and children Charles (23) and William (19), occupying a frame one story house on 15 acres of which 8 acres are under cultivation and 7 classified as wild.

The house in question is situated on the corner property facing south on Gorham St., and the east side lot on Leslie Street. There was a barn further west along the street since demolished and built over.

At some later point the frontage of the 2 lots along Gorham Street are subdivided into 8 lots. Fronting on Gorham Street and is registered as 383-2, a plan of subdivision of lot 35 and part 34, Plan 103 Township of Whitchurch.

Dating of the house has been very difficult as the land was first a Crown Reserve until 1824 and then the property of an absentee landowner until 1853. There is no evidence of any building activity, except in the Lally deed of 1854 when "Premises," is noted. We know the property was leased during the earlier period but cannot believe any tenant would build a house and barn and face the consequences of losing them through the termination of a lease and cannot see that the previous landowners did so. There is a sort of chronology of ownership from Minthorn (Mintren) forward taken from the Tweedmuir Papers, a series of documents prepared by the local Women's Institutes during, we believe,) the 1930's.

With all of the above we can only conclude that house was built by Henry Minthorn (Mintren,) carpenter in 1855.

M.Paul Millard

File Summary

Street Name: GORHAM

Street Number: ~~107~~ 1075

Assessments Role #: 040 198 650-00

Date File Started: Aug. 6<sup>th</sup> /02

Legal Description: PL 383 LOT 2

Photograph Included: yes  no

Lot Area (sf.): 0.41 AC irregular

Map Included: yes  no

Lot Frontage (ft.): 71.00

Building Inventory Completed:

yes  no

Lot Depth (ft.): \_\_\_\_\_

Builder: \_\_\_\_\_

Title Search Included: yes  no

Architect: \_\_\_\_\_

Structure & Style: \_\_\_\_\_

Plaque Status: \_\_\_\_\_

First Owner: \_\_\_\_\_

Designation Status: \_\_\_\_\_

Occupation: \_\_\_\_\_

Date of Construction: \_\_\_\_\_

Documents Included in the File:

**Miscellaneous Info:**

current owner  
Tony Drew  
(905) 895-6211

originally owned by  
Mrs. Minturn  
Whitbeck County because  
home Newmarket in 1971

- used to be "Boquet Town"  
Whitbeck Township  
NW corner of Gochon and Leslie  
Farmhouse: owners description  
describes the house is 1010  
- original door is missing  
altered to be a  
large window

- Clapboard Siding





THIS HOUSE IS LOCATED IN NEW MARKET AT 1075 GORHAM STREET. IT IS ASSUME THE ORIGINAL OWNER, A CARPENTER, BUILT THE HOUSE FOR HIS FAMILY.

ALTHOUGH THE HOUSE HAS BEEN BUTCHERED BY RENOVATIONS AND ALTERATION THE ARCHITECTURAL STYLE OF THIS BUILDING SEEMS TO BE A CROSS BETWEEN NEO-CLASSICAL AND REGENCY.

THE SYMMETRICAL SQUARE SHAPED BUILDING AND HIP ROOF PUTS THIS BUILDING IN THE REGENCY STYLE. IT IS MISSING THE VERANDA THAT IS A TRADEMARK OF THE REGENCY STYLE. HOWEVER DURING A RENOVATION THE FRONT ENTRY WAS REMOVED AND FILLED IN WITH A 1950's BAY WINDOW. THE NEW ENTRY IS ON THE SIDE OF THE HOUSE. IT IS POSSIBLE THE VERANDA WAS REMOVE AT THIS TIME AS WELL.



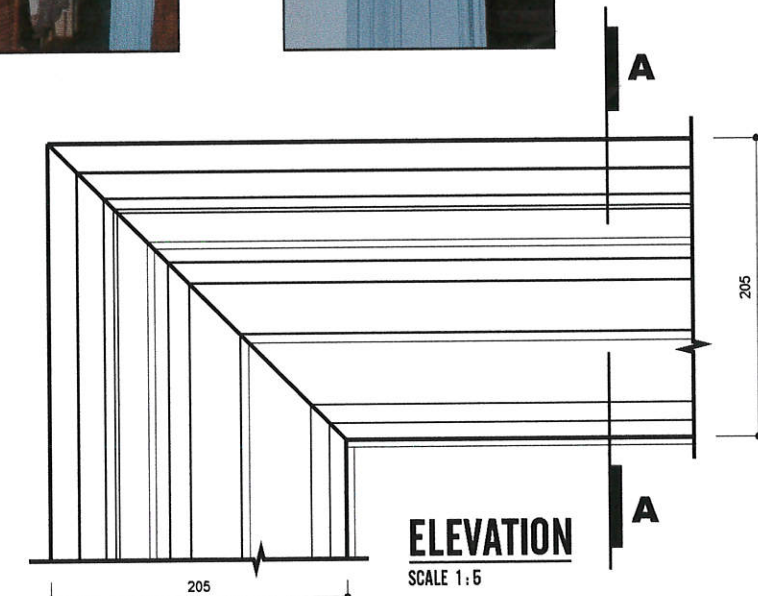
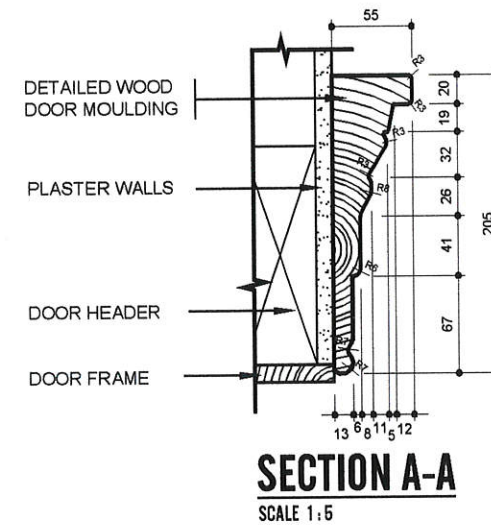
THE FRONT ENTRY IS THE FIRST PLACE WHERE YOU CAN FIND DETAILS TO PLACE A BUILDING IN A PARTICULAR STYLE. SINCE THE FRONT ENTRY HAS BEEN REMOVED IT MAKES THIS HOUSE HARD TO PLACE.

THE NEO-CLASSICAL STYLE COMES FROM THE OLD ENTRANCEWAY AND ANTIQUE DETAILED MOULDINGS AROUND DOORS AND WINDOWS ON THE INTERIOR (DETAIL A). THE OLD ENTRANCEWAY APPEARS TO HAVE A BROAD FLAT-HEADED TRANSOM OVER THE DOOR.

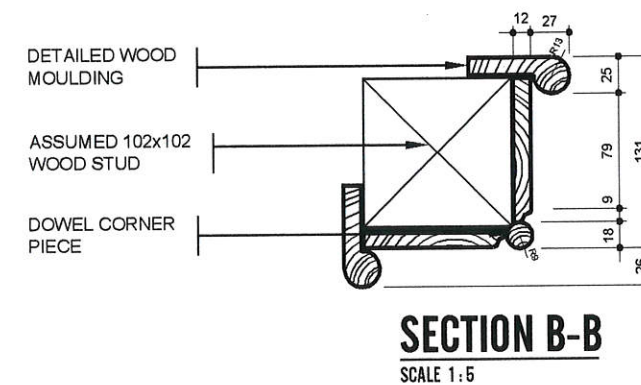
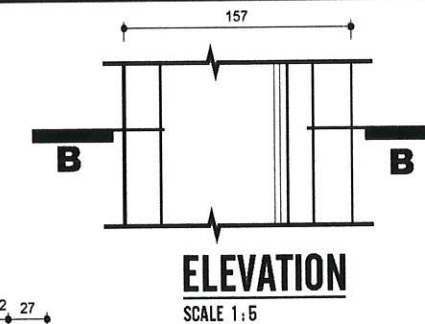
ANOTHER ASPECT OF NEO-CLASSICAL IS THE EXPRESSION OF STRUCTURE. CLASSIC ARCHITECTURE DETERMINED THAT A BUILDING SHOULD CONSIST SOLELY OF THE ELEMENTS THAT SUPPORT THE BUILDING. AS SEEN IN THIS BUILDING THE COLUMNS AT THE EDGES OF THE BUILDING ARE DETAILED TO EXPRESS THIS CLASSIC IDEA (DETAIL B).



### DETAIL A DOOR MOULDING



### DETAIL B EXTERIOR BUILDING CORNER DETAIL



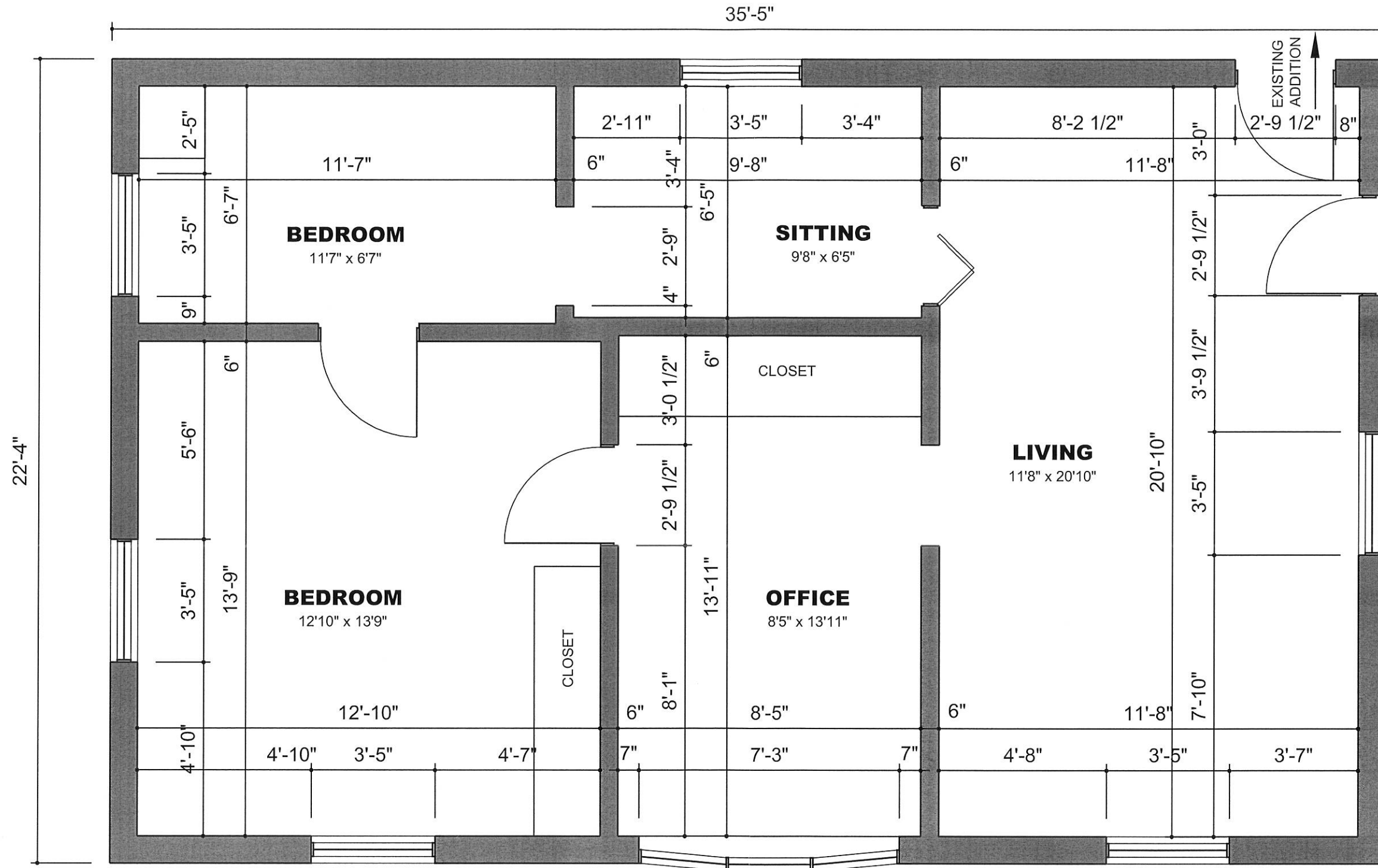
BUILDING - DREW HOUSE  
OWNER - TONY DREW  
LOCATION - NEW MARKET, ON

## PROJECT 1: DETAILS OF A 19TH CENTURY BUILDING

 **HUMBER COLLEGE**  
School of Applied Technology

DRAWN BY: JEFF HILLEN  
DATE: OCTOBER 7, 2002  
COURSE: RENOVATION AND RESTORATION





# FLOOR PLAN AS RENOVATED

SCALE: 5/16" = 1'-0"

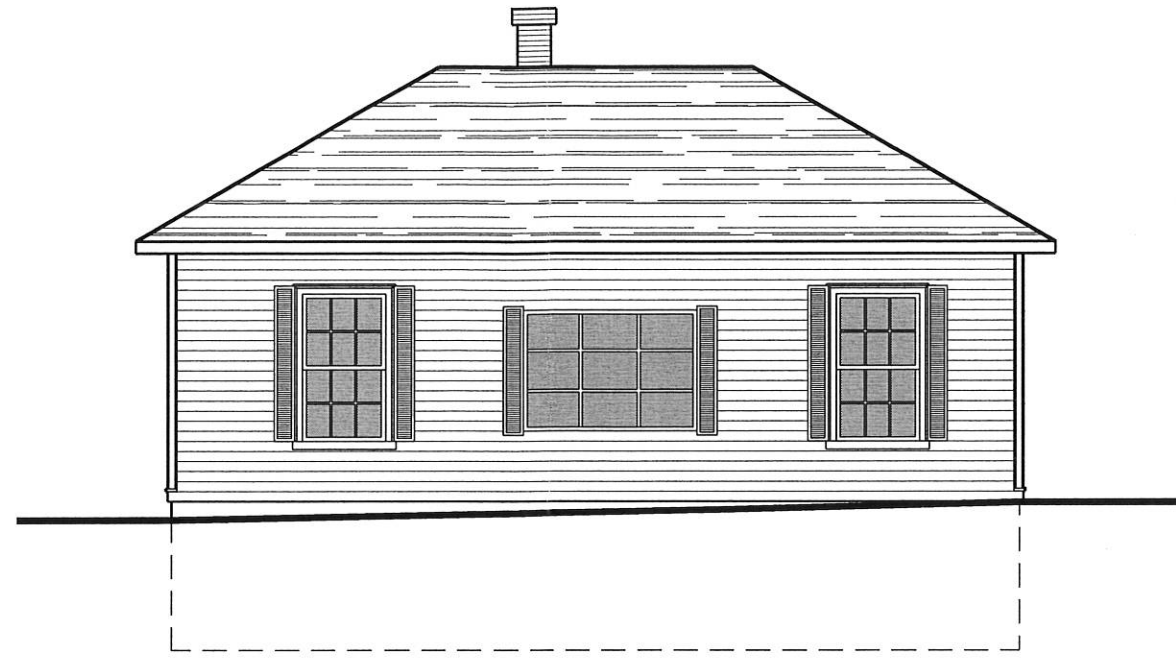


# DREW RESIDENCE

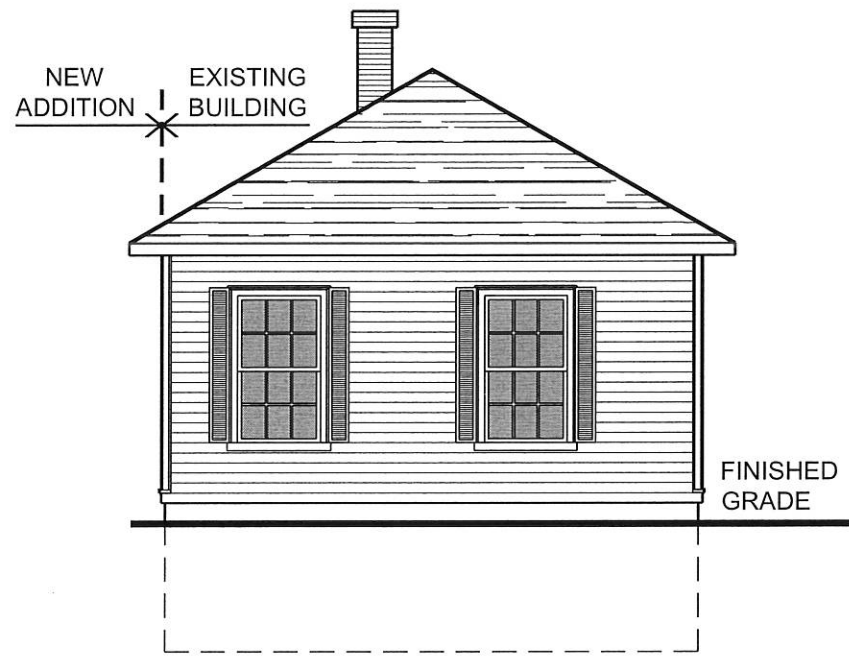
**ADDRESS:** 1075 GORHAM STREET  
NEWMARKET, ONTARIO

**DRAWN BY:** DAVE FINLEY  
JEFF HILLEN

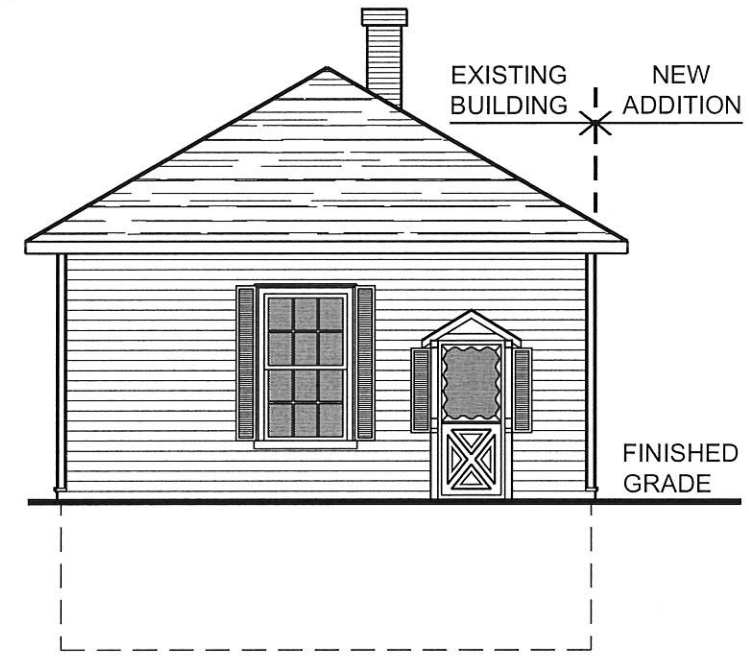
**DATE PLOTTED:** NOV 28, 2002  
**SCALE:** 5/16" = 1'-0"



**SOUTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**

**ELEVATIONS AS RENOVATED**

SCALE: 1/8" = 1'-0"

**DREW HOUSE**

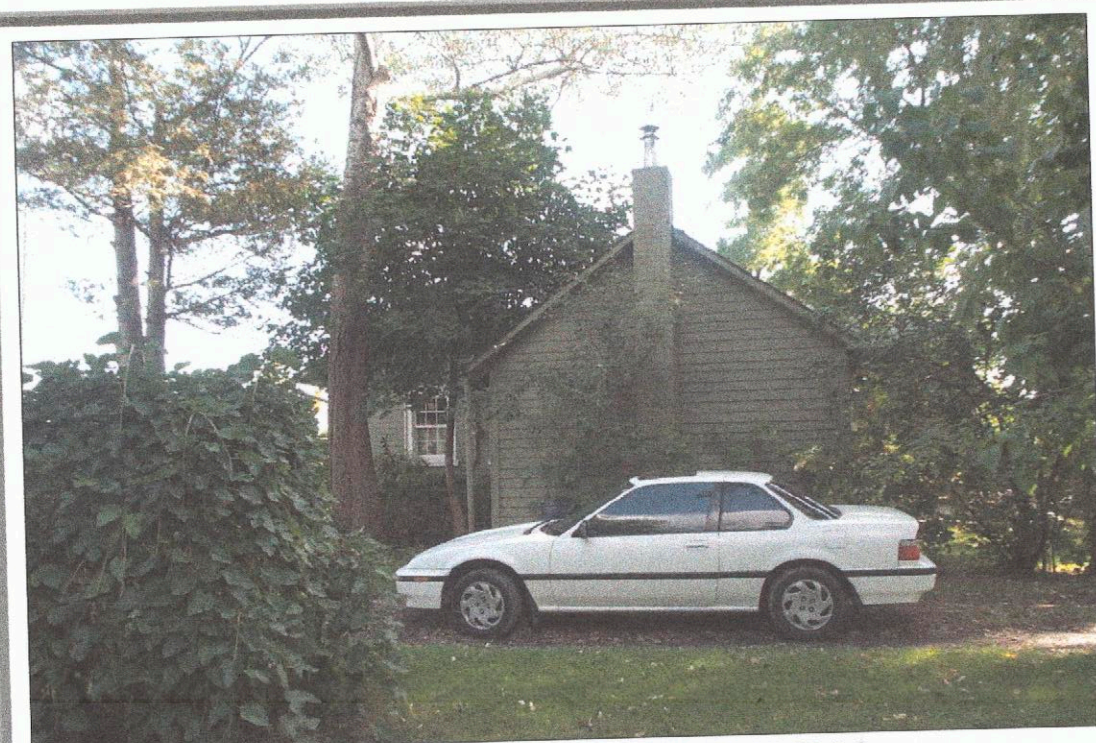
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**DRAWN BY:** DAVE FINLEY  
JEFF HILLEN

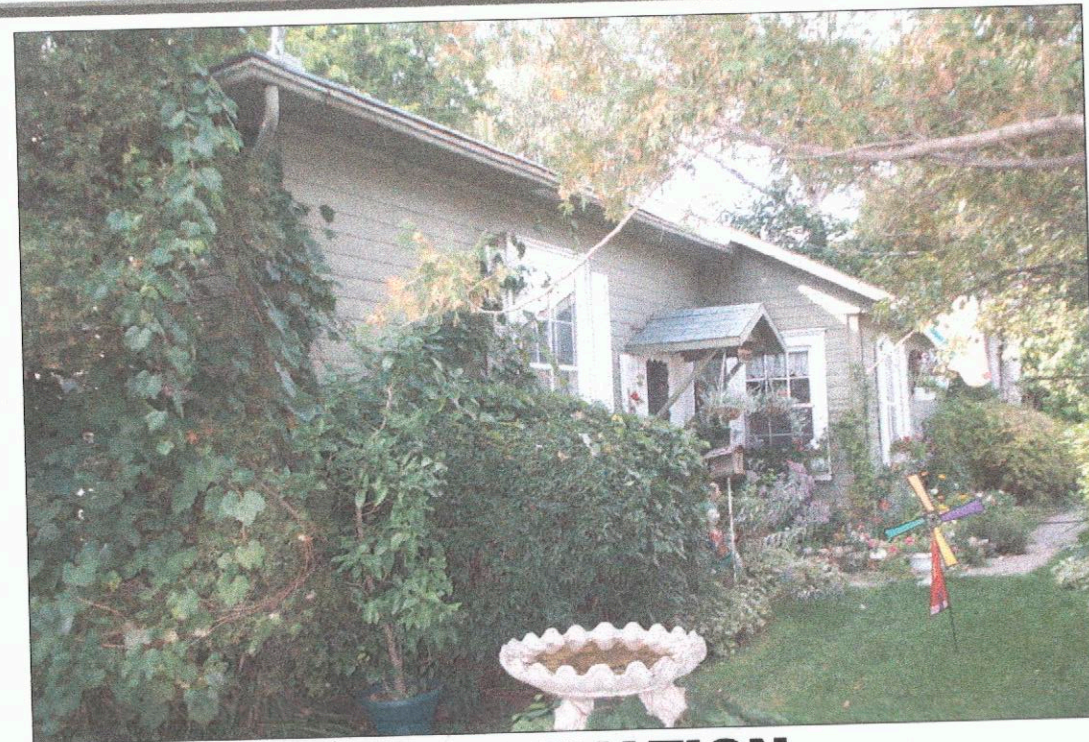


**DATE PLOTTED:** NOV 28, 2002  
**SCALE:** 1/8" = 1'-0"





**NORTH ELEVATION**



**EAST ELEVATION**



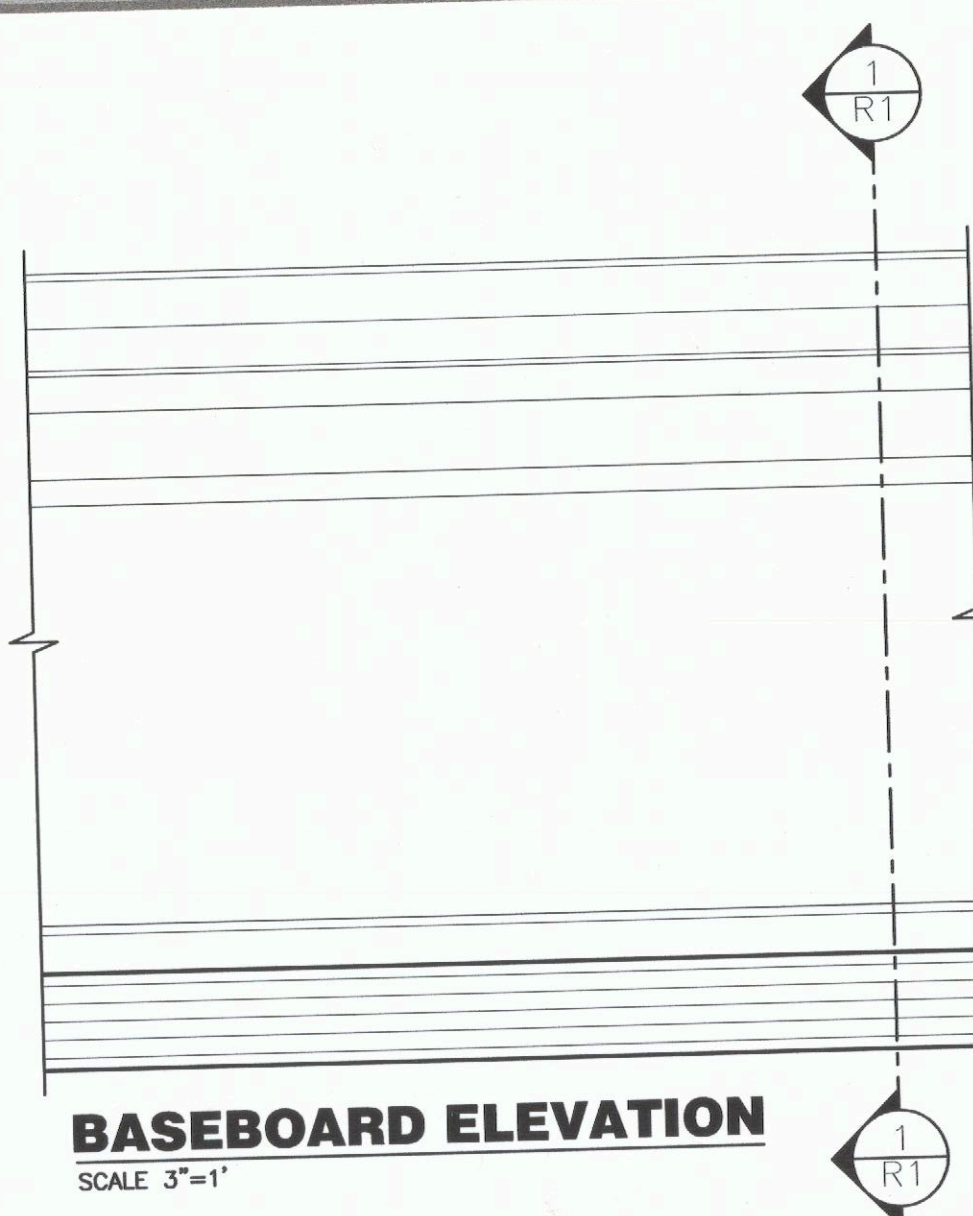
**SOUTH ELEVATION**



**WEST ELEVATION**



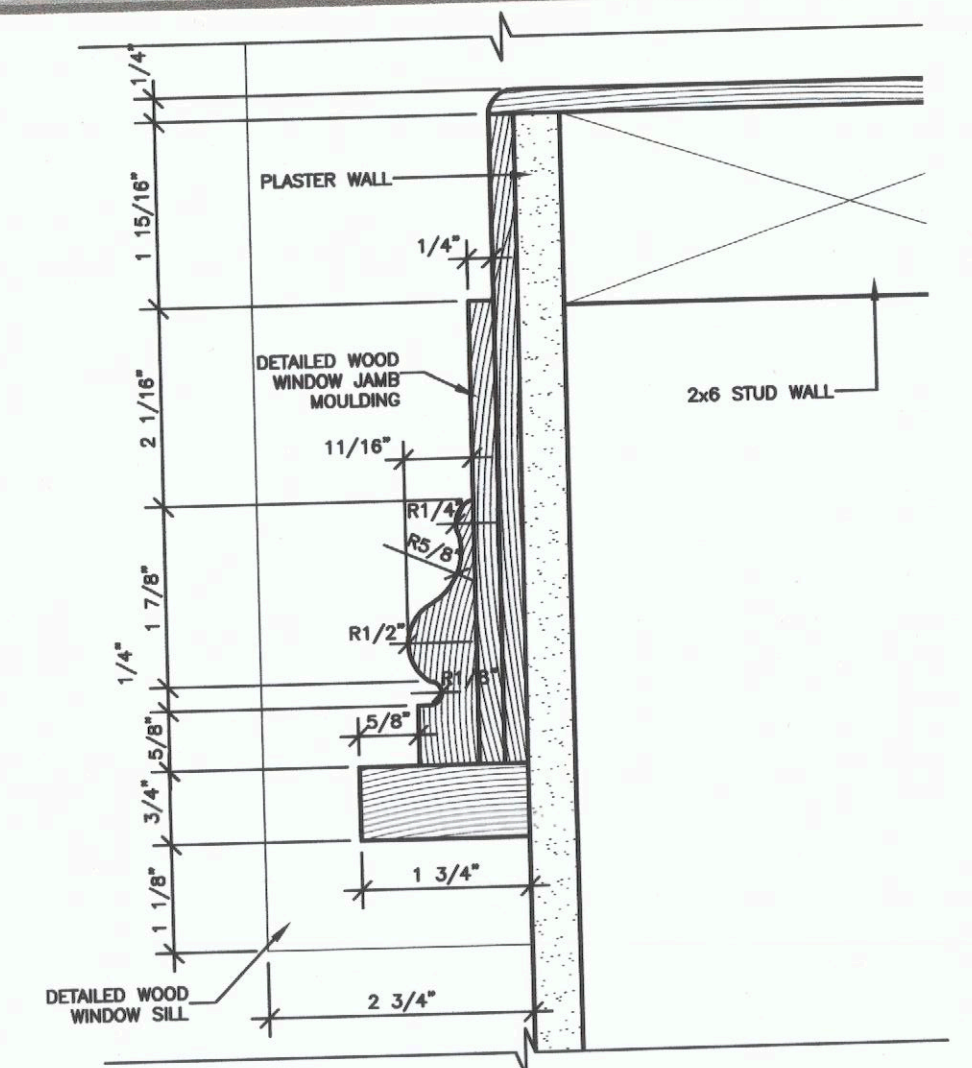
**LIVING ROOM WINDOW**



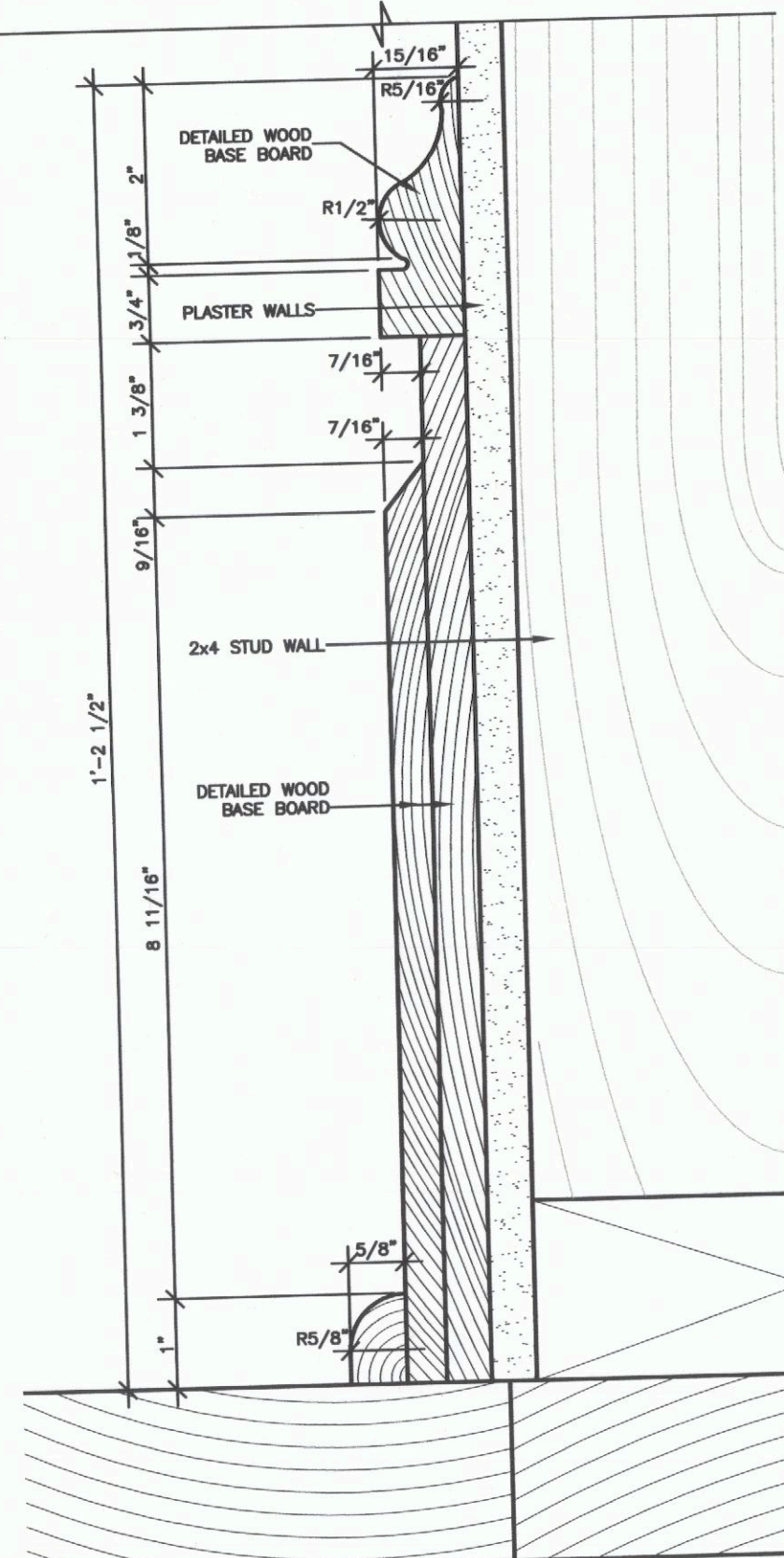
**BASEBOARD ELEVATION**  
SCALE 3"=1"



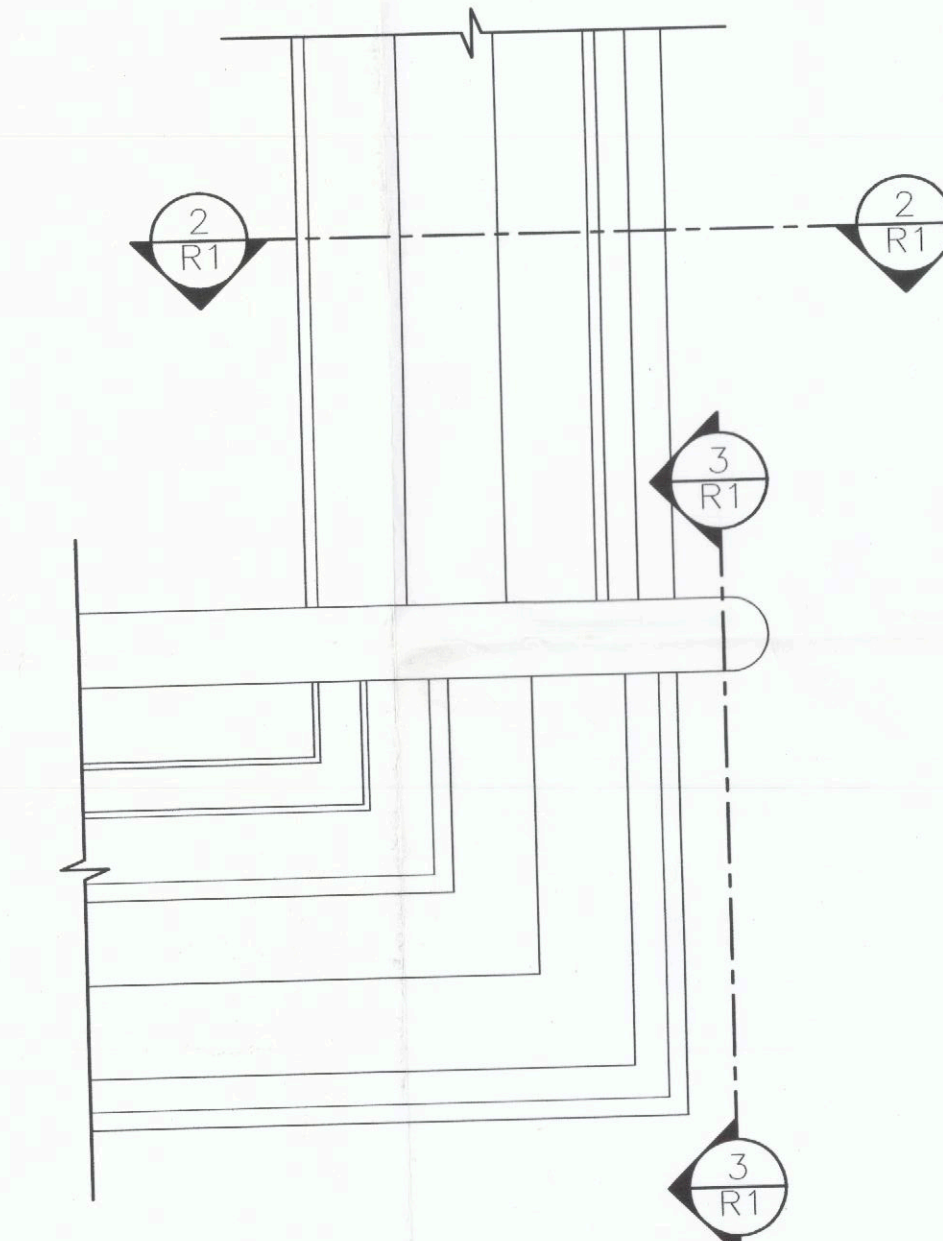
**WINDOW JAMB**  
NOTE SCALED



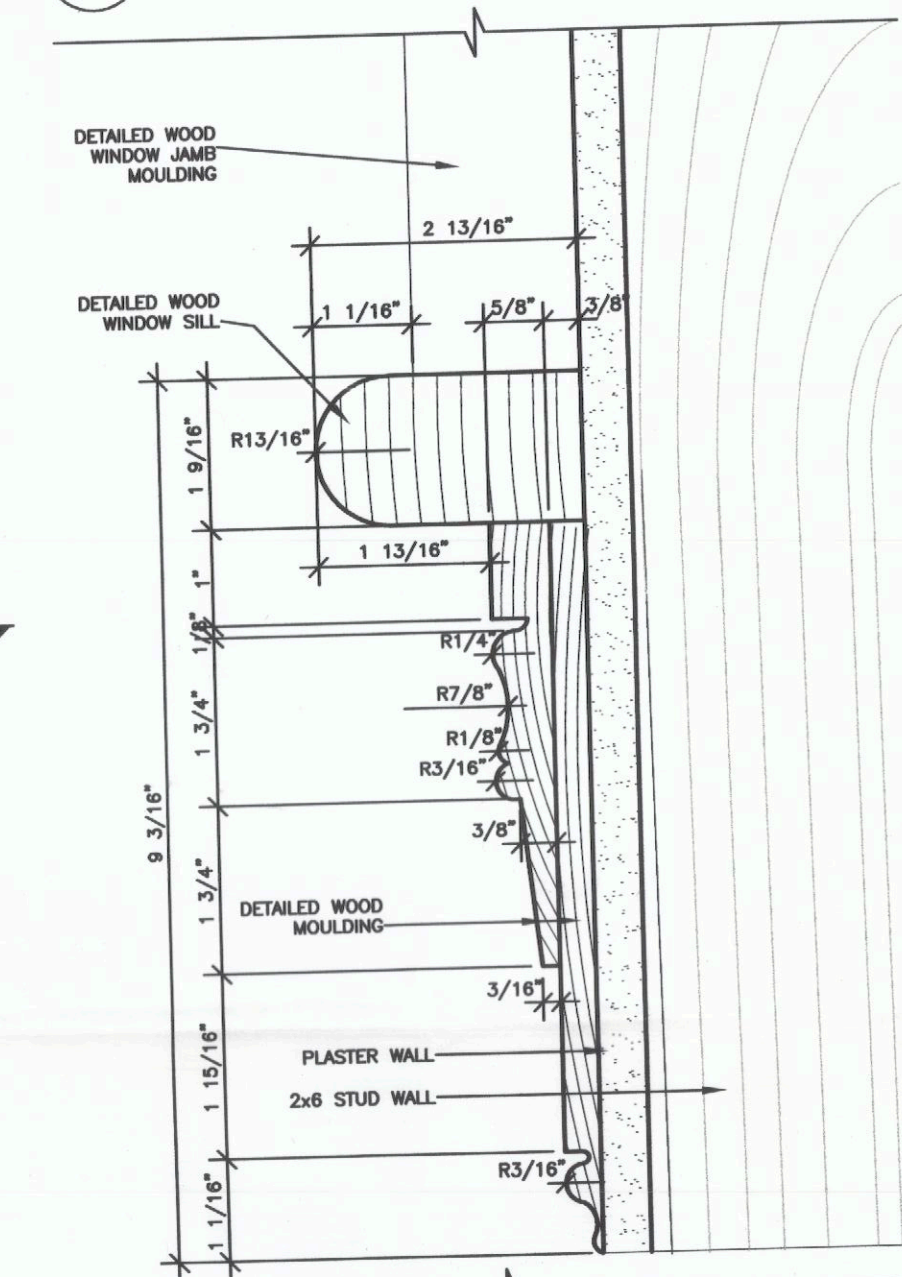
**WINDOW JAMB SECTION**  
SCALE: 6"=1"



**BASEBOARD SECTION**  
SCALE 6"=1"



**WINDOW JAMB/SILL ELEVATION**  
SCALE 3"=1"



**WINDOW SILL SECTION**  
SCALE 6"=1"



**MAIN ENTRANCE, WEST FACE OF BUILDING**



**OLD ENTRANCE**

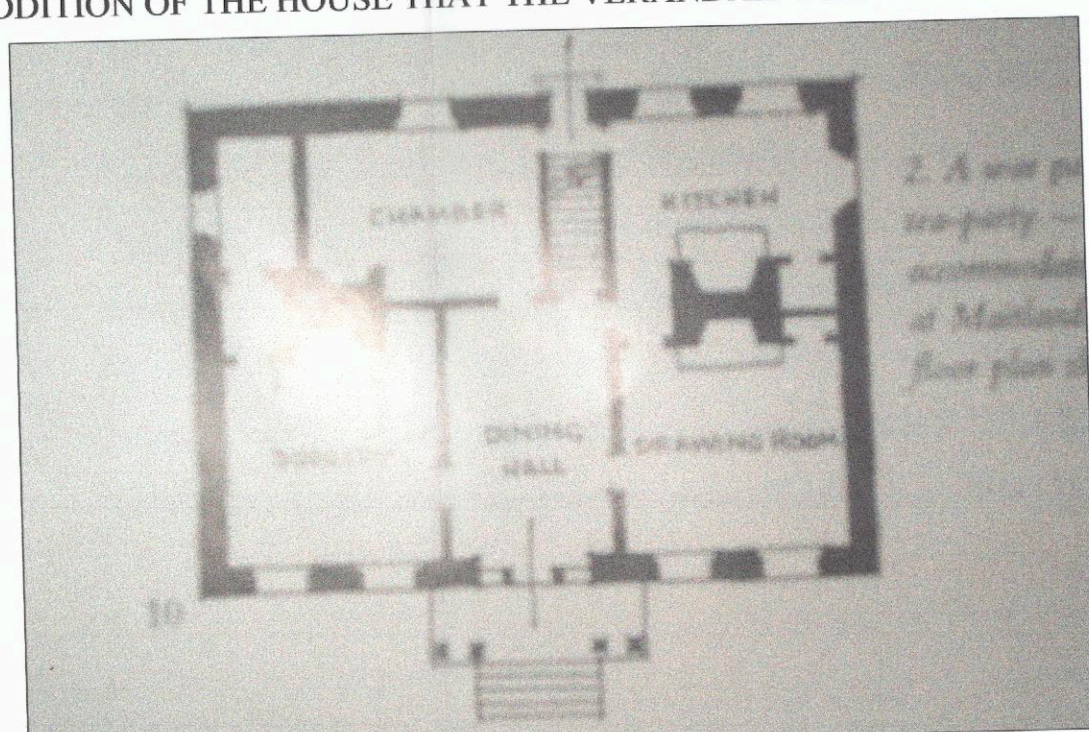
THIS NEO-CLASSICAL/REGENCY HOUSE IS LOCATED AT 1075 GORHAM ST. IN NEWMARKET ONTARIO AND IS OWNED BY TONY DREW. AS A RESULT OF THE UNKNOWN CONSTRUCTION DATE OF THE BUILDING, IT MAKES IDENTIFYING THE ARCHITECT OF THE HOUSE IMPOSSIBLE. WHAT IS SUSPECTED IS THE ORIGINAL OWNER OF THE BUILDING WAS A CARPENTER AND BUILT THE HOUSE USING THE REGENCY STYLE. THE BUILDING HAS GONE THROUGH MANY RENOVATIONS, AND AS A RESULT HAS ALTERED THE ORIGINAL FLOOR PLAN TO WHAT THEY ARE TODAY. FOR EXAMPLE DURING A RENOVATION THE FRONT ENTRY WAS REMOVED AND FILLED IN WITH A WINDOW (see pic.2). CAUSING THE WEST SIDE OF THE HOUSE TO BECOME THE NEW ENTRY(see pic.1).

THE HOUSE CAN BE PLACED IN BOTH NEO-CLASSICAL AND REGENCY BECAUSE OF THE TYPICAL DETAILS USED IN BOTH STYLES FOUND ON THE BUILDING. THE CHARACTERISTIC STYLES OF REGENCY FOUND ON THIS HOUSE IS FOUND IN THE SYMMETRICAL SQUARE SHAPED FLOOR PLAN (see pic. 4) AND HIP ROOF. TYPICALLY REGENCY STYLE BUILDINGS HAVE A VERANDAH. IT IS POSSIBLE THAT DURING A RENOVATION AND/OR ADDITION OF THE HOUSE THAT THE VERANDAH WAS REMOVED.



**CORNER COLUMN**

WHAT PLACES THE BUILDING IN NEO-CLASSICAL IS THE ANTIQUE DETAILED MOULDINGS FOUND AROUND THE DOORS AND WINDOWS IN THE INTERIOR. IT IS FOR THIS REASON THAT I CHOSE TO DO DETAILS OF THE MOULDINGS. THE OLD ENTRY ALSO APPEARS TO HAVE A BROAD FLAT-HEADED TRANSOM OVER THE DOOR. EVEN THE EXPRESSIVE PRESENTATION OF THE STRUCTURE, SEEN AT THE EDGES OF THE BUILDING BY THE DETAILED COLUMNS(see pic. 3), EXPRESS THE IDEA OF NEO-CLASSICAL STYLE THAT THE BUILDING SHOULD CONSIST SOLELY OF THE ELEMENTS THAT SUPPORT THE BUILDING.



**REGENCY FLOOR PLAN**



**LIVING ROOM TO OLD ENTRY DOOR WAY**



**BASEBOARD**  
NOT SCALED



**WINDOW SILL AND TRIM**  
NOT SCALED



CLIENT  
**TONY DREW**

PROJECT TITLE  
**BUILDING DETAILS OF NINETEENTH CENTURY HOUSE**  
NEWMARKET ONTARIO

DRAWING TITLE  
**WINDOW SILL, JAMB AND BASEBOARD DETAILS**

SCALE AS NOTED DATE PLOTTED 10/15/2002 DRAWING No  
DATE 7 OCT. 2002 CAD. DRAWING PROJECT 2 **R1**  
DRN BY DAVE FINLEY



# DREW RESIDENCE

## Reasons for Designation

**Address:**

1075 Gorham Street  
Newmarket, Ontario L3Y 5G9

**For:**

Yuri Sura

**Prepared by:**

Dave Finley 801 563 693  
Jeff Hillen 801 303 140

**Date:**

December 1, 2002



**HUMBER COLLEGE**

School of Applied Technology

## DREW RESIDENCE

### 1) ADDRESS

1075 Gorham Street  
Newmarket, Ontario L3Y 5G9  
Part Lot 2, Registered Plan 383  
Regional Municipality of York

### 2) ORIGINAL OWNER

Dating of the house was difficult. It has been concluded that Henry Minthorn (Mintren), a carpenter built the house in 1855. A plaque stating this has been placed on site.

### 3) PRESENT OWNER

Richard Anthony Drew and  
Stella Joy Drew

### 4) BUILDING USE

Single Family Residence

### 5) ARCHITECT

Unknown. Since the original owner appears to be a carpenter it seems he built the house himself.

### 6) ARCHITECTURAL QUALITIES & DESCRIPTION

#### 6.1 EXTERIOR

##### a) Materials

Basement Construction:	Partial basement with stone and mortar walls
Exterior Wall Construction:	All wood framing with exterior wood cladding and detailed corner moldings

##### b) Features

Roof Shape:	Hipped roof
Roof Trim:	Wood trim, no decoration or detailing
Roofing Type:	New plywood and asphalt shingles (renovation)
Typical Window:	
Main Entrance:	Since remove. However, previously centrally located with evidence of a broad-flat headed transom remain. This is indicative of the Regency Style.



## 6.2 INTERIOR

### a) Materials

Flooring:	Pine plank floors
Walls:	Original plaster
Ceiling:	Original plaster
Trim:	Decorative Trim

### b) Features

The symmetrical square shaped building is typical of a Regency style. The floors are pine plank flooring. The entire interior is finished with hand-made decorative door and wall trims and mounted on traditional plaster finish walls. All of the original windows are still featuring six/six panes of drawn glass. The roof construction is of historical roof joists and rafter construction. The original materials and method of construction found on this house today illustrates the tradition and history this building comes from.

## 6.3) DESCRIPTION

### a) Room Functions

The floor plan of the original house has been modified to suit a modern living style with the aid of new additions.

Bedroom 1	Main sleeping space
Bedroom 2	Sitting area, occasionally used for guest sleeping area
Living Room	Lounge area and socializing space. Large window excite the space with light.
Front Entry	Turned into an office. Currently used for bookkeeping. Removed Flat Broad-Headed Transom. Currently a 1950's bay window.

### b) Planning

Square and symmetrical in shape this building is typical of a Regency style. This square shape eliminates extra costs in complicated construction, and is also easy and fast to build. The close space is very compact and cozy, depicting close-knit families functions.

## 6.4) ARCHITECTURAL

### a) Characteristics

This is a one storey hipped roof residential building still in good condition. All existing windows and mouldings remain and require no maintenance or replacement. All the new asphalt shingles are indicative of new construction, however parts of the existing shake roofing remain under the new roofing system.





b) Features

This residence has many great architectural features in both Neo-Classical and Regency. It has decorative false column in the corners of the existing exterior (Neo-Classical). Wooden cladding and large six/six hung windows with exaggerated head and sill profile (Regency). A recently removed board flat-headed transom entryway and a low hip roof with no attic space.

## **7) SITE CONSIDERATIONS**

### **7.1) CONTEXT & RELATIONSHIP**

This residence sits directly adjacent to a main artery roadway. Developments in mainly new residential have recently surrounded this antique residence. Private access to the site is provided by a curved gravel drive off Gorham Street and ending with an access to Leslie Street. The house is protected on the west with chain-link fencing and on the east by thick landscaping. Green paint on the wood exterior blends perfectly with the surrounding landscaping.

### **7.2 LANDSCAPING**

The house is surrounded in all directions with vast landscaping. The attractive landscape of trees and bushes protect the entire residence from the adjacent noisy Leslie Street. This extensive landscaping provides a variety of shade throughout the property. The site slopes slightly to the Southwest allowing drainage on this very deep lot. There are also gardens spread around the site featuring an array of flowers.

## **8) HISTORICAL CONSIDERATION**

### **8.1) BACKGROUND**

The land was actually a crown reserve until 1824. After 1824 an unknown person had landownership until around 1853. It is assumed that Henry Minthorn (Mintren), a carpenter built the house in starting in 1853 and finished by 1855.

### **8.2) QUALITY**

The Neo-Classical and Regency style of this building is identified throughout this residence. The entranceway (recently removed) included a flat broad-headed transom. The finely detailed baseboard trim and window and door mouldings are straight from the Neo-Classical style. The quality of this woodwork is performed by Canadian craftsmen and should be kept intact.

## **9) STATE OF THE BUILDING**

### **9.1) EXTERIOR FABRIC CONDITION**

The existing foundation is stone and concrete. The Southside of the foundation appears to be repaired sometime after the original foundation was laid. No noticeable cracks, leakage, or settlement is noticeable. The exterior wood cladding has fared well over the years. Along the top of the foundation wall slight dry rot is noticeable, but not unusual



for a house of this age. The windows are in good shape and appear to be sealed to the outside elements. A new asphalt shingle roof has replaced the original depleted shake roofing. Eaves trough and downspouts are in excellence condition. However, a main structural floor beam, that spans south to north through the building, is bearing in the foundation. This will cause concern in the future as a result of accelerated dry rot, and the chance of termite infestation into the structure.

### 9.2) INTERIOR FABRIC CONDITION

The low foundation walls are of stone and concrete with a poured concrete slab. The frame of the building is of typical wood construction. Slight dry rot is noticeable in the floor joists adjacent to the foundation walls. Floors are pine plank flooring all of which are in good condition. All interior walls are plaster, painted or wall papered; Underlying condition could not be noted, but appear in good condition. The only noticeable disturbance in the interior wall and floor finish is in the living room where it appears a wall has been removed during a renovation. No noticeable settlement around windows or doors. No apparent leakage at ceiling level indicates a sealed roofing system currently and historically. The hipped roof joists are in very good condition and roof insulation is adequate.

### 9.3) STRUCTURAL STABILITY

The original residence is in good structural stability. No differential settlement in foundation wall is evident. Although slight dry rot is noted in floor joist adjacent to foundation walls, no obvious deflection in wood beams are apparent. Windows and doors seem square and plumb indicating a strong exterior wood frame. As noted before roof joists are good quality and do not need repair or replacement. The structural floor beam should be kept under observation for any increase in dry rot or noticeable deflection.

## 10) SOURCE & BIBLIOGRAPHY

Corporation of the Town of Newmarket (1999). A Brief History of the Town of Newmarket. Retrieved November 15, 2002, from Town of Newmarket web site - [www.town.newmarket.on.ca](http://www.town.newmarket.on.ca)

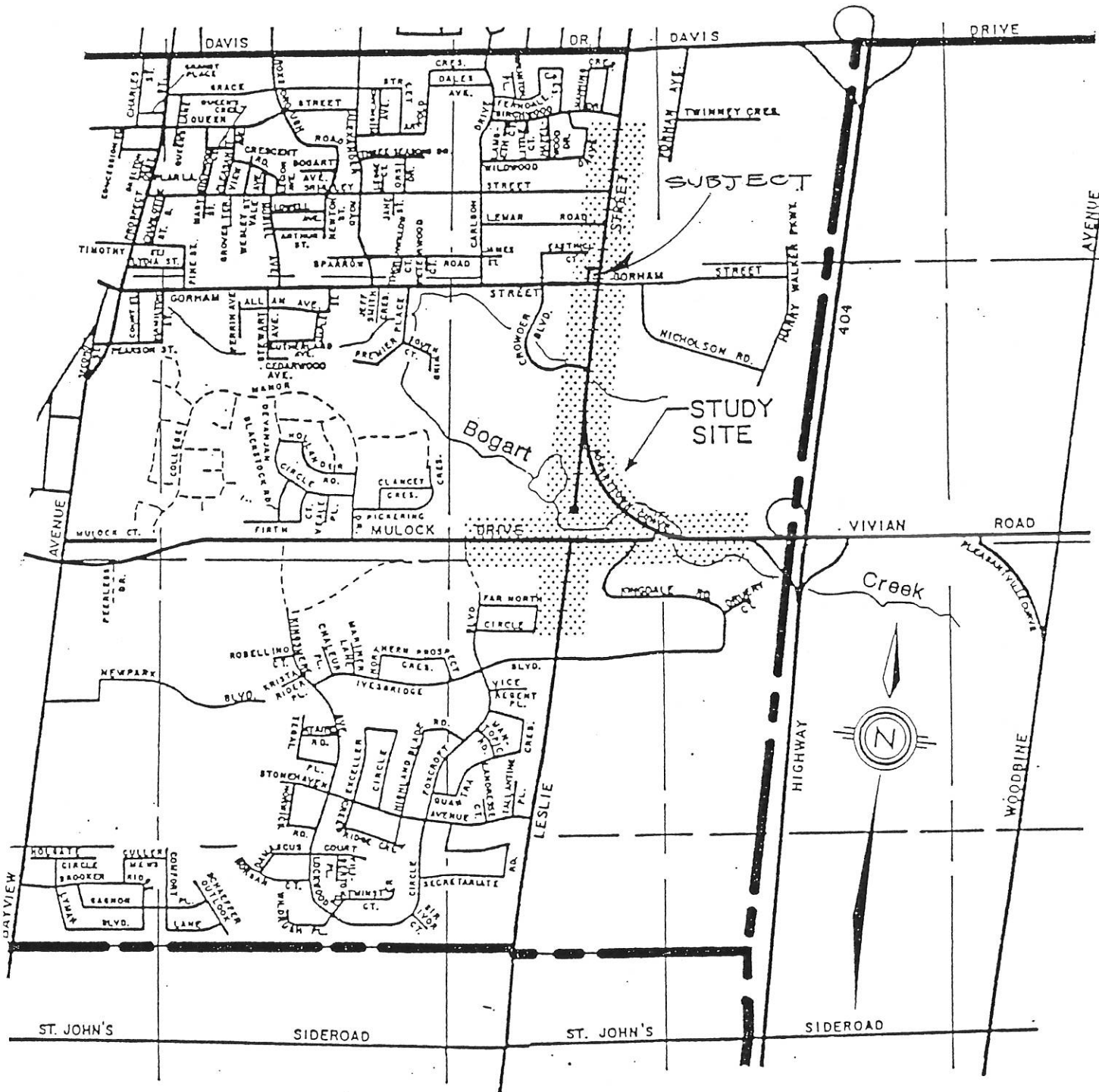
## 11) RECOMMENDATIONS

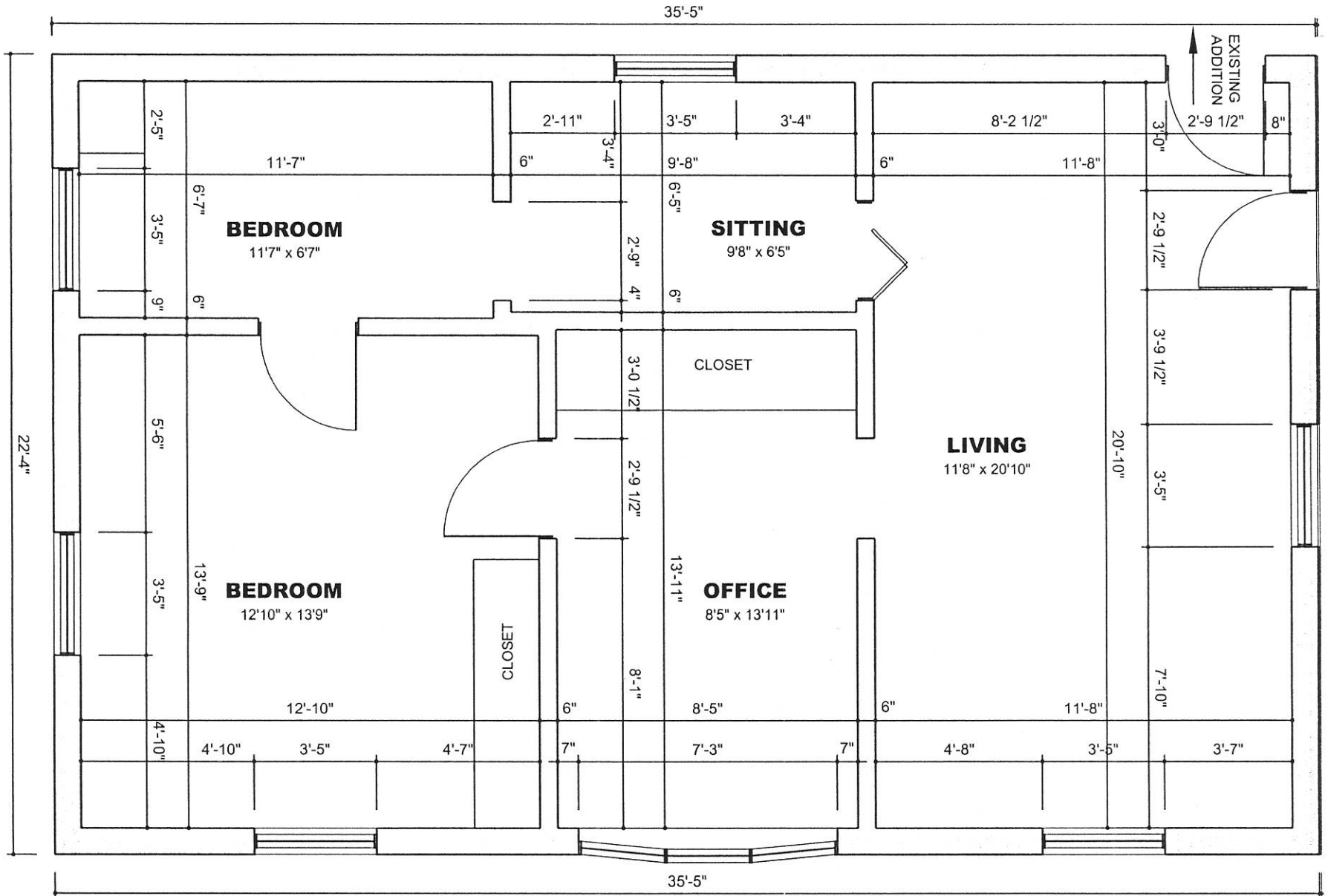
Drew house is recommend for designation for its historical importance to the town of NewMarket because of its age and Canadian craftsmanship. This house is rich in the Neo-Classical and Regency style. It is a great example of finely detailed mouldings by Canadian craftsmen. This early Canadian residence should definitely be preserved.



# Town of Newmarket

## Subject Area





6

**FLOOR PLAN AS RENOVATED**

SCALE: 1/4" = 1'-0"

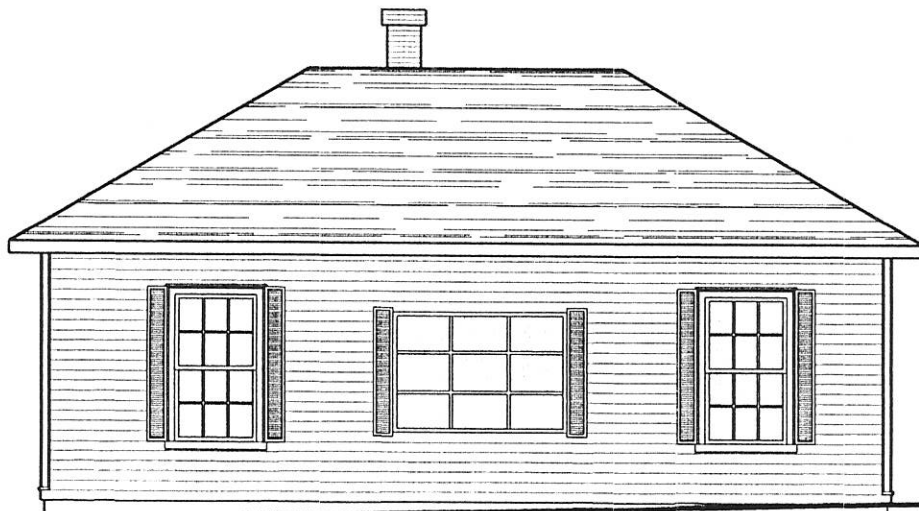
**DREW HOUSE**

**ADDRESS:** 1075 GORHAM STREET  
NEWMARKET, ONTARIO

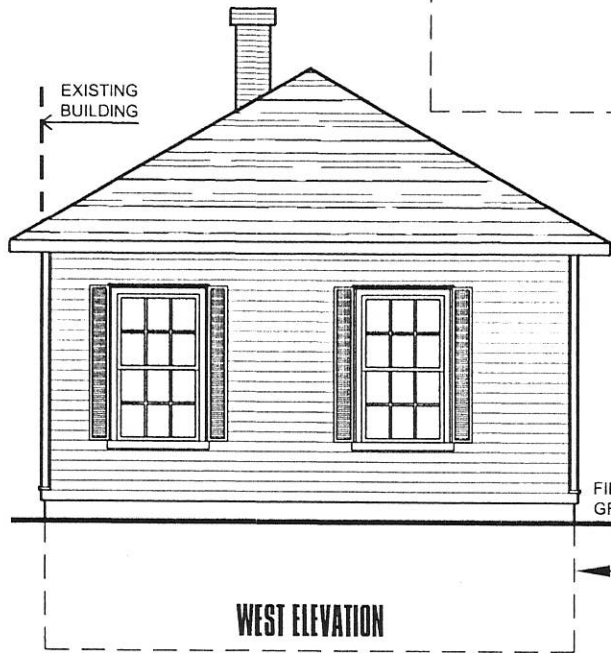
**DRAWN BY:** DAVE FINLEY  
JEFF HILLEN



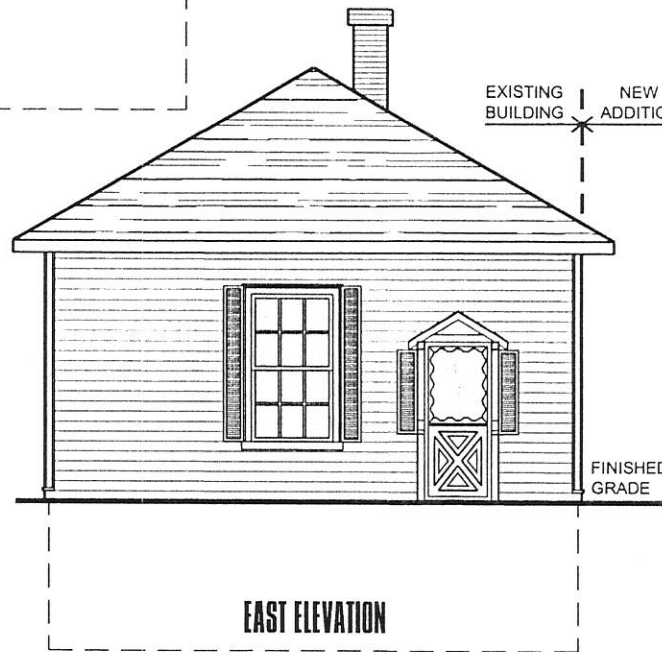
**DATE PLOTTED:** NOV 28, 2002  
**SCALE:** 1/4" = 1'-0"



**SOUTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**

EXISTING BUILDING

EXISTING BUILDING | NEW ADDITION

FINISHED GRADE

FINISHED GRADE

STONE & MORTAR FOUNDATION WALLS

7

**ELEVATIONS AS RENOVATED**

SCALE: 1/8" = 1'-0"



**DATE PLOTTED:** NOV 28, 2002  
**SCALE:** 1/8" = 1'-0"

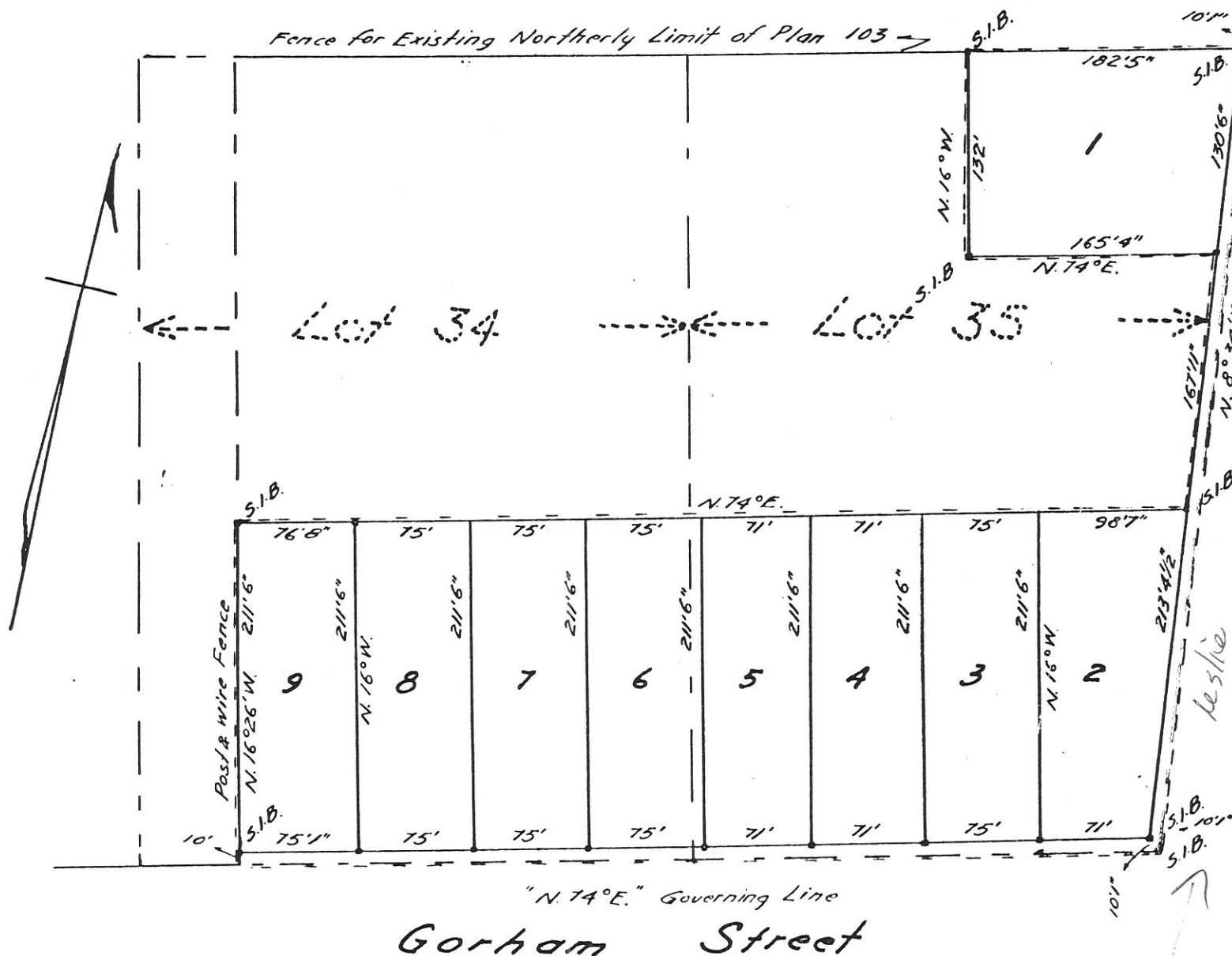
**DREW HOUSE**

**ADDRESS:** 1075 GORHAM STREET  
NEWMARKET, ONTARIO

**DRAWN BY:** DAVE FINLEY  
JEFF HILLEN

383 - 2  
Plan Subdiv Lot 35 + Part 34 Plan 103 (old)  
Twp Whitechurch

# of Subdivision of Lot Township of



### OWNER'S CERTIFICATE.

WE hereby certify that this Plan accurately shows the manner in which WE have caused Lot 35 and Part of Lot 34, Plan 103 (old) in the Township of Whitechurch, County of York, to be subdivided into Lots 1 to 9 and widening strips hereby dedicated as a Public Highways.

**Town of Newmarket**  
**Heritage Resource Evaluation Criteria Form**

Address \_\_\_\_\_ Period \_\_\_\_\_ Recorder Name \_\_\_\_\_

Description \_\_\_\_\_

Photographs: Front  Left  Right  Rear  Details  Setting  Date of visit \_\_\_\_\_

<b><i>Design or Physical Value</i></b>	<b>Recorder Evaluation</b>	<b>Heritage Newmarket Evaluation</b>
<b>Style</b> Is this a notable, rare or unique example of a particular architectural style or type?	N/A Unknown No Yes	N/A Unknown No Yes
<b>Construction</b> Is this a notable, rare, unique or early example of a particular material or method of construction?	N/A Unknown No Yes	N/A Unknown No Yes
<b>Design</b> Is this a particularly attractive or unique structure because of the merits of its design, composition, craftsmanship or details?  Does this structure demonstrate a high degree of technical or scientific achievement?	N/A Unknown No Yes  N/A Unknown No Yes	N/A Unknown No Yes  N/A Unknown No Yes
<b>Interior</b> Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A Unknown No Yes	N/A Unknown No Yes

**NOTES:**

<b><i>Contextual Value</i></b>	<b>Recorder Evaluation</b>	<b>Heritage Newmarket Evaluation</b>
<b>Continuity</b> Does this structure contribute to the continuity or character of the street, streetscape, neighbourhood or area?	N/A Unknown No Yes	N/A Unknown No Yes
<b>Setting</b> Is the setting or orientation of the structure or landscaping noteworthy?	N/A Unknown No Yes	N/A Unknown No Yes
<b>Landmark</b> IS this a particularly important visual landmark within the Region, Town or neighbourhood? <b>R T N</b>	N/A Unknown No Yes <b>R T N</b>	N/A Unknown No Yes <b>R T N</b>
<b>Completeness</b> Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A Unknown No Yes	N/A Unknown No Yes

**NOTES:**



**Town of Newmarket  
Heritage Resource Evaluation Criteria Form**

<b><i>Integrity</i></b>	<b>Recorder Evaluation</b>	<b>Heritage Newmarket Evaluation</b>
<b>Site</b> Does the structure occupy its original site?	N/A Unknown No Yes	N/A Unknown No Yes
<b>Alterations</b> Does this building contain most of its original materials and design features? Is this a notable structure due to sympathetic alterations that have taken place over time?	N/A Unknown No Yes N/A Unknown No Yes	N/A Unknown No Yes N/A Unknown No Yes
<b>Condition</b> Is this building in good condition?	N/A Unknown No Yes	N/A Unknown No Yes

**NOTES:**

<b><i>Historical or Associative Value &amp; Significance</i></b>	<b>Recorder Evaluation</b>	<b>Heritage Newmarket Evaluation</b>
Does this property or structure have strong associations with and/or contribute to the understanding of a belief, person, activity, organization or institution that is significant or unique within the Town?	N/A Unknown No Yes	N/A Unknown No Yes
Is the original, previous or existing use significant?	N/A Unknown No Yes	N/A Unknown No Yes
Does this property meet the definition of a significant built heritage resource or cultural landscape, as identified in the Provincial Policy Statement under the Ontario Planning Act?	N/A Unknown No Yes	N/A Unknown No Yes

**NOTES:****Further Action/Follow up/Recommendation****Recorder**

- Add to Heritage Register
- Recommend for Designation
- Heritage District Potential
- Additional Research Required
- Additional Photographs Required
- Request Permission to Access Property
- Keep on File

Other: \_\_\_\_\_

**Heritage Newmarket**

- Add to Heritage Register
- Recommend for Designation
- Heritage District Potential
- Additional Research Required
- Additional Photographs Required
- Request Permission to Access Property
- Keep on File

Other: \_\_\_\_\_

Reviewed by Heritage Newmarket on: \_\_\_\_\_